

**CITY OF FREDERICKSBURG  
HISTORIC REVIEW BOARD**

**Tuesday, June 10, 2014**

**City Hall**

**Conference Room**

**126 W. Main St.**

**5:30 P.M.**

1. Call to Order
2. Approve Minutes of May 2014 Regular Meeting

*Pp 1 - 3*

**APPLICATIONS**

3. Application #14-42 by Stuart Barron at 401 E. Main Street to construct new one story, approximately 3000 square foot commercial building with stone and stucco exterior and metal porch roofs supported by painted metal columns
4. Application #14-43 by Page Sutherland Page on behalf of Gable S Corporation to demolish three one story structures and construct new mixed use, three story structure on property at 406 and 412 E. Main Street

*Pp 4 - 11*

*Pp 12 - 32*

**DISCUSSIONS**

5. Board Appointments

**SIGN OFF APPLICATIONS**

6. #14-38 – Construct 6' privacy fence off back deck – 307 E. San Antonio (Underwood)
7. #14-39 – Replace copper roof with identical material – 150 E. Main (Poarch)
8. #14-40 – Paint trim and garage and add wire fence – 107 N. Orange (Webber/Greenwood)

**ADJOURN**

STATE OF TEXAS  
COUNTY OF GILLESPIE  
CITY OF FREDERICKSBURG

HISTORIC REVIEW BOARD  
May 13, 2014  
5:30 PM

On this 13<sup>th</sup> day of May, 2014 the Historic Review Board convened in regular session at the regular meeting place thereof, with the following members present to constitute a quorum:

SHARON JOSEPH  
STAN KLEIN  
MIKE PENICK  
CHARLES SCHMIDT  
LARRY JACKSON  
ERIC PARKER  
DAVID BULLION  
BURLEIGH ARNECKE

ABSENT: KAREN OESTREICH

ALSO PRESENT: KENT MYERS – City Manager  
BRIAN JORDAN – Director of Development Services  
PAT MCGOWAN – City Attorney  
KYLE STAUDT - Building Official  
TAMMIE LOTH – Development Coordinator

The meeting was called to order at 5:30 PM by Sharon Joseph.

**MINUTES**

Charles Schmidt moved to approve the minutes from the April 2014 regular meeting. Mike Penick seconded the motion. All voted in favor and the motion carried.

**APPLICATIONS**

**Application #14-29 by Bruce Reeh on behalf of Rob Simpson at 121 E. Main Street to install cover between two existing accessory buildings at rear of building.** – Bruce Reeh presented the application and noted the owners would like to add a roof between two buildings in the rear to protect the storage area. Mr. Reeh noted the buildings have been in place for at least 15 years and stated the roof will not attach to the main structure. Mr. Reeh noted the roof will be approximately nine feet high and will slope to approximately 8 feet towards the parking area in the rear.

Eric Parker moved to approve Application #14-29 and Charles Schmidt seconded the motion. All voted in favor and the motion carried.

**Application #14-30 by Anita Metcalfe at 318 E. Main Street to construct awning on front of building.** – Kyle Staudt, Building Official, noted Application #14-30 has been tabled by the

applicant because the Texas Department of Transportation is not allowing anything to be placed in their right-of-way and Ms. Metcalfe would like to visit with TXDOT before she makes application to the Historic Review Board since the proposed canopy would be in the right-of-way.

## **DISCUSSIONS**

**Presentation on the proposed Main Street hotel at 406 E. Main St.** – Brian Jordan, Director of Development Services, introduced the project that is being proposed and explained instead of just presenting it as an application that needed to have action taken immediately, the applicants would present the proposal to the Board before they make a formal application. Daniel Brooks and Phillip Keil, architects from Page Sutherland Page, and Schaesby Scott, owner, presented the project for discussion. Mr. Keil showed a video presentation which highlighted the different elements of the project. Mr. Keil noted the owner is wanting to construct a mixed use building consisting of retail and restaurant on the bottom level and hotel rooms on the second and third floors. Mr. Keil noted they have been studying the scale of the buildings in this area and have worked with the massing of the structure by breaking it into smaller pieces so it fits in with the smaller, long buildings on Main Street. Mr. Keil noted they are trying to take advantage of the huge oak tree that is situated in the middle of the block and in front of their project and build a courtyard around the tree. Mr. Kiel noted the property slopes toward Austin Street and most of the parking will be under the building. Mr. Kiel stated the lobby for the hotel is located in the back and the hotel rooms are arranged around the courtyard. Mr. Kiel added they will have to work with TXDOT to try and get them to approve the awnings that will be in the right-of-way because it is very important to their project. Mr. Kiel commented they have studied the architectural designs on Main Street and are inspired by them and will be adding some of those elements to the building. Mr. Kiel noted there will be a lot of greenery on the street edge to soften the appearance and make the project pedestrian friendly. Mr. Kiel added they are hoping to pick up some of the historic detail seen on Main Street with the handrails and guardrails. Mr. Kiel stated the large stone blocks will have a roughhewn texture and the metal will be used as a secondary material as seen around Fredericksburg. Mr. Kiel added most of the parking will be located below the building and all the parking on the rear will be screened.

Burleigh Arnecke asked what kind of retail will be on the first floor and Mr. Scott stated that is still to be determined, but their objective is to have retailers that are either currently in the market or within the area, and they understand there cannot be any chain stores in their building. Mr. Scott noted they are looking for businesses that will contribute to the experience of Fredericksburg and either offer something different or compliment what is already here.

David Bullion noted he likes how the building is broken up as opposed to it being one massive building. Mike Penick asked for a drawing that shows the buildings on both sides of the proposed project to see the scale and the applicants offered a photo of the buildings on Main with the proposed project added. Mr. Scott noted they have been sensitive to the presence and significance of the Nimitz from the beginning and he has visited with General Hagee to explain the project and get feedback and he has been supportive of the project. Mike Penick stated he was happy they didn't use too much stone on the proposed building. Stan Klein noted he liked the way they addressed the issues of the site, but the set back of the upper floors will not be evident. Mr. Klein added the buildings are proportional and present a traditional store front. Mr. Klein noted there is usually a cap on the upper floor and their proposal presents a very contemporary statement. Mr. Klein added the windows that are being pulled back are not a historical feature. Mr. Klein stated Fredericksburg has eclectic architecture and a wide variety of styles and they

have done a great job proportionally, but the façade is not totally understood and asked the applicants to bring a 3D model to the meeting when they formally present their application. Mr. Kiel noted they are really making an effort to not compete with the historic buildings or replicate something from the past, but they will take all the suggestions into consideration before they make their formal application and will have a 3D model at the next meeting.

**Old Methodist Episcopal Church – 600 E. Main Street** – Kyle Staudt, Building Official, noted Richard Laughlin shored up the building from the interior, added some framing to the bell tower and boarded up the tower to keep all the pigeons out. Sharon Joseph asked if they spoke about reimbursing Mr. Laughlin for the materials he used and Mr. Staudt noted Mr. Laughlin said he wanted to take care of the repairs on his own. Mike Penick asked if the money that is set aside for Historic Review Board in this year’s budget can be used to do some more work to the church and Mr. Jordan commented probably not in this budget year, but there is a possibility the money can be used to replace the street signs in the Historic District with a distinctive sign designating the Historic District, as has been discussed for two years. Pat McGowan then brought up the possibility of condemning the building in order to take the building for public purposes and pay the current owners something so someone else can own the building and restore the property. There followed more discussion on ways to get the building restored and in usable condition. Ms. McGowan also suggested the owners that are known could deed their part of the property to the city, and as co-owners the city could begin restoring the church.

#### **ADJOURN**

With nothing further to come before the Board, Charles Schmidt moved to adjourn. Eric Parker seconded the motion. All voted in favor and the meeting was adjourned at 6:40 p.m.

PASSED AND APPROVED this the 10<sup>th</sup> day of June, 2014.

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SHELLEY BRITTON, CITY SECRETARY

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SHARON JOSEPH, CHAIRMAN

...the first of these is the fact that the ...

...the second of these is the fact that the ...

...the third of these is the fact that the ...

...the fourth of these is the fact that the ...

...the fifth of these is the fact that the ...

...the sixth of these is the fact that the ...

...the seventh of these is the fact that the ...

...the eighth of these is the fact that the ...

**Historic Review Board  
Application Information**

**Application Number:** 14-42

**Date:** June 6, 2014

**Address:** 401 E. Main

**Owner:** Stuart B Properties LP

**Applicant:** Stuart Barron

**Rating:** Low

**Proposed Modifications:** See attached.

**Neighborhood Characteristics:** The subject property is in the Historic District.

**Staff Comments:** The scope of the project justifies Board review.

**General Notes:**

**The mandatory functions of the Board include the following:**

**(1) Removal, addition or modification of architectural detail.** The distinguishing historic qualities or character of a building, structure, or site and its environment shall not be destroyed. Removal or modification of any historic material or distinctive architectural features may be accomplished upon issue of certificate of appropriateness; however, this should be avoided when possible. Architectural features include but are not limited to exterior wall materials, windows, railings, decorative woodwork, masonry, or stone elements.

**(2) Paint color and application.** Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.

**(3) New construction in historic districts.** The board will review all new construction plans within Historic Districts in order to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion, design harmony and setback.

**The advisory functions of the Board include the following:**

- (1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
- (2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
- (3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
- (4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
- (5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
- (6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
- (7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

Preservation Priority Rating. Three-tier rating system used in the 2002 *Fredericksburg Historic Resource Survey* to evaluate all properties within, and adjoining to, the City's Historic District. Ratings are based upon current determinations of architectural value and integrity and, if known, historical and cultural value, and may be altered from time to time as additional information is discovered or circumstances change.

HIGH rating. The most significant properties identified in the 2002 *Fredericksburg Historic Resource Survey*. These properties are considered to be outstanding, unique, or good examples of architecture, engineering, or design. Some are unique to the Fredericksburg area and are indicative of German-Texan vernacular forms and/or building techniques. Others are noteworthy examples of 19th and early 20th century architectural types, styles, and forms, erected using local building materials and construction technologies. Properties designated with a high rating are to be the most protected from alteration and demolition.

MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

LOW rating. Properties that minimally enhance the district's ability to convey a sense of time and place. These properties may be typical examples of more recent, common local building forms, architectural styles, or plan types; be examples of distinctive building forms, architectural styles, or plan types that have been significantly altered; lack the necessary age to meet the usual fifty (50) year threshold for possible National Register of Historic Places listing and do not appear to meet the National Register of Historic Places standard for exceptional significance for properties less than fifty (50) years of age, but which nevertheless may have relative value within the Historic District, meriting preservation. Properties or improvements with a low rating may be considered for relocation or demolition upon a determination by the Historic Review Board that the same can be accomplished with little or no consequence to the historical, cultural, architectural, or archeological character of the district or property.

14-42

# Application for Certificate of Appropriateness

Application Date: MAY 22, 2014 Application Complete: \_\_\_\_\_

Property Address: 401 E. MAIN STREET

Legal Description: FBG. ADD BLK 57 LOT 222-PT & UNMBR PTS OF LOT 222 (B)

Owner: STUART B PROPERTIES LP Phone No. 830-459-4881

Address: 232 KEIDEL LN., FREDERICKSBURG, TX. 78624

Applicant: STUART BARRON Phone No. 830-459-4881

Address: 146 KEIDEL LN., FREDERICKSBURG, TX. 78624

Description of External Alteration/Repair or Demolition: NEW CONSTRUCTION, APPROX. 3000 SF, 1 STORY, COMMERCIAL BLDG. WITH STONE AND STUCCO EXTERIOR, PORCH ROOFS METAL SUPPORTED BY PAINTED METAL COLUMNS.

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site: PROPOSED BLDG. WITH THE APPEARANCE OF 3 SMALL STOREFRONTS WITH FINISHES SIMILAR TO OTHER COMMERCIAL BLDGS IN THE HISTORIC DISTRICT.

Any circumstances or conditions concerning the property which may affect compliance with the ordinance: NONE

Drawing     Sketch    Date Submitted: \_\_\_\_\_     Historic Photograph

Desired Starting Date: \_\_\_\_\_ Desired Completion Date: \_\_\_\_\_

SURVEY RATING:     High     Medium     Low     None  
 RTHL: Estimated Date of Construction \_\_\_\_\_

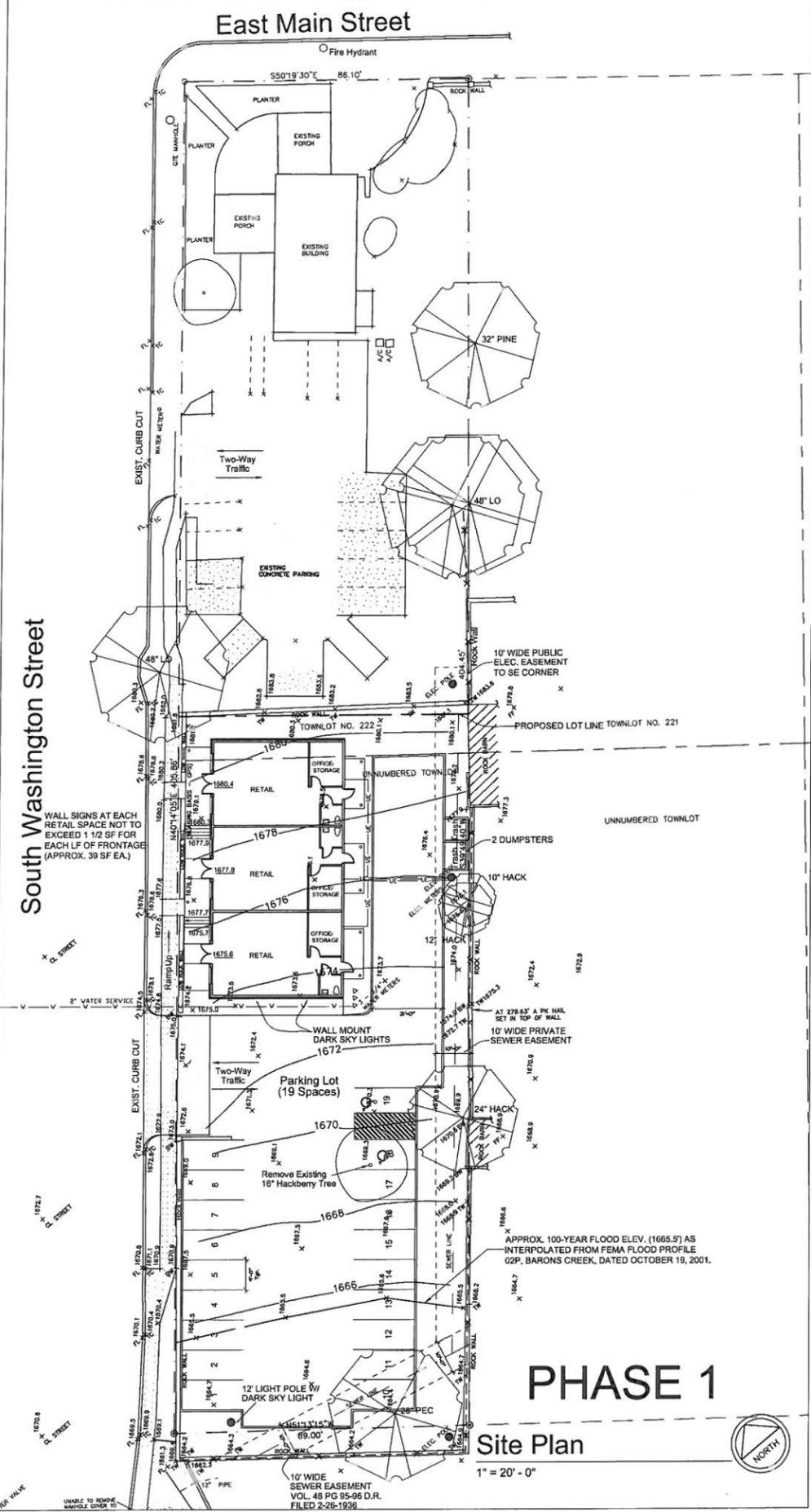
APPLICANT SIGNATURE: [Signature]  
The Applicant certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property

\_\_\_\_\_  
Building Official's Determination    Date \_\_\_\_\_     Insignificant     Significant  
(Max 7 days)

\_\_\_\_\_  
Chairman's Determination    Date \_\_\_\_\_     Insignificant     Significant  
(Max 7 days)

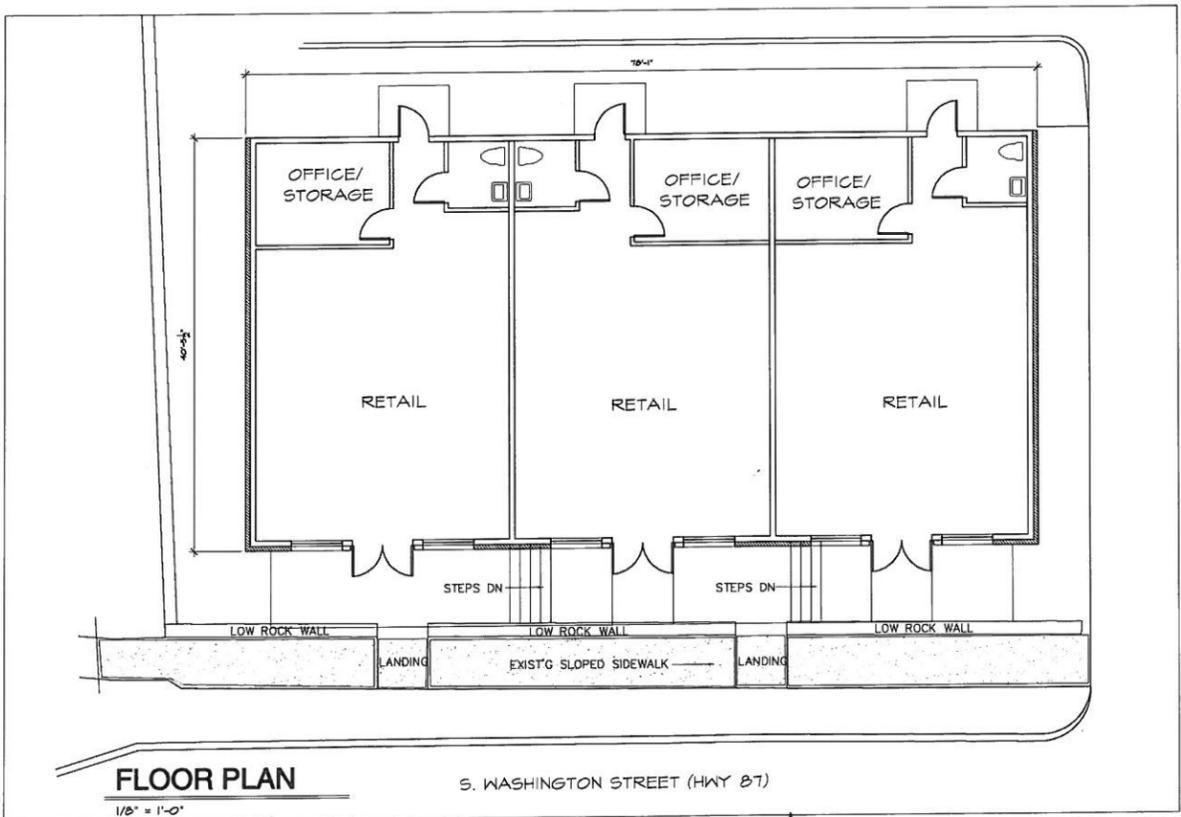
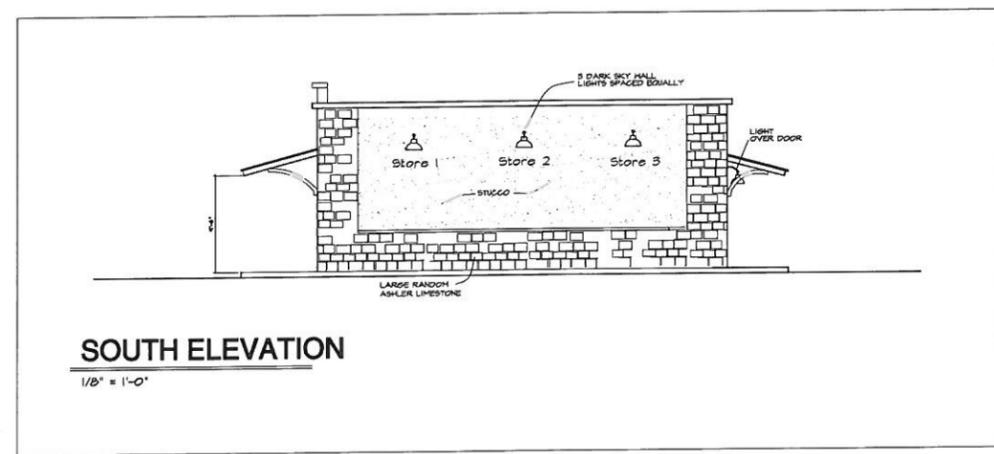
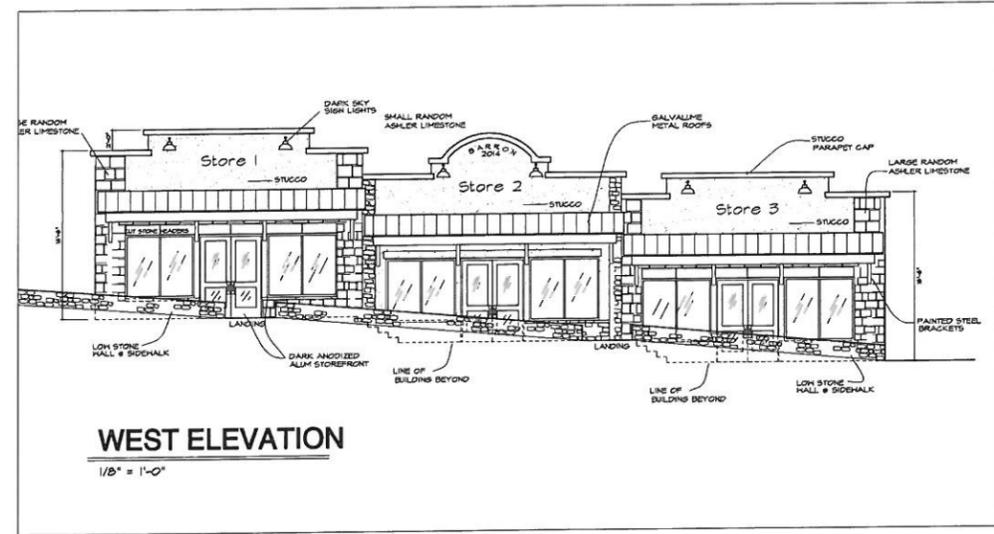
Meeting Date (40 days max. after complete application) \_\_\_\_\_ Notice to Applicant: \_\_\_\_\_  
**APPLICATION FEE: \$10.00 plus  Board Review; CERTIFICATE OF APPROPRIATENESS: \$20.00**

6



**COLOR SELECTIONS**

STONE: WHITE CENTRAL TEXAS LIMESTONE  
 STUCCO: TAN/OFF WHITE TO BLEND WITH STONE  
 PORCH ROOFS: GALVALUME  
 EXPOSED STEEL BRACKETS/BEAMS: FOREST GREEN  
 DOORS & STOREFRONT FRAMING: DARK ANODIZED ALUM.



**PRELIMINARY PLAN**

THESE INCOMPLETE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND MAY NOT BE USED FOR REGULATORY APPROVAL PERMIT, OR CONSTRUCTION.

BARRY A. WAGNER, AIA  
 REGISTRATION NO. 7187

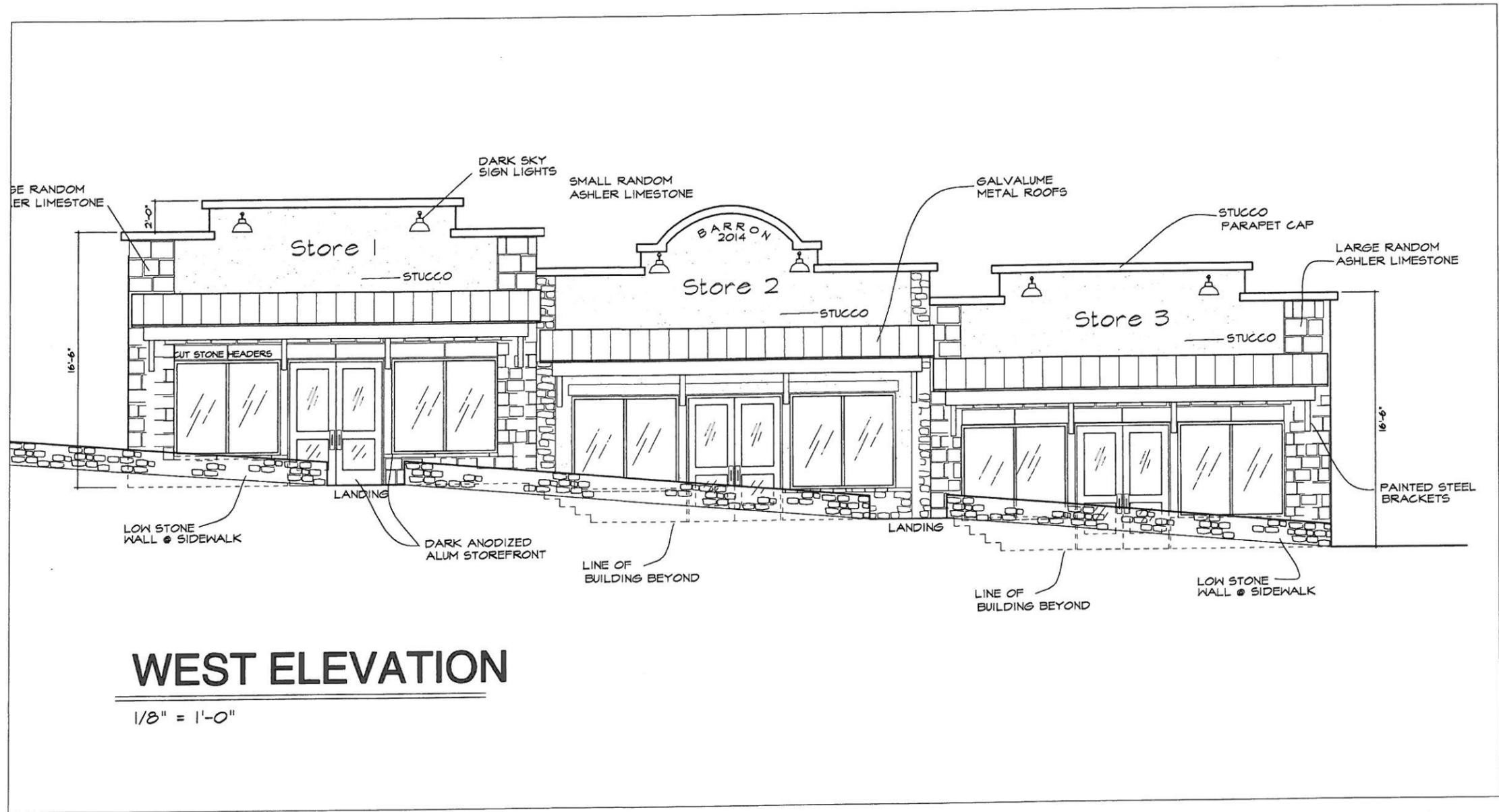
**BARRY A. WAGNER AIA**  
 ARCHITECT & PRESERVATION CONSULTANT  
 FREDERICKSBURG, TEXAS  
 506 NORTH MILLAM STREET  
 PHONE: (830) 997-9525  
 CELL: (830) 456-7484

**BW**  
 ARCHITECT

**KEIDEL'S KORNER**  
**401 EAST MAIN STREET**  
 Fredericksburg  
 Texas

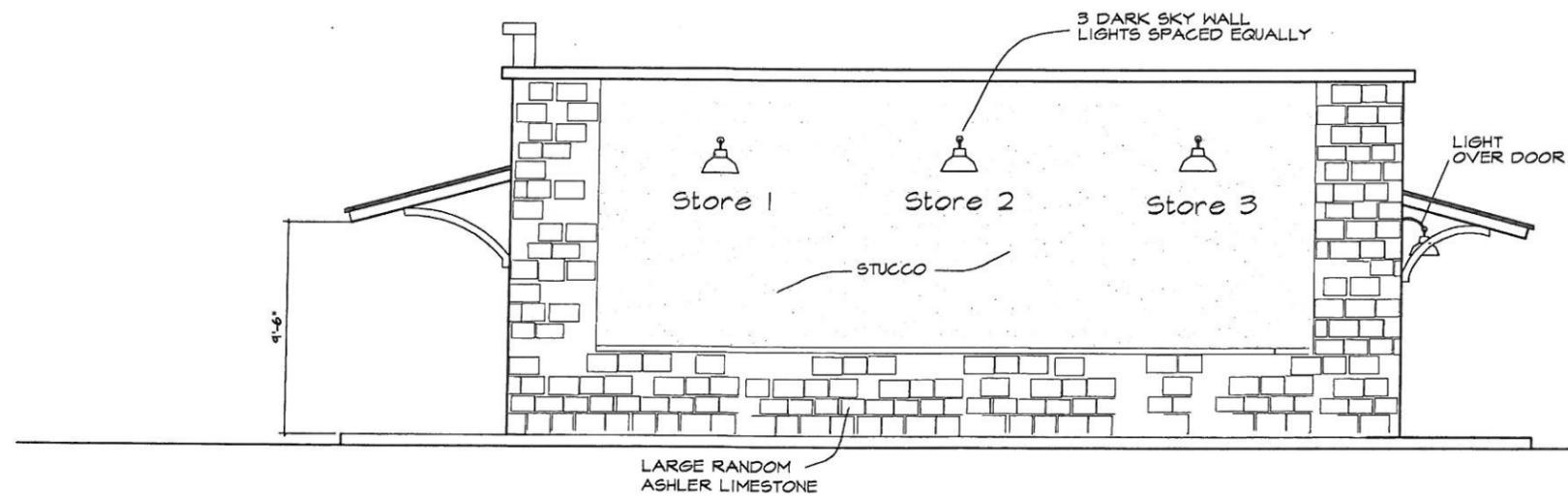
DATE	05-20-2014
PROJECT NUMBER	12-08
REVISION	

**ELEVATIONS**  
 SHEET NUMBER  
**A1-1**  
 \* of \*



# WEST ELEVATION

1/8" = 1'-0"



## SOUTH ELEVATION

1/8" = 1'-0"

### COLOR SELECTIONS

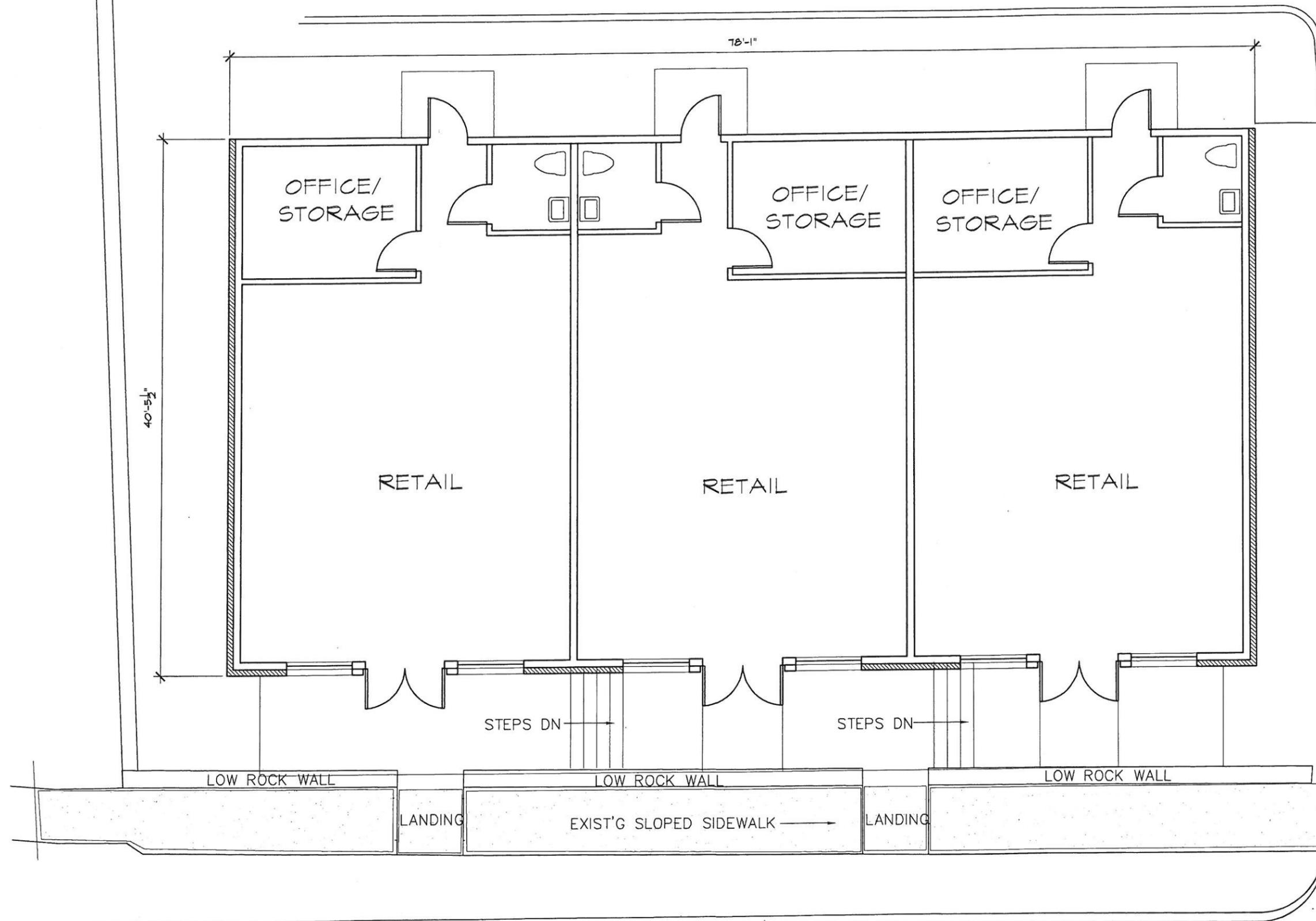
STONE: WHITE CENTRAL TEXAS LIMESTONE

STUCCO: TAN/OFF WHITE TO BLEND WITH STONE

PORCH ROOFS: GALVALUME

EXPOSED STEEL BRACKETS/BEAMS: FOREST GREEN

DOORS & STOREFRONT FRAMING: DARK ANODIZED ALUM.



# FLOOR PLAN

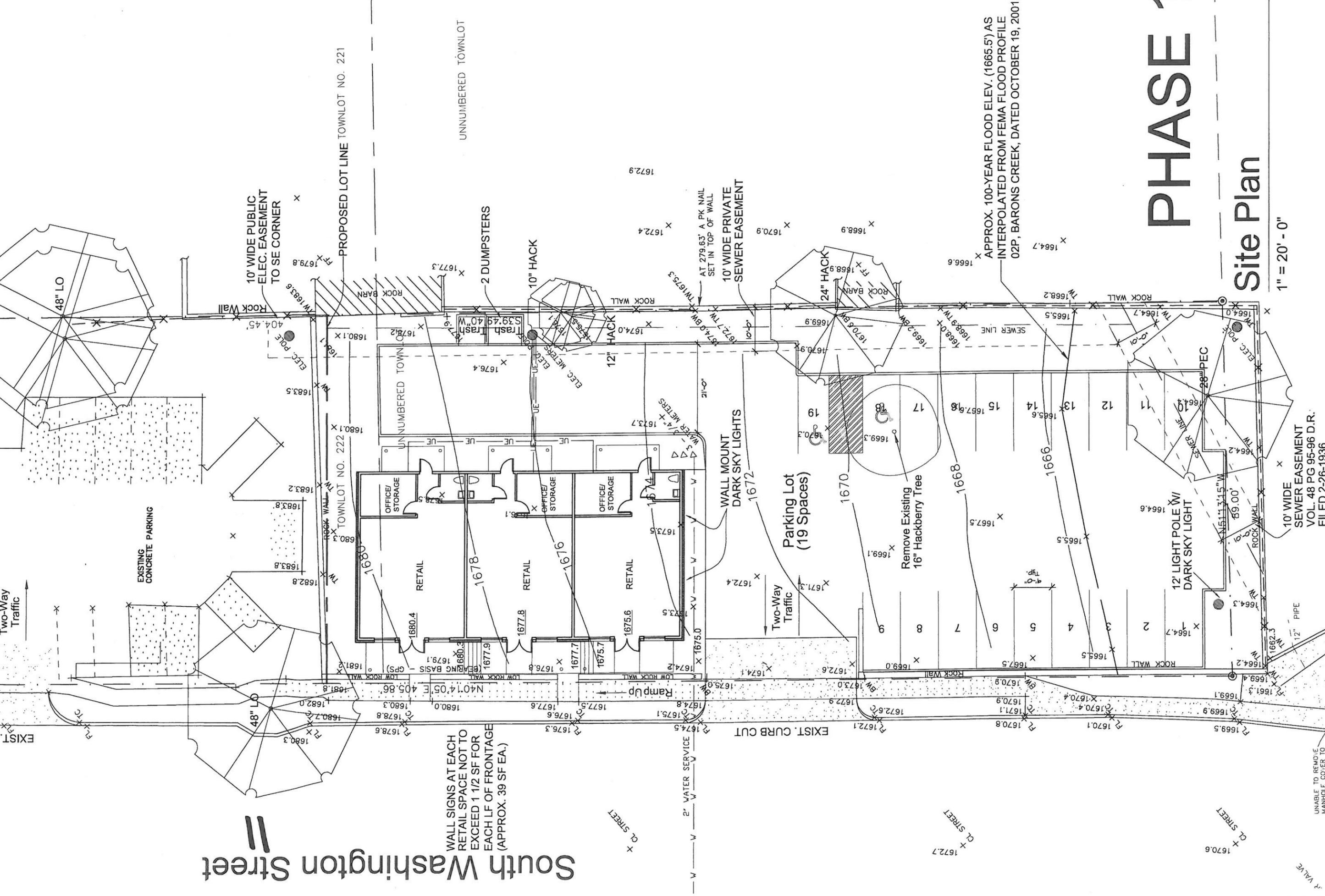
S. WASHINGTON STREET (HWY 87)

1/8" = 1'-0"

10

# South Washington Street

WALL SIGNS AT EACH RETAIL SPACE NOT TO EXCEED 1 1/2 SF FOR EACH LF OF FRONTAGE (APPROX. 39 SF EA.)



10' WIDE PUBLIC ELEC. EASEMENT TO SE CORNER

PROPOSED LOT LINE TOWNLOT NO. 221

UNNUMBERED TOWNLOT

2 DUMPSTERS

10" HACK

AT 279.63' A PK NAIL SET IN TOP OF WALL  
10' WIDE PRIVATE SEWER EASEMENT

Parking Lot (19 Spaces)

WALL MOUNT DARK SKY LIGHTS

Remove Existing 16" Hackberry Tree

APPROX. 100-YEAR FLOOD ELEV. (1665.5') AS INTERPOLATED FROM FEMA FLOOD PROFILE 02P, BARONS CREEK, DATED OCTOBER 19, 2001.

# PHASE 1

## Site Plan

1" = 20' - 0"

10' WIDE SEWER EASEMENT VOL. 48 PG 95-96 D.R. FILED 2-26-1936

UNABLE TO REMOVE MANHOLE COVER TO V VALVE



**Historic Review Board  
Application Information**

**Application Number:** 14-43

**Date:** June 6, 2014

**Address:** 406 E. Main

**Owner:** Gable S Corporation

**Applicant:** Page Southerland Page, INC.

**Rating:** Low

**Proposed Modifications:** See attached.

**Neighborhood Characteristics:** The subject property is in the Historic District.

**Staff Comments:** The scope of the project justifies Board review.

**General Notes:**

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- (5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
- (6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
- (7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

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MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

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# Application for Certificate of Appropriateness

Application Date: MAY 26, 2014 Application Complete: \_\_\_\_\_

Property Address: 4010 EAST MAIN STREET

Owner: GABLE S CORPORATION Phone No. 512.659.8225

Address: P.O. BOX 4515, AUSTIN, TX 78765

Applicant: PAGE SOUTHERLAND PAGE, INC. Phone No. 512.472.6721

Address: 400 W. CESAR CHAVEZ, STE 500 AUSTIN, TX 78701 Fax No. 512.477.3211

Description of External Alteration/Repair or Demolition: (3) - 1 STORY STRUCTURES TO BE REMOVED & REPLACED WITH A MIXED USE (RETAIL / HOTEL) 3 STORY NEW CONSTRUCTION PROJECT.

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site: \_\_\_\_\_

PLEASE REFER TO THE 11X17 PACKET FOR COMPLETE DESCRIPTION & COMPLIANCE OF THE HISTORIC PRESERVATION ORDINANCE

Any circumstances or conditions concerning the property which may affect compliance with the ordinance: \_\_\_\_\_

NONE

Drawing  Sketch Date Submitted: \_\_\_\_\_  Historic Photograph

Desired Starting Date: OCT 2014 DEMO NOV 2014 NEW CONST. Desired Completion Date: NOV 2014 DEMO NOV 2015 NEW CONST.

SURVEY RATING:  High  Medium  Low  None

APPLICANT SIGNATURE: [Signature] 5-22-14  
The Applicant certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property

\_\_\_\_\_  
Building Official's Determination Date \_\_\_\_\_  Insignificant  Significant (Max 7 days)

\_\_\_\_\_  
Chairman's Determination Date \_\_\_\_\_  Insignificant  Significant (Max 7 days)

Meeting Date (40 days max. after complete application) \_\_\_\_\_ Notice to Applicant: \_\_\_\_\_

APPLICATION FEE: -\$10.00 plus  Board Review; CERTIFICATE OF APPROPRIATENESS-\$40.00

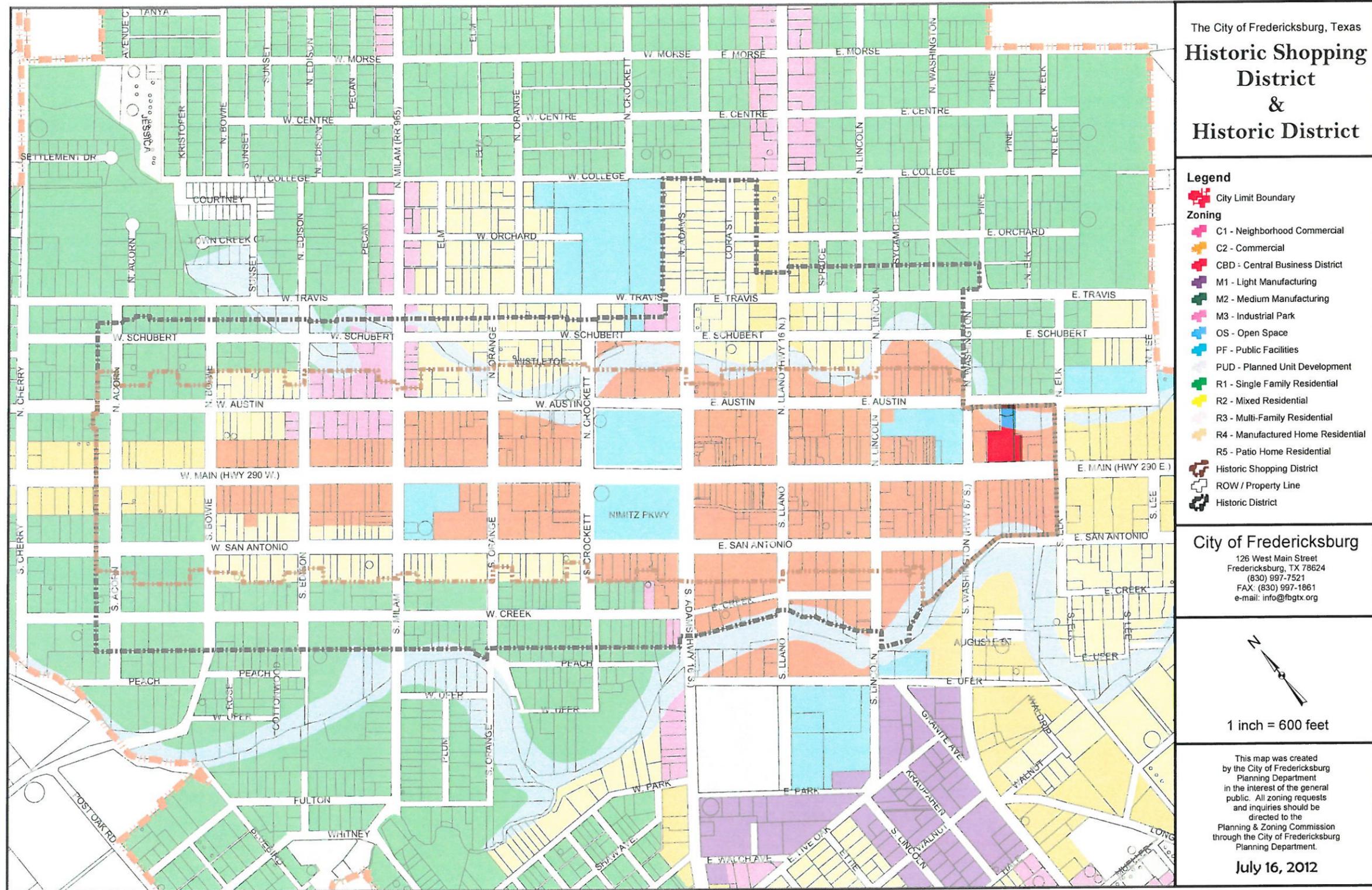
# HISTORICAL REVIEW APPLICATION

MAY 26, 2014

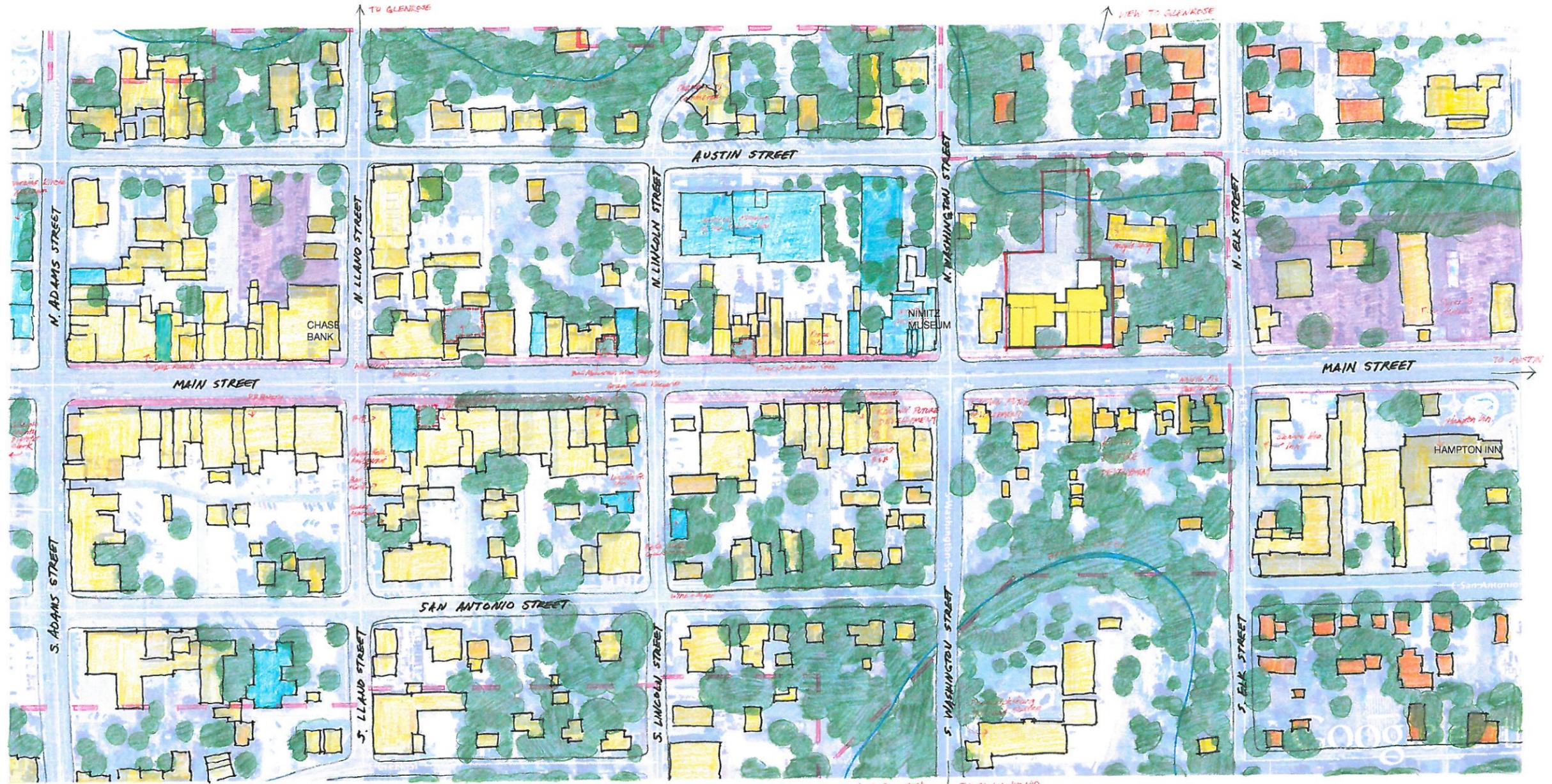
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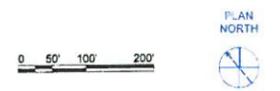
# Facts Zoning Map



# Site Plan Urban Condition Analysis

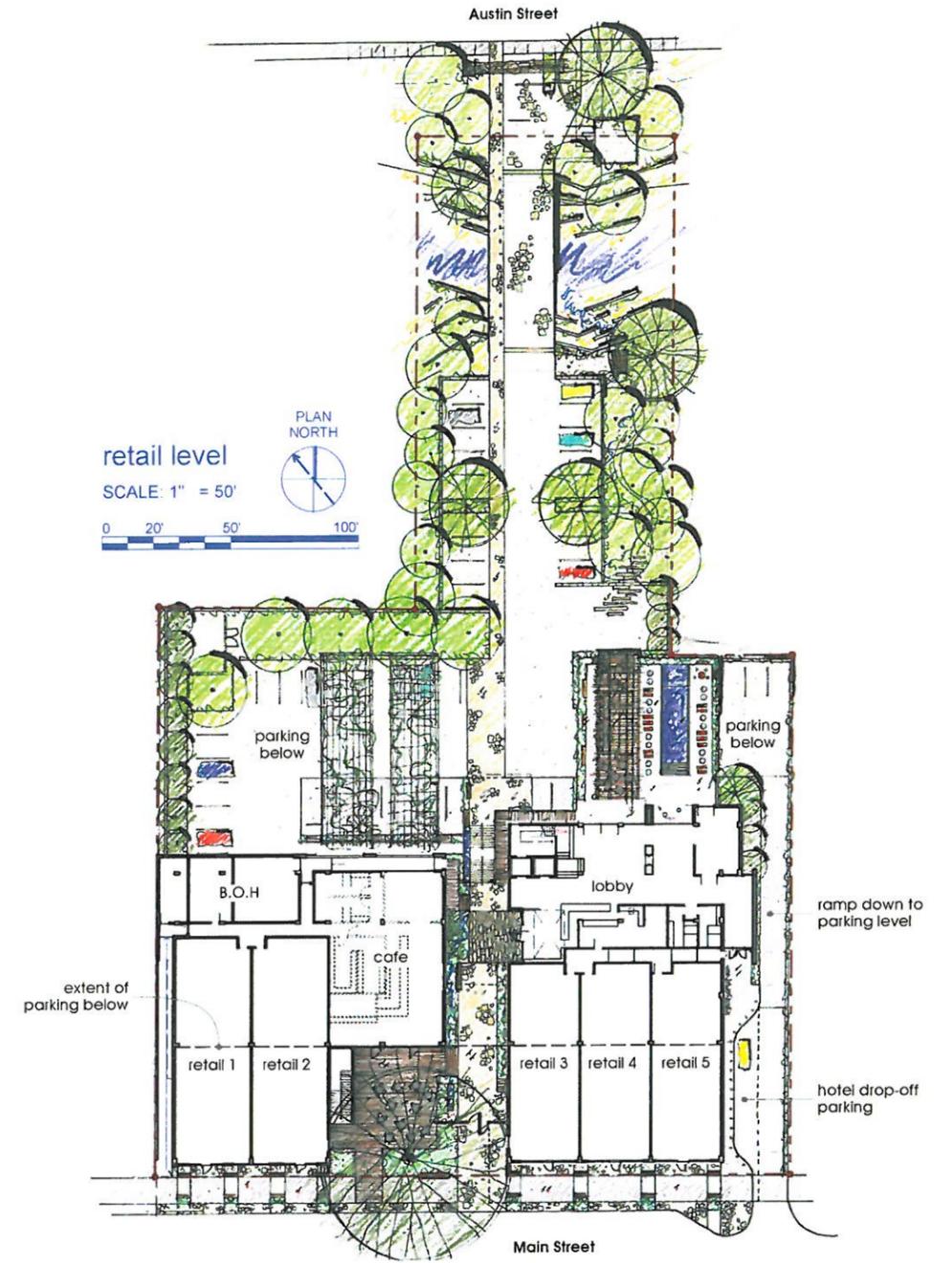
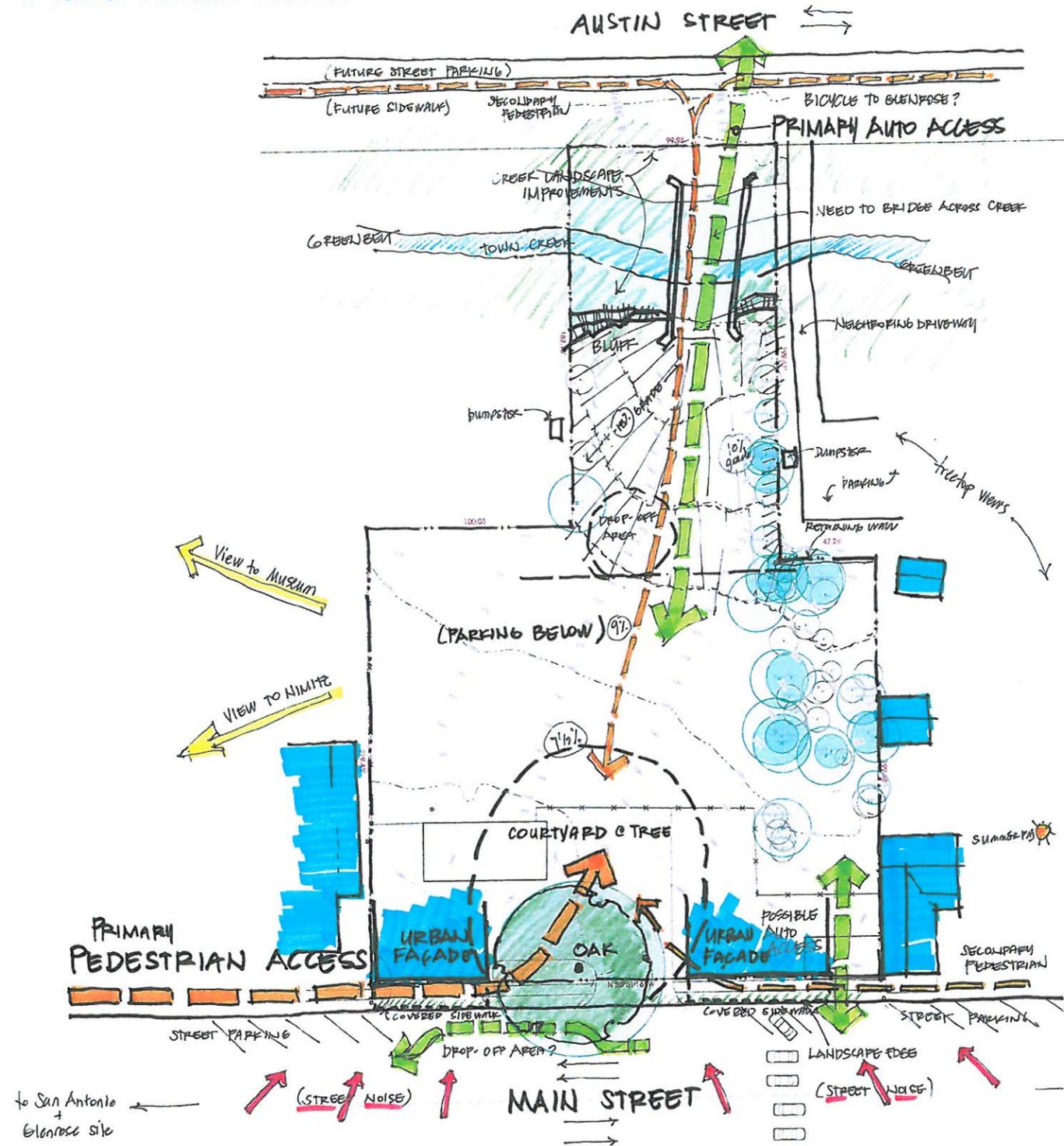


- CENTRAL BUSINESS DISTRICT
- MIXED RESIDENTIAL
- POINTS OF INTEREST/HISTORIC BLDGS.
- HISTORIC SHOPPING DISTRICT
- COURTYARD
- PARKING LOT
- PEDESTRIAN TRAFFIC



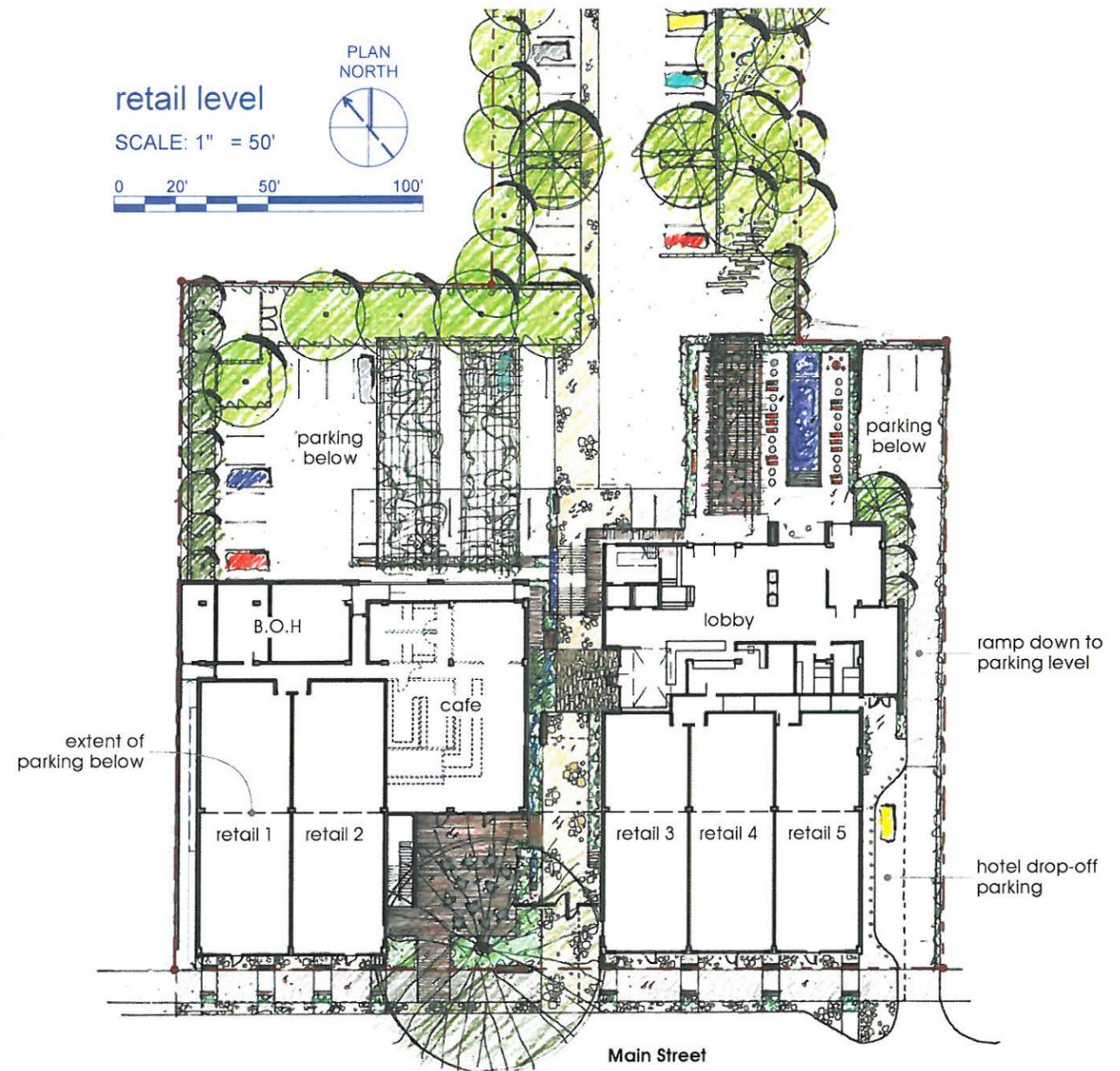
- EXTENSION OF PEDESTRIAN EXPERIENCE ON MAIN STREET FOR THE CENTRAL BUSINESS DISTRICT
- PEDESTRIAN FRIENDLY COURTYARD DIRECTLY OFF OF MAIN STREET
- PROJECT MASSING CREATES TWO SMALLER BUILDINGS VS. ONE LARGE BUILDING ON MAIN STREET TO REFLECT MASSING OF OTHER HISTORIC BUILDINGS ALONG MAIN STREET

# Plans Retail Level



- EXTENSION OF PEDESTRIAN EXPERIENCE ON MAIN STREET FOR THE CENTRAL BUSINESS DISTRICT
- PEDESTRIAN FRIENDLY COURTYARD DIRECTLY OFF OF MAIN STREET
- PROJECT MASSING CREATES TWO SMALLER BUILDINGS VS. ONE LARGE BUILDING ON MAIN STREET TO REFLECT MASSING OF OTHER HISTORIC BUILDINGS ALONG MAIN STREET

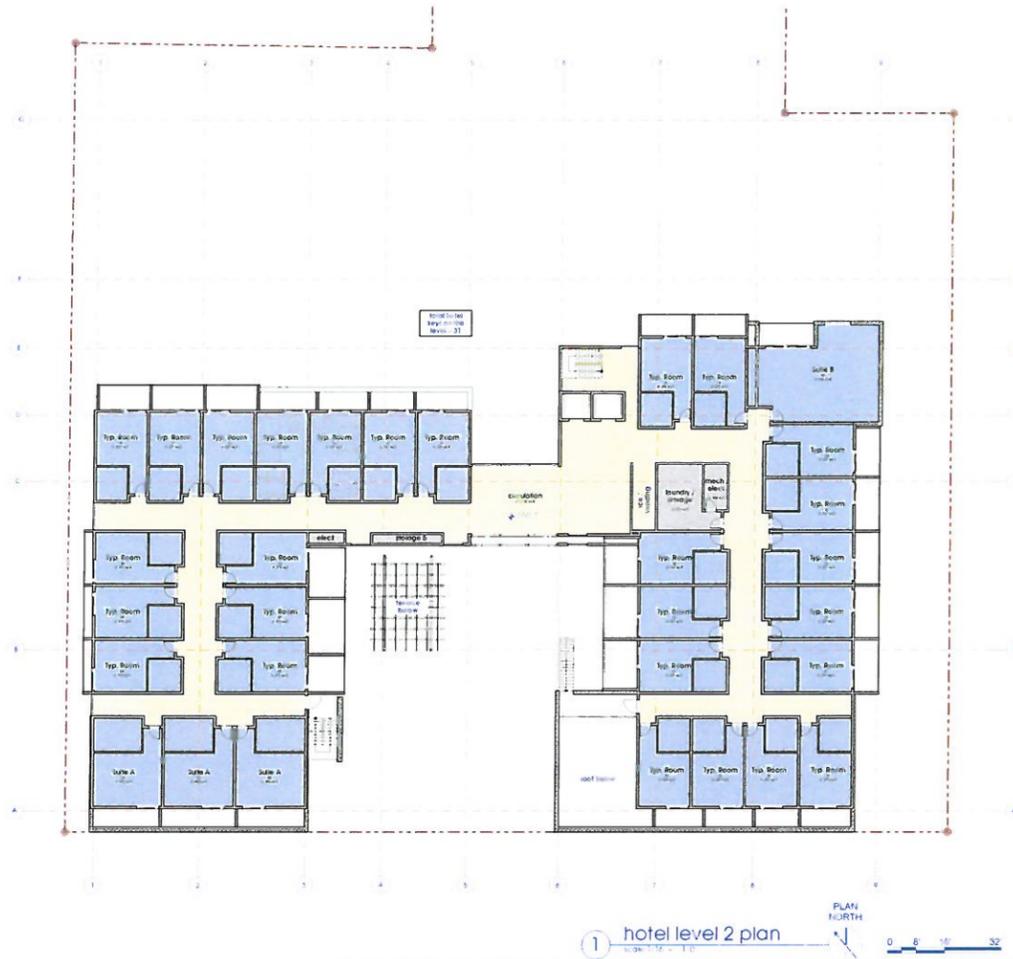
# Plans Parking Level + Retail Level



- PARKING LOCATED BEHIND AND BELOW BUILDING TO NOT BE VISIBLE FROM MAIN STREET
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# Plans Hotel Levels 1+2



CONDITIONAL USE PERMIT SET - NOT FOR CONSTRUCTION



CONDITIONAL USE PERMIT SET - NOT FOR CONSTRUCTION

• UPPER LEVEL OF HOTEL STEPS BACK FROM MAIN STREET TO REFLECT TWO STORY VOLUMES OF EXISTING BUILDINGS ALONG MAIN STREET AND TO NOT BLOCK ANY VIEW OF THE NIMITZ MUSEUM UPON ARRIVAL INTO THE CITY OF FREDERICKSBURG

# Plans Site Plan



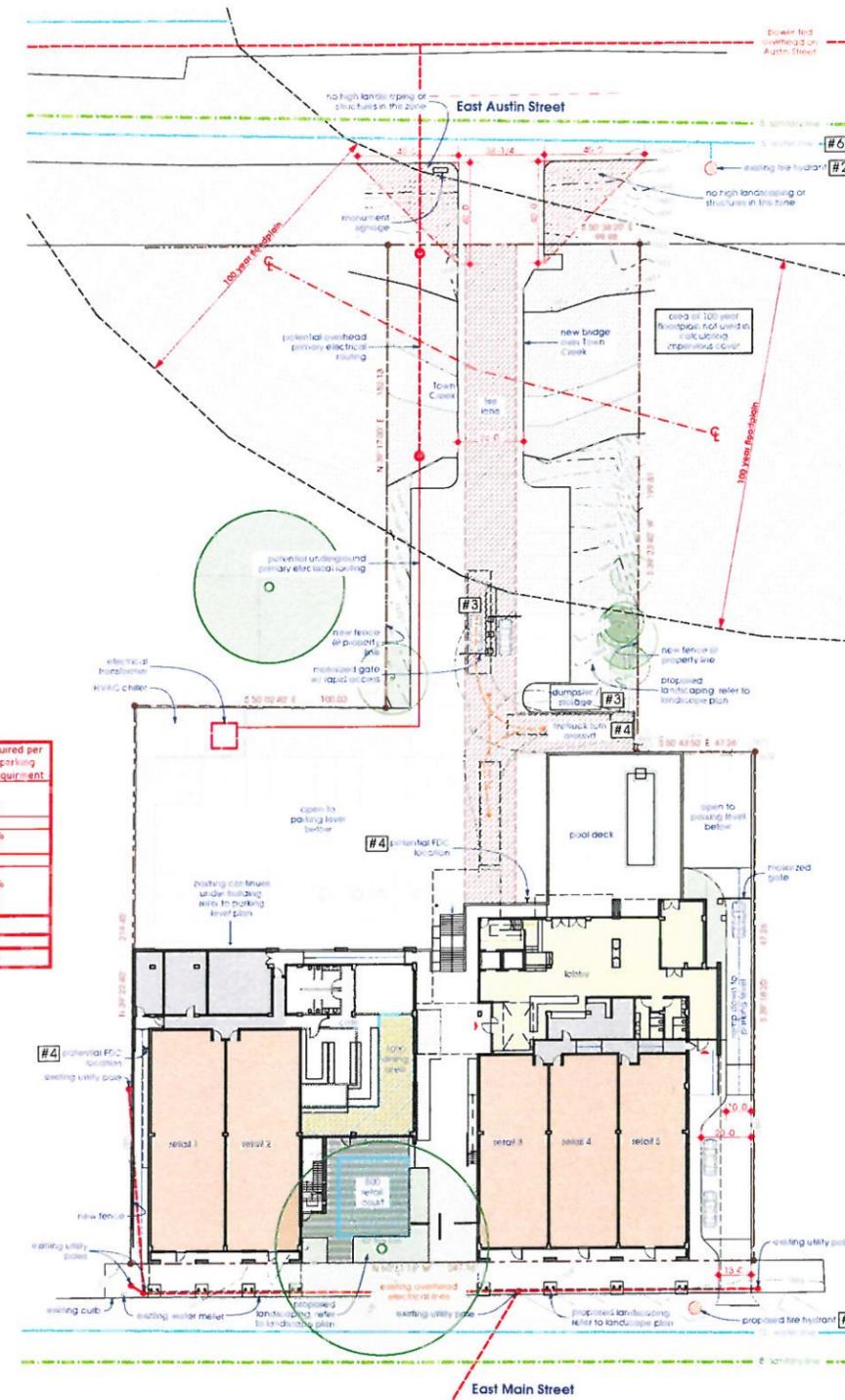
2 aerial map  
1/8" = 1' = 0"

Area Calculation		parking required per zoning ordinance			parking required per approved parking reduction requirement
Category	Area	Hotel keys	spaces per key 1st 50 1:1 over 50: 1	0.5	
Dining area	1,008.25				
Hotel	25,516.16	63			63
Total	11,443.65				
Parking Provided		parking required per zoning ordinance			parking required per approved parking reduction requirement
Type	Quantity	Hotel keys	spaces per key 1st 50 1:1 over 50: 1	0.5	
HC	4				
HC van	1				
compact	22				
drop-off	4				
standard	76				
<b>Total Parking Provided</b>	<b>107</b>				<b>98</b>

ZONING SUMMARY: CBD: CENTRAL BUSINESS DISTRICT

FEATURE	REGULATION	ACTUAL
LOT SIZE	MINIMUM LOT AREA = 5,000 SF	71,220 SF
LOT WIDTH	MINIMUM LOT WIDTH = 50 FEET	247 FEET
HEIGHT	MAXIMUM BUILDING HEIGHT, 3 STORIES, 38 FEET	3 STORIES, 38 FEET
FRONT YARD	MINIMUM REQUIRED SETBACK = 0 FEET	0 FEET
STREET SIDE YARD	MINIMUM REQUIRED SETBACK = 0 FEET	NA
INTERIOR SIDE YARD	MINIMUM REQUIRED SETBACK = 0 FEET	WEST=VARIES 0 FT TO 8 FT EAST= 14 FT
REAR YARD	MINIMUM REQUIRED SETBACK = 0 FEET	14 FT
MAXIMUM IMPERVIOUS COVER	90 %	89.9% *NOTE: PERCENTAGE BASED ON AREA OF SITE OUTSIDE OF THE 100 YEAR FLOODPLAIN

NOTE: AVERAGE SLOPE OF SITE IS LESS THAN 10%



1 site plan  
1/8" = 1' = 0"

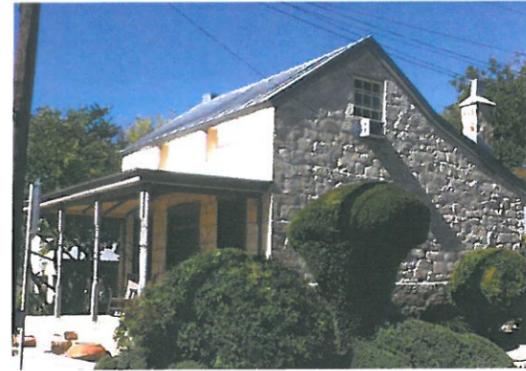
CONDITIONAL USE PERMIT SET - NOT FOR CONSTRUCTION

## Visioning Architectural Influences - Historical



Scale refers to how we perceive the size of a building element or space relative to other forms. The perceived scale of a building is greatly influenced by its context. Main Street, Fredericksburg is made up of predominantly 2-story buildings with a sprinkling of 1-stories and the rare 3-story. The height along with the narrow width of individually expressed buildings provides an overall pedestrian-friendly scale of the street. A rich variety of architectural elements such as columns, roofs and balconies overhanging the sidewalk, fenestration, and fine trim detailing all influence the sense of scale on Main Street.

Scale



Building forms in Fredericksburg tend toward simply expressed volumes elaborated with porches, balconies, and "saddlebags." Most buildings on Main Street are either parapeted, warehouse-type structures or pitched roof. Overhangs tend to be added to the main mass in the form of porches or balconies rather than extensions of the roof.

Form



One finds a variety of materials used with integrity in Fredericksburg. Many structures display the German-influenced stonework, as well as the occasional brick, stucco, and metal and wood siding. Wood trim, decorative wood brackets, and wood and steel columns elaborate on the basic building forms

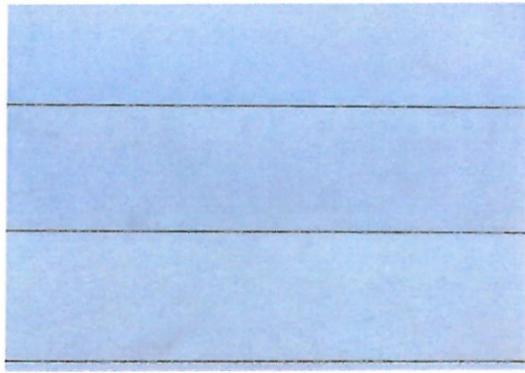
Materials + Details

## Visioning Exterior Materials Palette



Stone

Gillespie County is close to several stone quarries that produce a variety of stone types, textures and colors. The manner in which each of these is quarried, cut and laid in place can greatly affect the appearance of a surface. Consequently, we have a rich variety of material and influences with which to choose. Masonry walls can read as solid monoliths, or they can express individual stones.



Siding + Stucco

Several Historic buildings are rendered in stucco. This material tends to be more continuous, almost without detail of its own. It can be powerful when expressing prismatic forms and deep openings or a simple background for other materials.

Metal siding can be expressed as a thinner, lighter skin that can provide a counterpoint and relief to the thickness and solidity of masonry.



Architectural Details

Metals in many forms can be found on Main Street. Steel is used as major structural elements such as columns and beams. As well, it is employed in delicate constructions such as railings, grills, and arbors. Steel can be painted, sealed, galvanized or left to patina naturally.

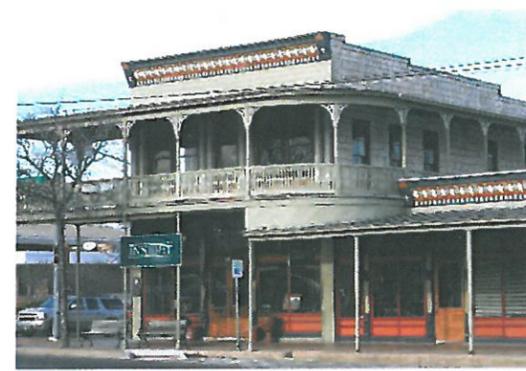
One finds a variety of fenestration types, sizes and groupings on Main Street. Windows and doors are typically spaced apart in a given rhythm across a facade, either set deeply in masonry or flush with the exterior wall.

## Visioning Main Street Influences



The urban fabric and experience of Main Street Fredericksburg is focused on the pedestrian. Ground level retail, structured canopies and a modest landscape buffer create a very cohesive identity along Main Street.

Urban Characteristics of Main Street



This mixed use project is made up of buildings that are of similar size and scale to those found along the historic business district of Main Street Fredericksburg. Typical buildings are one or two stories tall, with very few three story buildings. Typical retail heights are between 12'-14' high.

Scale



The scale of Main Street along the project site tends to become more of a residential scale. Along the north side of Main Street, the urban quality of Main Street is not as consistent as the blocks west of S. Washington Street. Featured on the project site is a large oak tree that can help provide a unique identity to the Hotel.

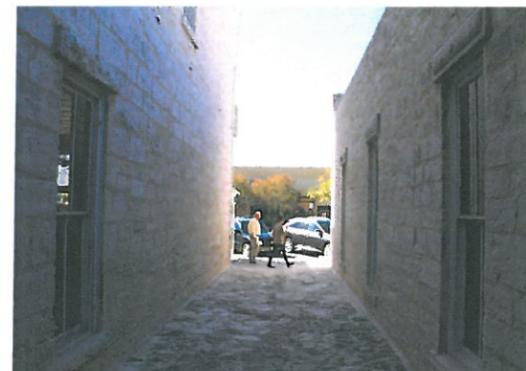
Project Site Along Main Street

## Visioning Landscape - Local Outdoor Spaces



The existing live oak along Main Street may be used to define a shaded outdoor courtyard and dining space just as other restaurants and businesses have done in the vicinity. Limbed up canopies allow for highly visible store fronts while still providing ample shade for comfortable occupation of the space.

Tree Occupied Courtyards



Local courtyards and hallways set back from the street provide more intimate spaces for dining and music venues. Details such as water features, fire places, custom fixtures and steel work provide ambiance.

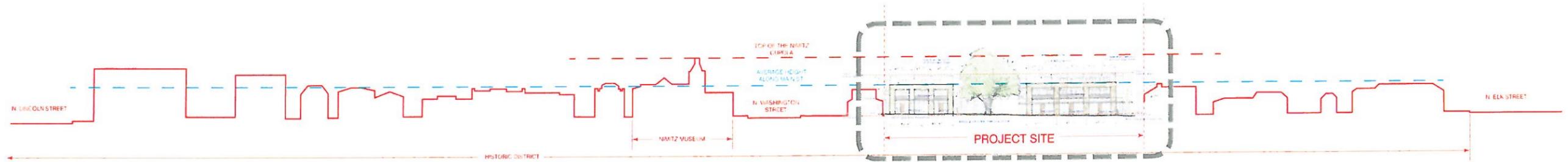
Courtyards and Hallways



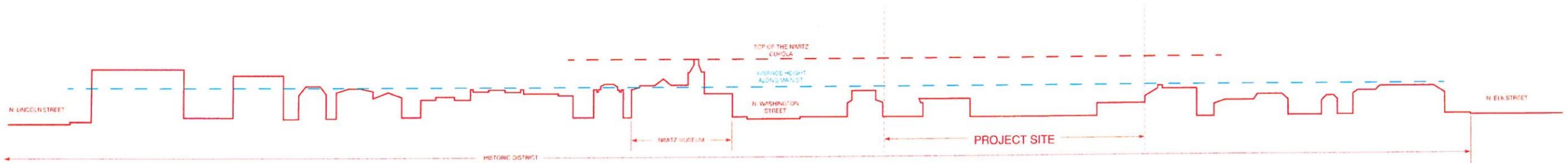
The project should draw inspiration from existing and historic paving materials to unify the streetscape experience. These materials include cut limestone block, flagstone, gravel, brick, and exposed aggregate concrete.

Paving

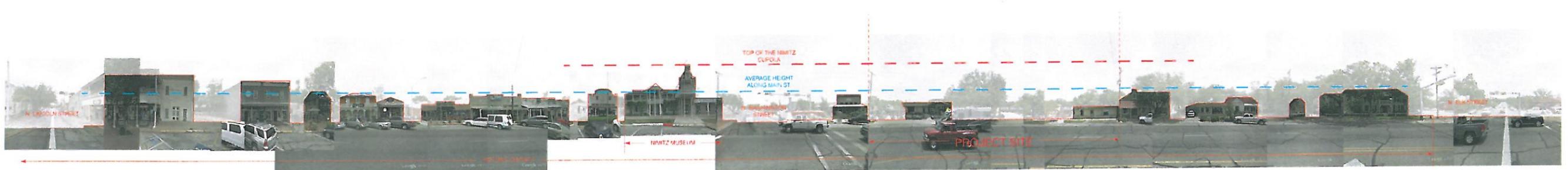
# Urban Elevation Main Street



## MAIN STREET ELEVATION PROJECT HEIGHT



## MAIN STREET ELEVATION SHOWING BUILDING PROFILES



## MAIN STREET ELEVATION SHOWING BUILDING CONTEXT

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# Height Comparison Main Street



# Exterior Elevations Main Street - Architectural Influences



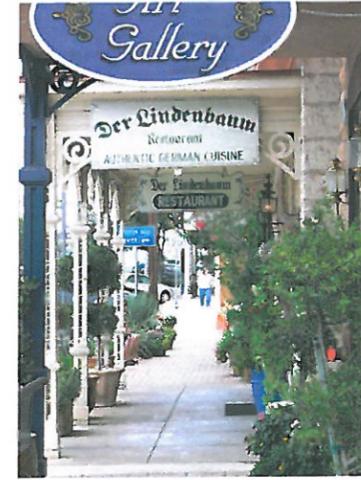
Main Street Elevation



Scale



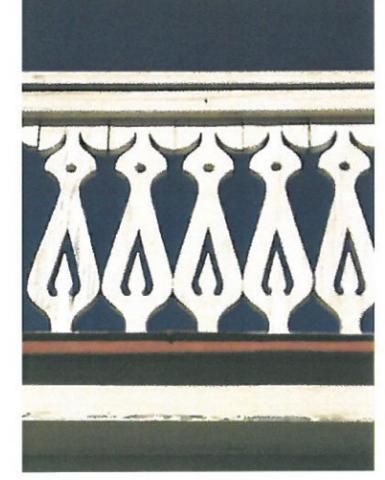
Form



Street Scape



Fenestration



Details

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# Exterior Elevations Main Street - Materials Palette



Main Street Elevation



Stone



Metal Siding



Stucco



Board Formed Concrete



Glazing

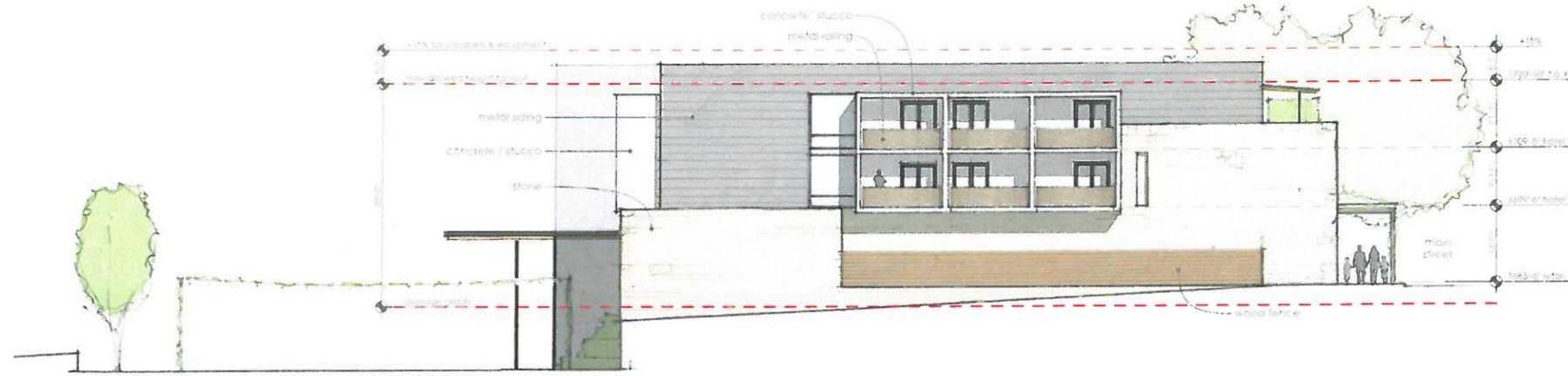


Architectural Metals

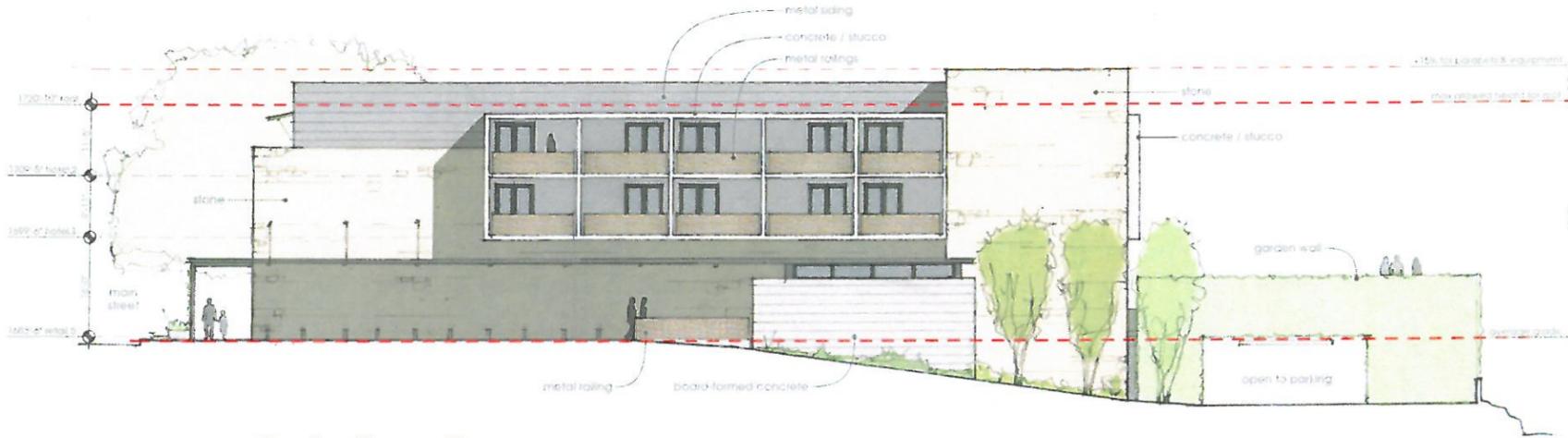
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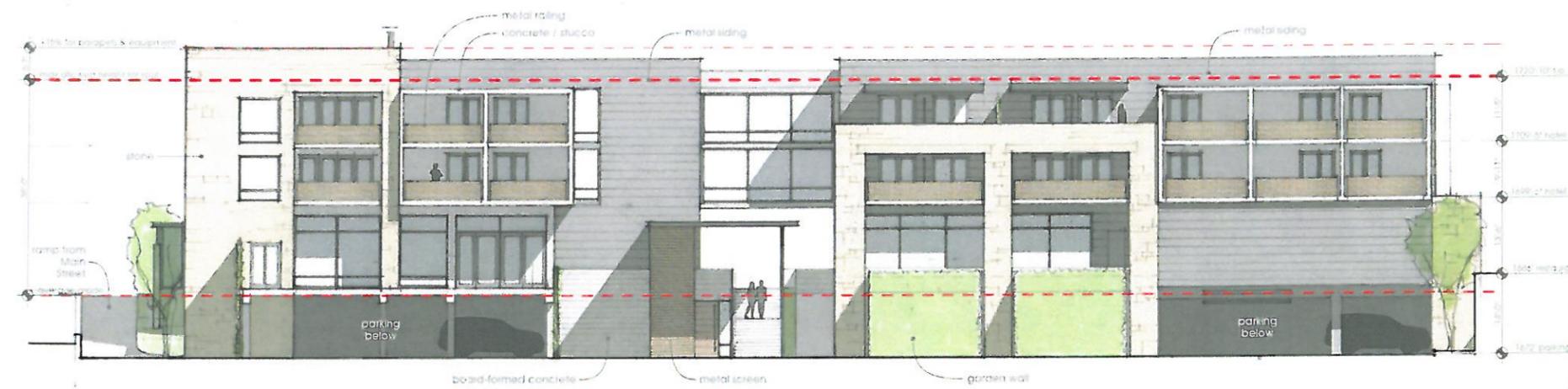
# Exterior Elevations North + West + East



West Elevation



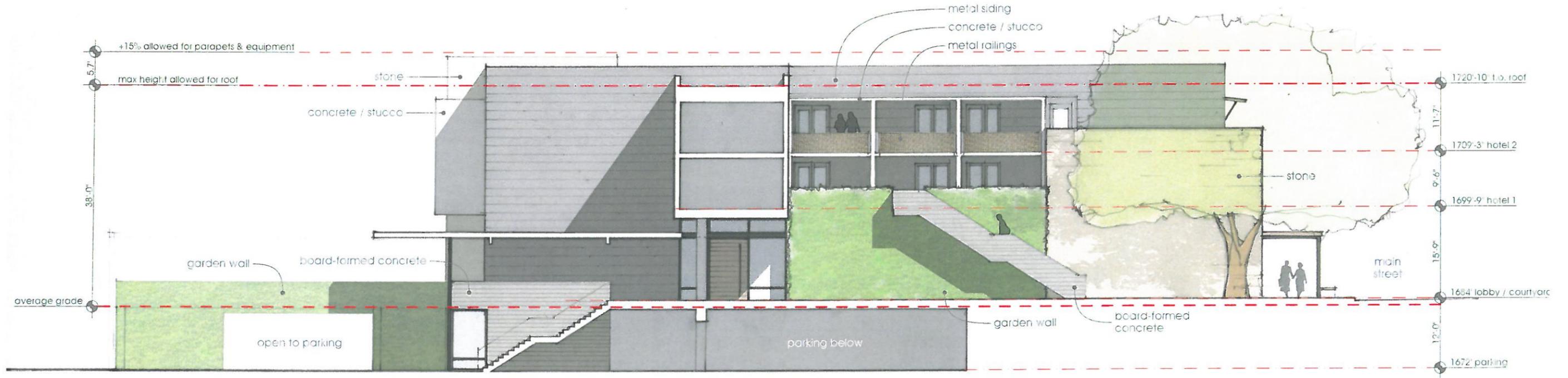
East Elevation



North Elevation



# Section Courtyard



Stone



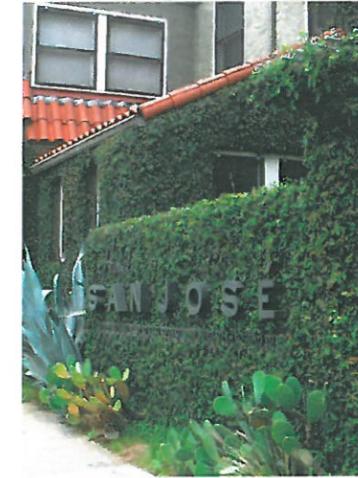
Metal Siding



Stucco



The Tree - Historic Oak



Green Walls



Paving

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## Perspective View Towards Nimitz Museum



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