

**CITY OF FREDERICKSBURG
HISTORIC REVIEW BOARD**

Tuesday, March 15, 2016

City Hall

City Hall Conference Room

126 W. Main St.

5:30 P.M.

1. Call to Order
2. Approve Minutes of February 2016 Regular Meeting

Pp 1 - 4

APPLICATIONS

3. Application #16-12 by Brandon Weinheimer on behalf of Sammy Segner of Segner's Jewelry to remodel façade and construct rear addition on property located at 236 W. Main Street
4. Application #16-15 by Phillip & Connie Hiser at 113 W. Centre to:
 - Demo rear garage
 - Paint exterior of main structure
 - Add deck to rear of house
 - Construct guest house and carport

Pp 5 - 13

Pp 14 - 21

DISCUSSIONS

5. Annual Report
6. Consider expanding the Historic District

Pp 22 - 28

SIGN OFF APPLICATIONS

7. #16-08 – Repair awning over Main Street sidewalk – 127 E. Main (Zwei Schneiders)
8. #16-09 – Replace roof and make repairs – 340 E. Main (National Museum of Pacific War)
9. #16-10 – Replace roof, doors & windows – 306 S. Lincoln (Oehler)
10. #16-11 – Paint exterior – 108 W. Creek (Sawtelle)
11. #16-13 – Repair damage to front wood beam & replace rotten wood – 225 W. Main (Metzger)
12. #16-16 – Remove & replace damaged wood, gutters & garage roof, paint exterior – 402 Cora (Dunn)

ADJOURN

STATE OF TEXAS
COUNTY OF GILLESPIE
CITY OF FREDERICKSBURG

HISTORIC REVIEW BOARD
February 9, 2016
5:30 PM

On this 9th day of February, 2016 the Historic Review Board convened in regular session at the regular meeting place thereof, with the following members present to constitute a quorum:

SHARON JOSEPH
LARRY JACKSON
CHARLES SCHMIDT
MIKE PENICK
STAN KLEIN
JERRY SAMPLE
DAVID BULLION

ABSENT: JOHN MURAGLIA
KAREN OESTREICH
ERIC PARKER

ALSO PRESENT: BRIAN JORDAN – Director of Development Services
PAT MCGOWAN – City Attorney
KYLE STAUDT – Building Official
BROC SCHULZ – Building Inspector
TAMMIE LOTH – Development Coordinator

Sharon Joseph called the meeting to order at 5:30 PM.

MINUTES

Charles Schmidt moved to approve the minutes from the January 2016 regular meeting. David Bullion seconded the motion. All voted in favor and the motion carried.

APPLICATIONS

Application #16-01 by Maurilio Resendiz at 318 E. Main Street to install a fiberglass roof over existing patio – Maurillo Resendiz presented the application and noted he would like to put a roof over the existing patio to help keep the area warmer during the winter. Mr. Resendiz noted the building is a newer building and not historic and he would like to put a greenhouse type roof over the patio. Sharon Joseph asked if it would be a corrugated roof and Mr. Resendiz stated it would not, it would be a flat surface. Jerry Sample asked if the applicant would enclose the front and Mr. Resendiz noted he would leave it open. David Bullion noted the roof is very visible and stated he is not aware of any fiberglass roof in the historic district. Mr. Bullion asked if he would consider using metal and Mr. Resendiz stated he wouldn't mind using metal and it would probably look better. Mr. Sample noted they will need to know what kind of metal

will be used and if it will be painted. Ms. Joseph stated the roof will be very visible so the Board needs to see a sample of the material that will be used and a drawing of what the elevations will look like. Mr. Sample commented if Mr. Resendiz uses metal on the front a fiberglass shield could probably be used on the back portion to allow light to come through. Larry Jackson stated the roof should be lower than the existing roof. Mr. Sample and Mr. Bullion commented it should be the same pitch but lower.

David Bullion moved to table the application until the applicant can present revised drawings. Charles Schmidt seconded the motion. All voted in favor and the motion carried.

Application #16-04 by Karlsville to paint building exterior at 223 E. Main Street – Karl and Mary Ransleben presented the application. Mr. Ransleben noted they have a prospective tenant and would like to paint the exterior of the building a color that meets the tenant's wishes, which involves a single color for the entire building. Mr. Ransleben noted they would like a gray color but the one previously presented was too dark. Mrs. Ransleben stated they want a striking building that is different than other buildings on Main Street. Mrs. Ransleben noted they and the tenants have come up with a lighter gray color and presented a large sample of two colors, along with a paint sample with different shades of gray to the Board. Mrs. Ransleben noted if the single paint color doesn't look like they are expecting, they could paint the trim one shade deeper. David Bullion stated all the architectural detail will be lost with a monochrome color. Mrs. Ransleben commented they will use flat paint on the main structure and semi-gloss paint for the detail areas so she believes the architectural detail will not be lost. Stan Klein asked if anything would be accented with a different color and Mrs. Ransleben noted only the front door. Mr. Klein stated they historically want the detail to be recognized and this building is a compliment to the Historic District and he finds difficulty with the applicants wanting to de-emphasize the details on the building. Mr. Bullion asked if there was any example of old historic buildings with this dark of a color. Mr. Klein stated there is one monochrome building on East Main but noted the monochrome feel can be accomplished by using two colors which would complement the building and therefore compliment the business. Larry Jackson agreed. Jerry Sample commented they need a touch of different color on the building and added the building will still be dark if they use the shades presented. The Board was in unanimous agreement that one color on the entire building doesn't enhance the building. Mr. Klein commented the trim would be considered columns, window sashes, and doors and added there is a lot of detail on the building.

Mrs. Ransleben suggested using paint color 1607 from the paint samples they brought for the main body and 1606 for the trim if they have to go lighter, but noted she would prefer to go darker on the trim with paint color 1608. Mike Penick stated the colors suggested are close to a color that was previously used in the historic district that prompted the Board to enforce color restrictions. Mr. Bullion stated the two shades used should be two steps apart on the color swatch to accent the detail on the building.

Jerry Sample moved to approve color 1607 to be used on the body of the building and color 1608 to be used for trim. Mr. Sample added color 1607 should be a semi-gloss paint and 1608 should be satin. Charles Schmidt seconded the motion. Mr. Jackson stated the shades need to be two steps different on the color swatch. Mr. Klein agreed. All voted in opposition of the motion with the exception of Jerry Sample. The motion was denied.

Larry Jackson moved to approve paint color 1607 for the main body and color 1609 for the trim. David Bullion seconded the motion. Mr. Jackson stated he would still like to go lighter but does not believe the applicant is in favor of that. Everyone voted in opposition of the motion on the table with the exception of Charles Schmidt, who voted in favor. The motion was denied.

David Bullion moved to approve paint color 1608 as the base color and number 1606 as the accent color. Jerry Sample seconded the motion. Stan Klein suggested letting the applicant decide which of the two colors they would like to use for the base color and trim color. All voted in favor and the motion carried.

Application #16-05 by Randy Stehling on behalf of Chris and Ruth Avery to construct 1000 square foot addition on the rear face of the house at 106 E. Schubert Street – Randy Stehling presented the application. Mr. Stehling stated they are removing a small back porch and not demolishing anything. Mr. Stehling noted he has kept the addition out of view and put it as far back on the lot as possible. Mr. Stehling added the massing is broken so it looks like a series of small separate buildings. Mr. Stehling noted the addition will be separated with a small connector made with a lot of glass and transparent as possible. Mr. Stehling commented board and baton will be used on the structure closest to the existing house, stone on one side of the addition and stone on the bedroom addition. Mr. Stehling noted they tried to keep the stone on the addition away from the existing stone on the original structure. Mr. Stehling noted the rooflines close to the house will have less of a pitch and be kept more muted and go back to a pitched form on the back side. Mr. Stehling noted the paint colors they will use are the same as the existing colors. Stan Klein stated the door on the west wall should be board and baton and not emphasized. Mr. Stehling noted he will paint it the same color as the siding. Mr. Klein asked if the owners will build a carport or a garage and Mr. Stehling noted they are looking at building a very simple open carport in the future. Mr. Bullion noted this is an outstanding example of doubling the square footage of a historic structure and not being obtrusive.

David Bullion moved to approve Application #16-05 and Stan Klein seconded. All voted in favor and the motion carried.

DISCUSSIONS

Date for work session to discuss Historic District expansion and ordinance changes - Brian Jordan, Director of Development Services, noted the Board has expressed an interest in expanding the Historic District and adding some language to the Historic Preservation Ordinance to give the Board more authority on new construction. Mr. Jordan suggested a special meeting be held as opposed to adding those discussions to a regular agenda. There followed discussion and it was determined to have a special meeting on March 1, 2016 at 5:30p.m. Mr. Jordan asked the board members to think about pockets of town that would possibly be included in the district. David Bullion suggested the design guidelines that were recently adopted be a starting point for the additional language in the ordinance.

Annual Report

Brian Jordan, Director of Development Services, stated the Board is required to present an annual report to the City Council and asked when the Chair would be available to present it to

the Council. It was decided the report would be presented in March.

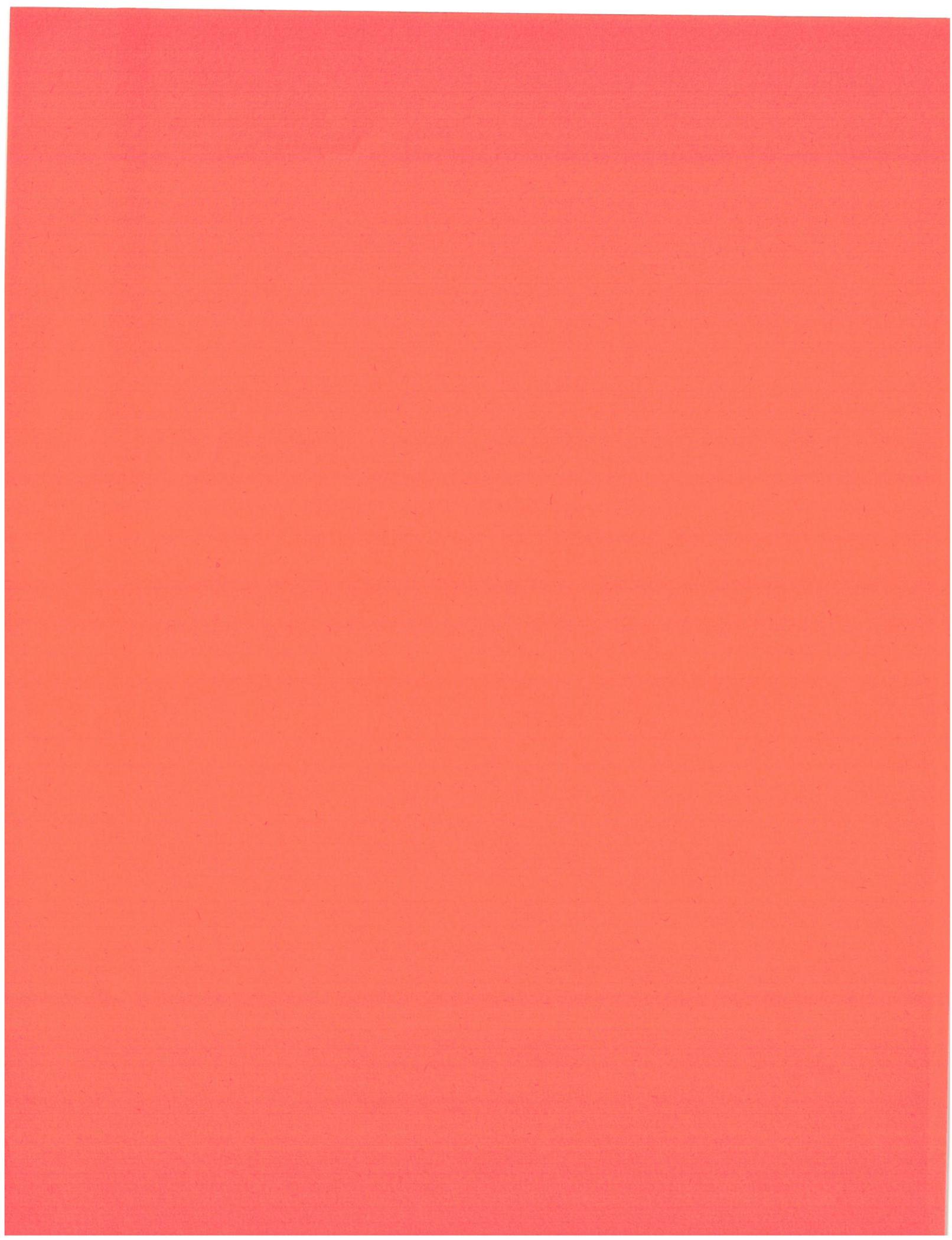
ADJOURN

With nothing further to come before the Board, Larry Jackson moved to adjourn. David Bullion seconded the motion. All voted in favor and the meeting was adjourned at 6:58 p.m.

PASSED AND APPROVED this the 15th day of March, 2016.

SHELLEY BRITTON, CITY SECRETARY

SHARON JOSEPH, CHAIRMAN



**Historic Review Board
Application Information**

Application Number: 16-12
Date: March 9, 2016
Address: 236 W. Main
Owner: Sammy Segner
Applicant: Brandon Weinheimer
Rating: Low
Proposed Modifications: See attached
Neighborhood Characteristics: The subject property is in the Historic District.
Staff Comments: The scope of the project justifies Board review.

General Notes:

The mandatory functions of the Board include the following:

(1) Removal, addition or modification of architectural detail. The distinguishing historic qualities or character of a building, structure, or site and its environment shall not be destroyed. Removal or modification of any historic material or distinctive architectural features may be accomplished upon issue of certificate of appropriateness; however, this should be avoided when possible. Architectural features include but are not limited to exterior wall materials, windows, railings, decorative woodwork, masonry, or stone elements.

(2) Paint color and application. Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.

(3) New construction in historic districts. The board will review all new construction plans within Historic Districts in order to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion, design harmony and setback.

The advisory functions of the Board include the following:

- (1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
- (2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
- (3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
- (4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
- (5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
- (6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
- (7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

Preservation Priority Rating. Three-tier rating system used in the 2002 *Fredericksburg Historic Resource Survey* to evaluate all properties within, and adjoining to, the City's Historic District. Ratings are based upon current determinations of architectural value and integrity and, if known, historical and cultural value, and may be altered from time to time as additional information is discovered or circumstances change.

HIGH rating. The most significant properties identified in the 2002 *Fredericksburg Historic Resource Survey*. These properties are considered to be outstanding, unique, or good examples of architecture, engineering, or design. Some are unique to the Fredericksburg area and are indicative of German-Texan vernacular forms and/or building techniques. Others are noteworthy examples of 19th and early 20th century architectural types, styles, and forms, erected using local building materials and construction technologies. Properties designated with a high rating are to be the most protected from alteration and demolition.

MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

LOW rating. Properties that minimally enhance the district's ability to convey a sense of time and place. These properties may be typical examples of more recent, common local building forms, architectural styles, or plan types; be examples of distinctive building forms, architectural styles, or plan types that have been significantly altered; lack the necessary age to meet the usual fifty (50) year threshold for possible National Register of Historic Places listing and do not appear to meet the National Register of Historic Places standard for exceptional significance for properties less than fifty (50) years of age, but which nevertheless may have relative value within the Historic District, meriting preservation. Properties or improvements with a low rating may be considered for relocation or demolition upon a determination by the Historic Review Board that the same can be accomplished with little or no consequence to the historical, cultural, architectural, or archeological character of the district or property.

16-12

Application for Certificate of Appropriateness

Application Date: 2-25-16 Application Complete: 2-25-16

Property Address: 236 W. Main Street, Fredericksburg, Texas

Owner: Sammy Segner Phone No. 830-997-2559

Address: 236 W. Main Street, Fredericksburg, Texas

Applicant: Brandon Weinheimer - SKT Architects Phone No. 830-997-0383

Address: 300C West Main St., Fredericksburg, Texas Fax No. _____

Description of External Alteration/Repair or Demolition: Facade to be remodeled; stone veneer, metal panels, and existing canopy to be removed. New canopy and windows to be installed, parapet height to be extended with new stucco finish. Rear addition (not visible from Main St.) to be painted CMU.

Color selections to be submitted for Board approval at a later date.
Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site: _____

The facade remodel will reveal features & details of original building. New windows, canopy w/ pressed metal ceiling, and parapet will compliment and enhance original style.

Any circumstances or conditions concerning the property which may affect compliance with the ordinance: _____

None

Drawing Sketch Date Submitted: 2-25-16 Historic Photograph

Desired Starting Date: May 2016 Desired Completion Date: August 2016

SURVEY RATING: High Medium Low None
 RTHL: Estimated Date of Construction _____

APPLICANT SIGNATURE: Brandon Weinheimer
The Applicant certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property

Building Official's Determination Date _____ Insignificant Significant
(Max 7 days)
Joseph
Chairman's Determination Date 3/1/16 Insignificant Significant
(Max 7 days)

Meeting Date (40 days max. after complete application) _____ Notice to Applicant: _____

APPLICATION FEE: \$10.00 plus Board Review; CERTIFICATE OF APPROPRIATENESS-\$40.00



Existing Elevation

8

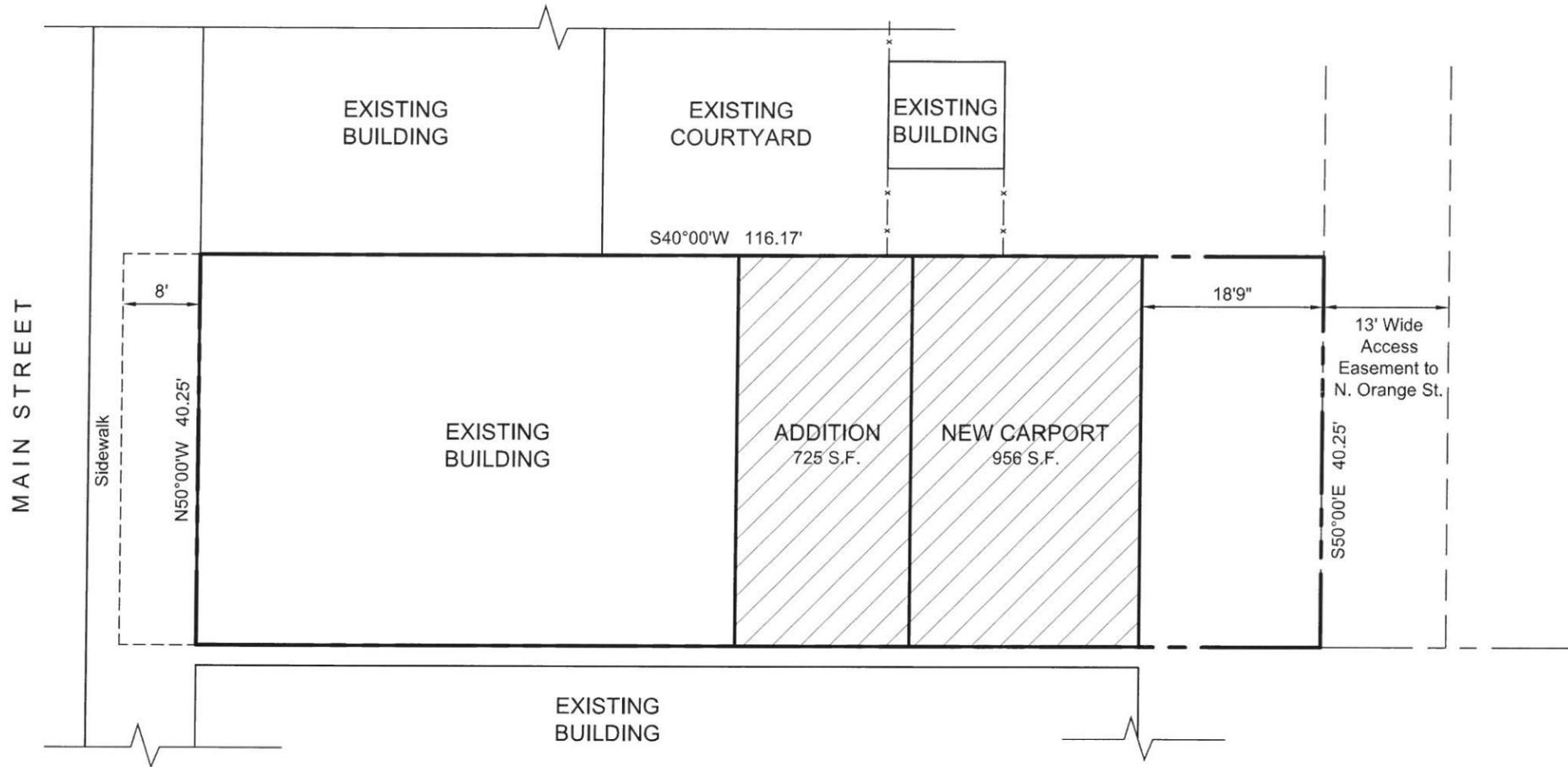
Original Parapet Wall



PRELIMINARY

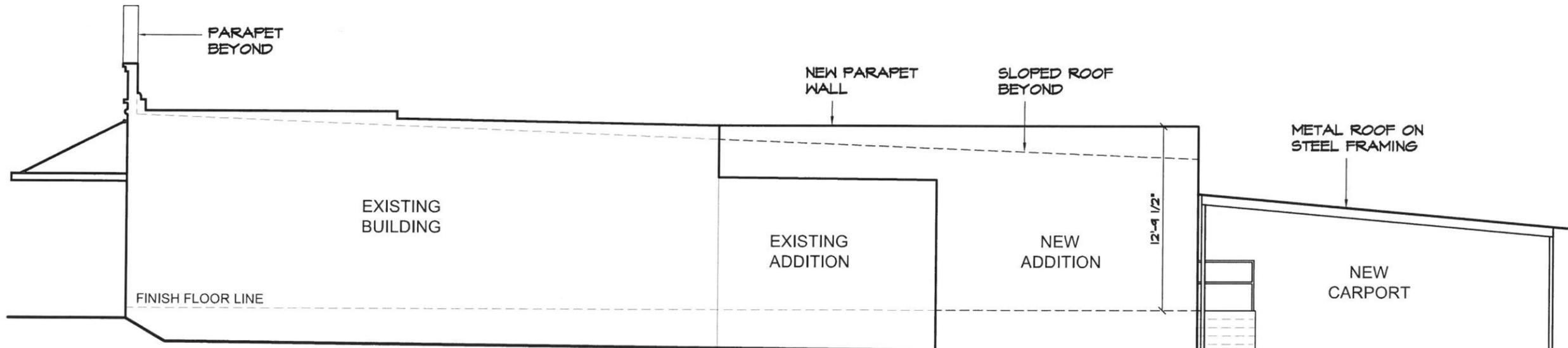
THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES
RANDY R. STEHLING
PROJECT ARCHITECT
NUMBER 14396

2-25-16



Site Plan

1" = 20'



East Elevation

1/8" = 1'-0"

10



Randy R. Stehling, AIA - Project Architect
STEHLING KLEIN THOMAS ARCHITECTS, PLLC
300 C West Main St. Fredericksburg, Texas 78624 | 830-997-0383

STOREFRONT REMODEL AND ADDITION FOR

SEGNER'S JEWELERS

236 W. MAIN ST. FREDERICKSBURG, TEXAS

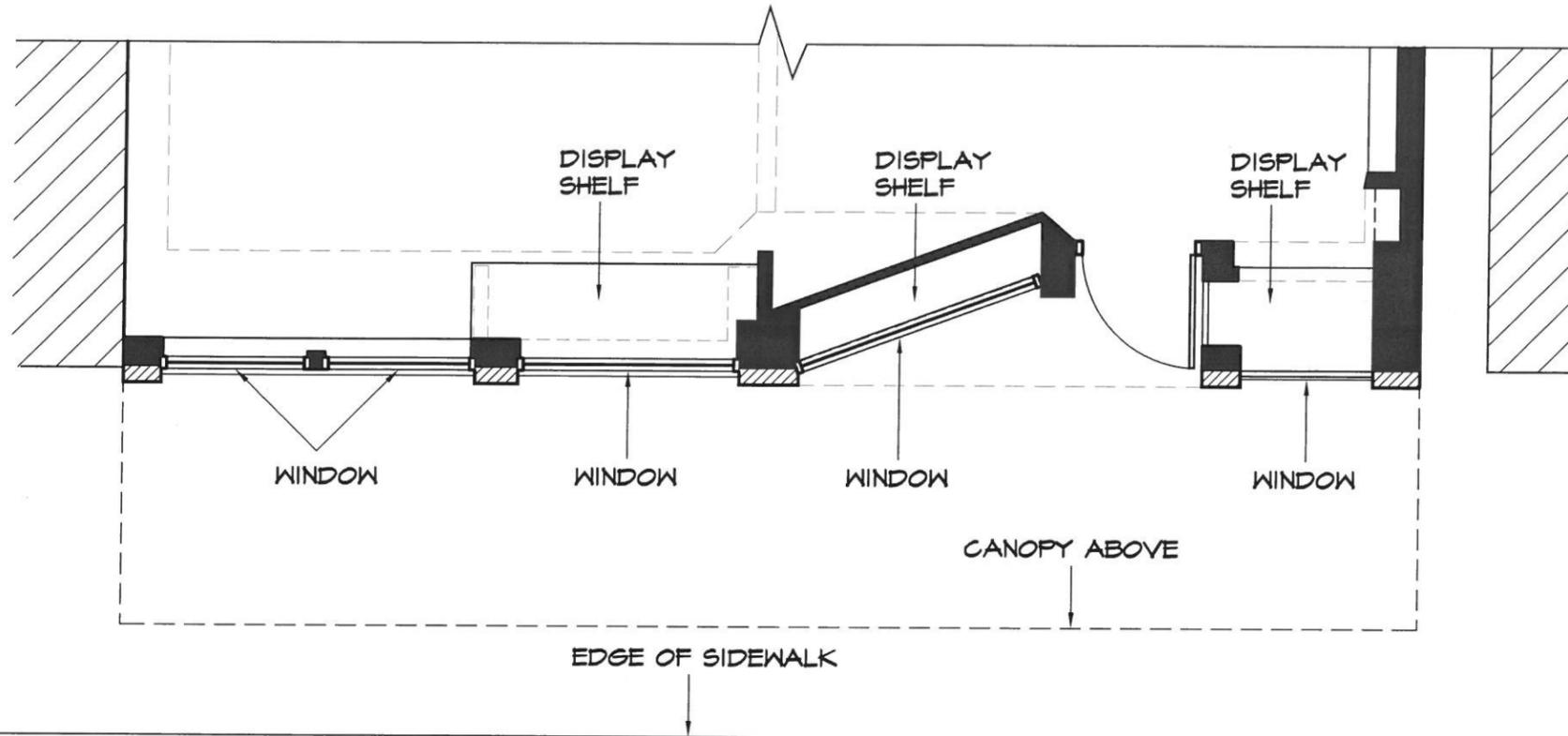
SITE PLAN
EAST ELEVATION

A-1

PRELIMINARY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES
RANDY R. STEHLING
PROJECT ARCHITECT
NUMBER 14396

2-25-16



Existing Partial Floor Plan

3/16" = 1'-0"

METAL COPING

METAL PANELING

CABLE SUPPORTED CANOPY

LIMESTONE VENEER

ALUMINUM STOREFRONT WINDOWS



Existing South (Street) Elevation

3/16" = 1'-0"



Randy R. Stehling, AIA - Project Architect
STEHLING KLEIN THOMAS ARCHITECTS, PLLC
300 C West Main St. Fredericksburg, Texas 78624 | 830-997-0383

STOREFRONT REMODEL AND ADDITION FOR

SEGNER'S JEWELERS

236 W. MAIN ST. FREDERICKSBURG, TEXAS

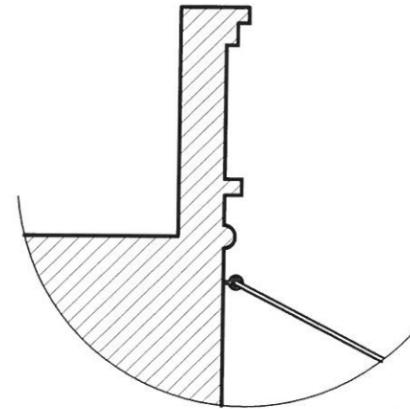
EXISTING PLAN / SOUTH ELEVATION

A-2

PRELIMINARY

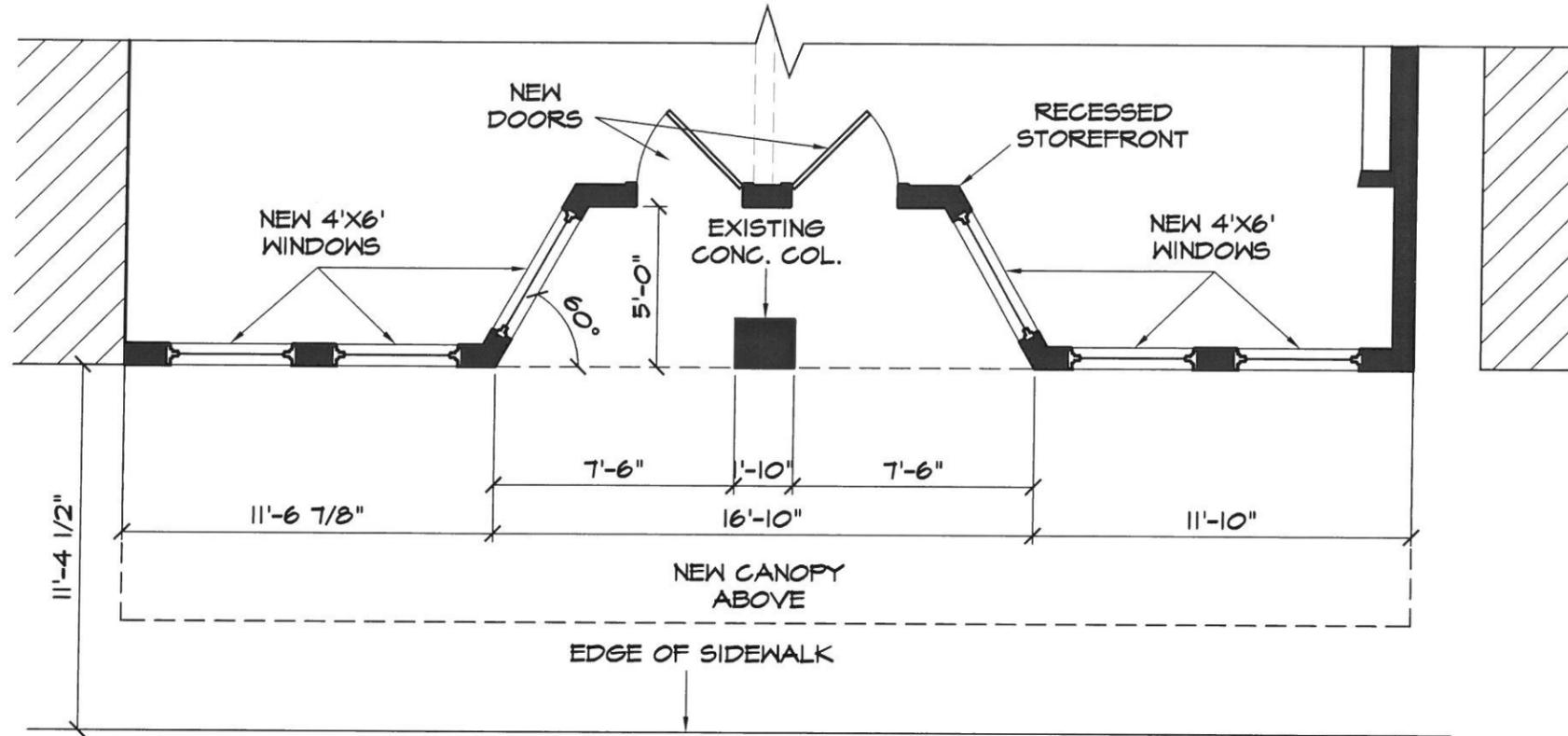
THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES
 RANDY R. STEHLING
 PROJECT ARCHITECT
 NUMBER 14396

2-25-16



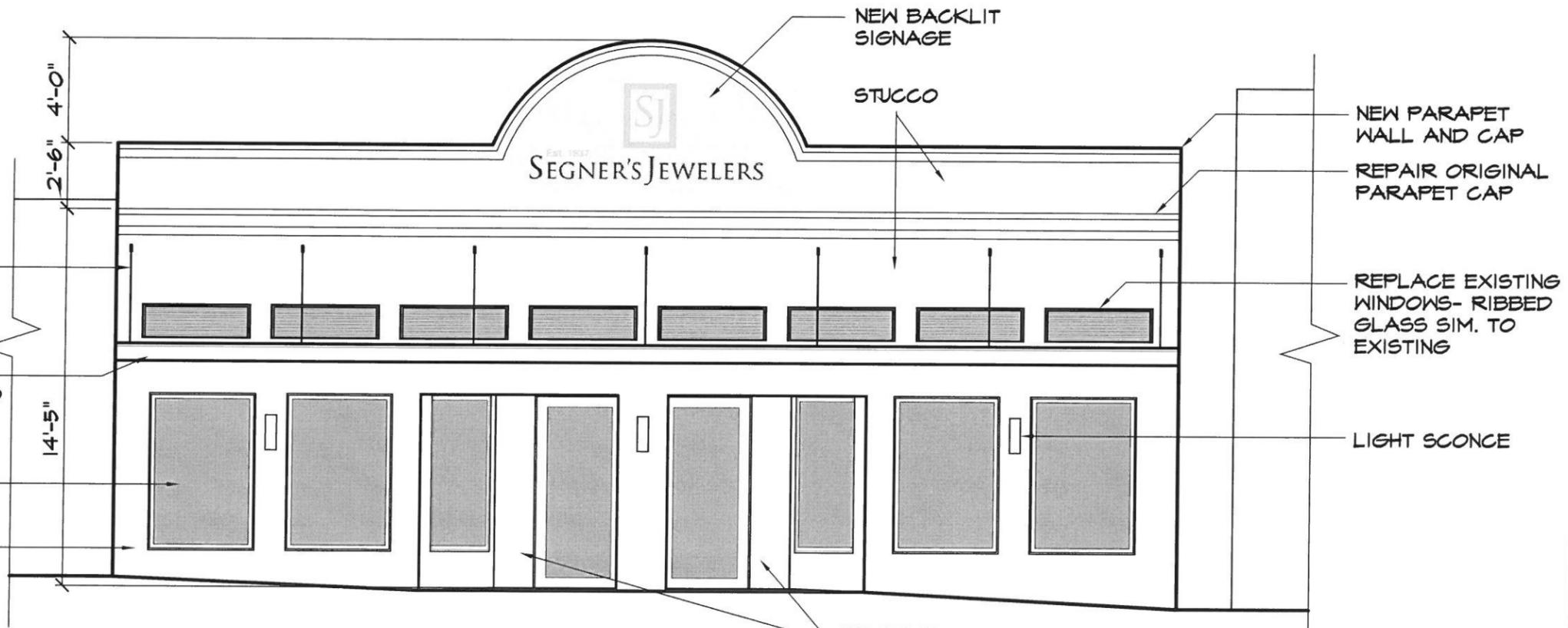
Parapet Profile

3/8" = 1'-0"



Proposed Partial Floor Plan

3/16" = 1'-0"



Proposed South (Street) Elevation

3/16" = 1'-0"

12



Randy R. Stehling, AIA - Project Architect
 STEHLING KLEIN THOMAS ARCHITECTS, PLLC
 300 C West Main St. Fredericksburg, Texas 78624 | 830-997-0383

STOREFRONT REMODEL AND ADDITION FOR

SEGNER'S JEWELERS

236 W. MAIN ST. FREDERICKSBURG, TEXAS

FLOOR PLAN
 SOUTH ELEVATION

A-3

Inventory of Properties

225 W. Main



2002-05 Re-evaluation

High Medium Low

Site ID No. 257
 Address 225 W. Main
 Date 1890
 Stylistic Influence Spanish Eclectic
 GCAD Hyperlink [R55922](#)
 Owner KNOPP & METZGER INC
 Historic District Yes Historic District
 Assessment Example of a distinctive building type or architectural style that has undergone alterations or deterioration.

Notes

1983 Historic Resources Survey	
Previous Site No.	477
Previous Ranking	3
Previous Photo References	
Roll	18 18 32
Frame	5 6 33

229 -231 W. Main



2002-05 Re-evaluation

High Medium Low

Site ID No. 256
 Address 229 -231 W. Main
 Date 1880
 Stylistic Influence Mission Revival
 GCAD Hyperlink [R20347](#)
 Owner KNOPP & METZGER INC
 Historic District Yes Historic District
 Assessment Example of a distinctive building type or architectural style that has undergone alterations or deterioration.

Notes

1983 Historic Resources Survey	
Previous Site No.	478
Previous Ranking	3
Previous Photo References	
Roll	18 18
Frame	7 8

232 W. Main



2002-05 Re-evaluation

High Medium Low

Site ID No. 358
 Address 232 W. Main
 Date 1897
 Stylistic Influence
 GCAD Hyperlink [R22937](#)
 Owner PATTON, BUILDING LTD
 Historic District Yes Historic District
 Assessment An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations. Outstanding decorative features contribute to the resource's significance.

Notes

A. L. Patton Building. Resource is a Recorded Texas Historic Landmark.

1983 Historic Resources Survey	
Previous Site No.	476
Previous Ranking	2
Previous Photo References	
Roll	
Frame	

234 W. Main



2002-05 Re-evaluation

High Medium Low

Site ID No. 357
 Address 234 W. Main
 Date 1900
 Stylistic Influence
 GCAD Hyperlink [R22176](#)
 Owner MEADOWS, FAMILY TRUST
 Historic District Yes Historic District
 Assessment Example of a distinctive building type or architectural style that has suffered severe alterations or deterioration, resulting in a loss of historical integrity.

Notes

Stucco added to front façade walls.

1983 Historic Resources Survey	
Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	32 32
Frame	11 12

236 W. Main



2002-05 Re-evaluation

High Medium Low

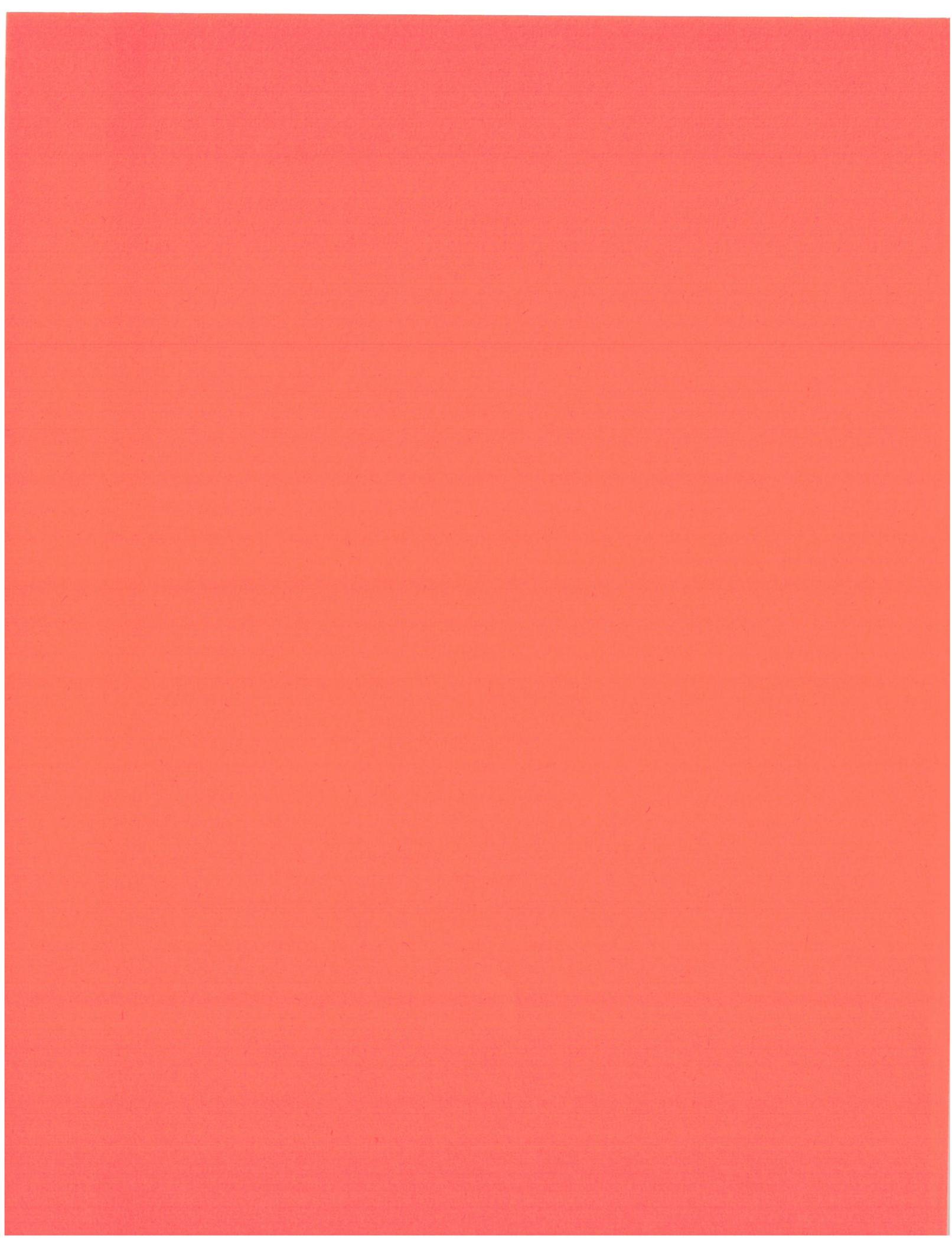
Site ID No. 356
 Address 236 W. Main
 Date 1900
 Stylistic Influence
 GCAD Hyperlink [R26394](#)
 Owner SEGNER, JOHN J
 Historic District Yes Historic District
 Assessment Example of a distinctive building type or architectural style that has suffered severe alterations or deterioration, resulting in a loss of historical integrity.

Notes

Front façade walls reclad with stone veneer and ribbed metal; original windows replaced w/aluminum sash unities; and original primary entrance replaced.

1983 Historic Resources Survey	
Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

13



**Historic Review Board
Application Information**

Application Number: 16-15
Date: March 9, 2016
Address: 113 W. Creek
Owner: Phillip and Connie Hiser
Applicant: Phillip and Connie Hiser
Rating: Medium
Proposed Modifications: See attached
Neighborhood Characteristics: The subject property is in the Historic District.
Staff Comments: The scope of the project justifies Board review.

General Notes:

The mandatory functions of the Board include the following:

(1) Removal, addition or modification of architectural detail. The distinguishing historic qualities or character of a building, structure, or site and its environment shall not be destroyed. Removal or modification of any historic material or distinctive architectural features may be accomplished upon issue of certificate of appropriateness; however, this should be avoided when possible. Architectural features include but are not limited to exterior wall materials, windows, railings, decorative woodwork, masonry, or stone elements.

(2) Paint color and application. Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.

(3) New construction in historic districts. The board will review all new construction plans within Historic Districts in order to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion, design harmony and setback.

The advisory functions of the Board include the following:

- (1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
- (2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
- (3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
- (4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
- (5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
- (6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
- (7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

Preservation Priority Rating. Three-tier rating system used in the 2002 *Fredericksburg Historic Resource Survey* to evaluate all properties within, and adjoining to, the City's Historic District. Ratings are based upon current determinations of architectural value and integrity and, if known, historical and cultural value, and may be altered from time to time as additional information is discovered or circumstances change.

HIGH rating. The most significant properties identified in the 2002 *Fredericksburg Historic Resource Survey*. These properties are considered to be outstanding, unique, or good examples of architecture, engineering, or design. Some are unique to the Fredericksburg area and are indicative of German-Texan vernacular forms and/or building techniques. Others are noteworthy examples of 19th and early 20th century architectural types, styles, and forms, erected using local building materials and construction technologies. Properties designated with a high rating are to be the most protected from alteration and demolition.

MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

LOW rating. Properties that minimally enhance the district's ability to convey a sense of time and place. These properties may be typical examples of more recent, common local building forms, architectural styles, or plan types; be examples of distinctive building forms, architectural styles, or plan types that have been significantly altered; lack the necessary age to meet the usual fifty (50) year threshold for possible National Register of Historic Places listing and do not appear to meet the National Register of Historic Places standard for exceptional significance for properties less than fifty (50) years of age, but which nevertheless may have relative value within the Historic District, meriting preservation. Properties or improvements with a low rating may be considered for relocation or demolition upon a determination by the Historic Review Board that the same can be accomplished with little or no consequence to the historical, cultural, architectural, or archeological character of the district or property.

116-15

Application for Certificate of Appropriateness

Application Date: _____ Application Complete: _____

Property Address: 113 West Creek Street Fredericksburg TX 78624

Owner: Phillip & Connie Hiser Phone No. 830-798-5616
830-613-0248

Address: 2801 Park View Drive Marble Falls TX 78654

Applicant: Phillip & Connie Hiser Phone No. Same

Address: Same Fax No. 830-693-8381

Description of External Alteration/Repair or Demolition: Demo old Garage on Property line Back side of House. Only changes to Existing House will be Paint & Landscape, Addition of Deck on Back of House, Plus Add Guest House & Carport, see attached

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site: Guest House will be Board & B&T Siding House.

Any circumstances or conditions concerning the property which may affect compliance with the ordinance: _____

No If we meet City ordinance

Drawing Sketch Date Submitted: _____ Historic Photograph

Desired Starting Date: March 15th 2016 Desired Completion Date: Sept 1st 2016

SURVEY RATING: High Medium Low None

RTHL: Estimated Date of Construction _____

APPLICANT SIGNATURE: Phillip Hiser

The Applicant certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property

Building Official's Determination Date _____ Insignificant Significant
(Max 7 days)

[Signature]
Chairman's Determination Date 3/9/16 Insignificant Significant
(Max 7 days)

Meeting Date (40 days max. after complete application) _____ Notice to Applicant: _____

APPLICATION FEE: -\$10.00 plus Board Review; CERTIFICATE OF APPROPRIATENESS-\$40.00



TB05

MAIN
Body of
Both Houses
& Carport

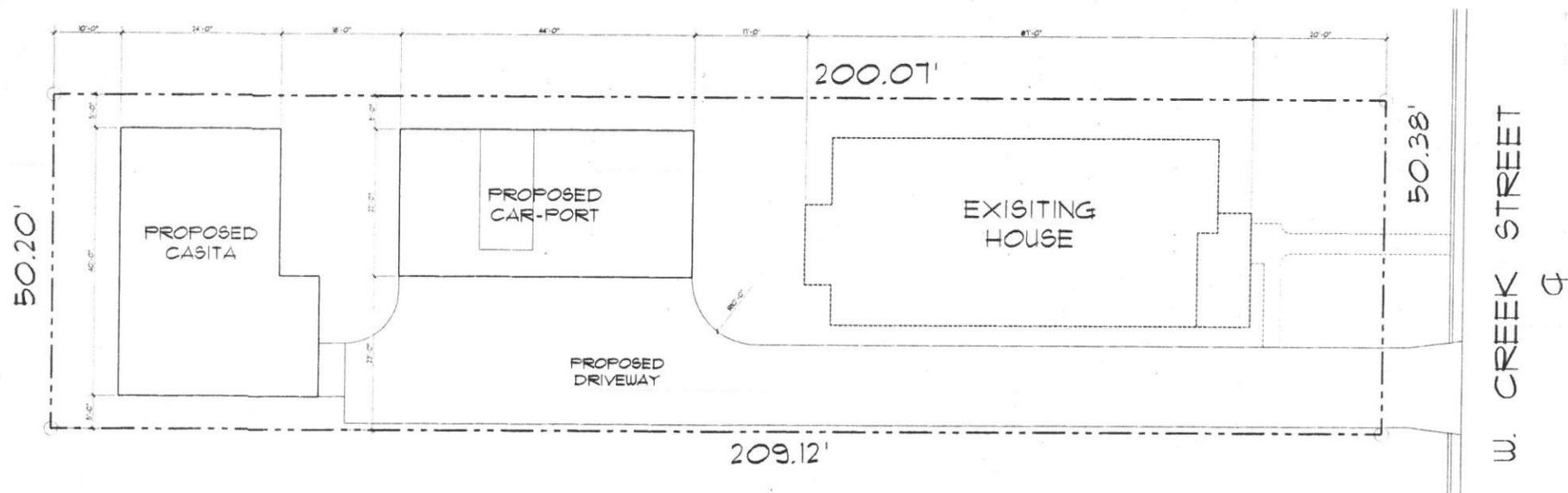
MAISON BLANCHE SW7526

Window
Screens

PR-W14  PR-W14

Trim
All Buildings

PR-W14
Bit of Sugar



Site Plan
 LOT 436
 113 W. CREEK STREET
 FREDERICKSBURG
 GILLESPIE COUNTY, TEXAS

NOTE:
 NO FINISH FLOOR ELEVATION OF A HABITABLE ROOM SHALL BE LOWER THAN TWELVE INCHES (12") ABOVE THE HIGHEST POINT OF THE NATURAL GRADE AS MEASURED AT A DISTANCE OF FIVE (5) FEET FROM THE EDGE OF THE FOUNDATION WALL AT THE REFERENCED POINT.
 IF THE FINAL GRADE OF THE PROPERTY IS SUCH THAT RUNOFF IS DIRECTED TOWARD ADJACENT PROPERTY, IT MUST BE APPROVED BY THE BUILDING COMMITTEE PRIOR TO ISSUANCE OF A BUILDING PERMIT.

Index

- A-1 Site Plan & Floor Plan
- A-2 Elevations & Roof Plan
- A-3 General Details
- A-4 Electrical Plan & Foundation Plan

NOTE:
 VISION DESIGNS AND ASSOCIATES IS NOT RESPONSIBLE FOR ANY DIMENSIONAL INACCURACIES. ALL DRAWINGS & DIMENSIONS ARE BASED ON THE SURVEY PROVIDED BY OWNER. OWNER TO VERIFY ALL DIMENSIONS, LOCATION AND PLACEMENT OF PROPOSED STRUCTURES ON SITE WITH PROFESSIONAL LAND SURVEYOR PRIOR TO COMMENCING CONSTRUCTION.

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Custom Design For
THE HILSIEKER RESIDENCE



RESIDENTIAL-COMMERCIAL-INTERIOR DESIGN

VISION DESIGNS & ASSOCIATES

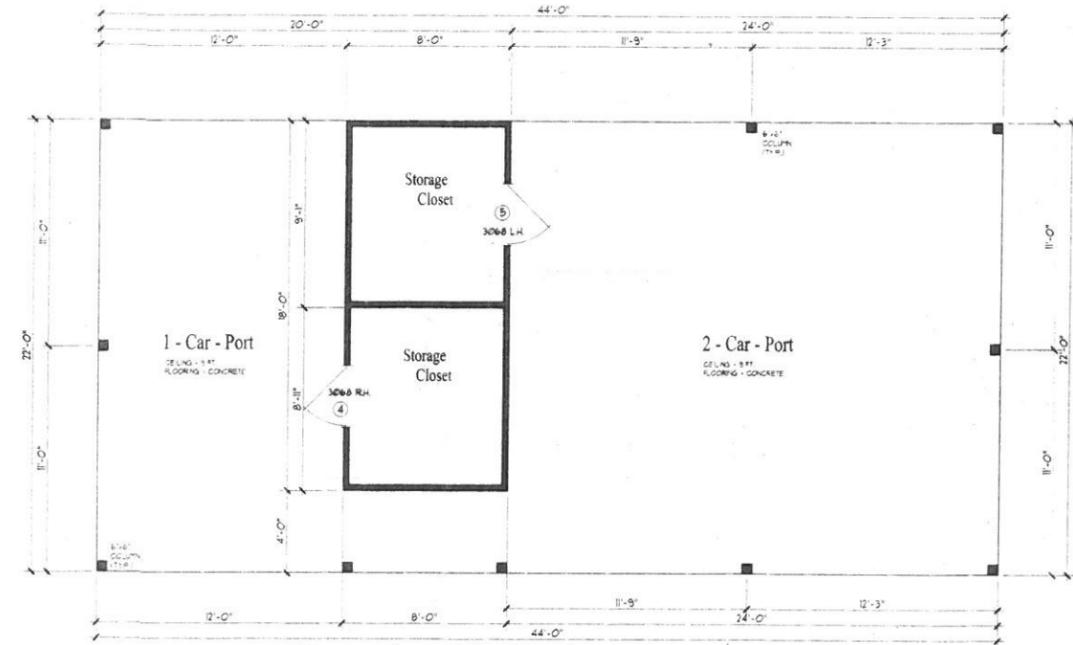
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 fax: 830-798-1074
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Site Plan / Floor Plans

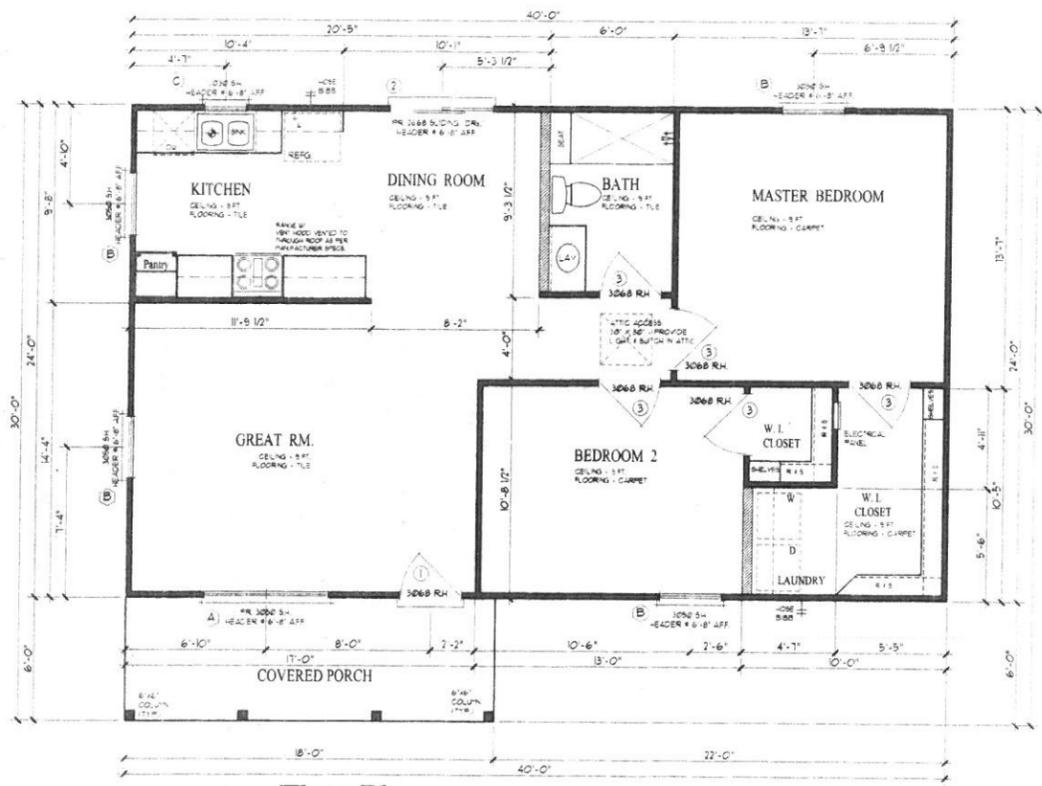
PROJECT NO.:
 ISSUE DATE:
 DRAWN BY:
 PLAN NO. 216-18

A-1

6-SHEET | OF 4 SHEETS



2 Floor Plan (Car-Port)
 SCALE: 1/4" = 1'-0"
 0 2 4 8 16 Feet



1 Floor Plan
 SCALE: 1/4" = 1'-0"
 0 2 4 8 16 Feet

DOOR SCHEDULE

BYT#	SIZE	TYPE	REMARK	QTY
1	3'-0" x 6'-0" x 13'	INT. DR. RH. AS PER OWNER SPECS	3068 RH DR. 45 PER OWNER'S SPECS	1
2	PR 2'-0" x 6'-0" x 13'	EXT. FRENCH DOOR LH.	PR. 2668 SLIDING FRENCH DR. 13'	1
3	3'-0" x 6'-0"	INTERIOR RH.	INTERIOR DOOR 3068 RH DR.	5
4	3'-0" x 6'-0" x 13'	EXTERIOR RH.	EXTERIOR METAL 3068 RH DR.	1
5	3'-0" x 6'-0" x 13'	EXTERIOR LH.	EXTERIOR METAL 3068 LH DR.	1
TOTAL				9

WINDOW SCHEDULE

BYT#	SIZE	TYPE	REMARK	QTY
A	PR 3'-0" x 5'-0"	VINYL WINDOW	PR. 3068 SH. HEADER # 6'-0" AFF.	1
B	3'-0" x 5'-0"	VINYL WINDOW	3068 SH. HEADER # 6'-0" AFF.	4
C	2'-0" x 3'-0"	VINYL WINDOW	3068 SH. HEADER # 6'-0" AFF.	1
TOTAL				6

LEGEND

- 7'x4" STANDARD WALL (FLOOR TO CEILING)
- 7'x6" STANDARD WALL (FLOOR TO CEILING)
- GLASS BLOCK
- STONE MASONRY WALL
- 4" HIGH RAILING AS PER OWNER SPECS
- HOSE BIBB # 24" AFF.
- SHOWER HEAD
- GAS
- SECTION / INTERIOR ELEVATION SYMBOL
- DOOR CALL-OUT
- WINDOW CALL-OUT

NOTES:
 ALL FEDERAL STATE & LOCAL CODES, ORDINANCES, REGULATIONS, ETC. FOR ALL TRADES SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS & DRAWINGS FOR THIS BUILDING. I SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCE OCCUR. SUB-CONTRACTORS SHALL VERIFY ALL CONDITIONS / DIMENSIONS IN BIDDING ON JOBSITE. NOTIFY GENERAL CONTRACTOR / DESIGNER IMMEDIATELY OF ANY DISCREPANCIES BEFORE BEGINNING OR CONTINUING ANY WORK. SUB-CONTRACTORS SHALL CONFORM TO RELATED DRAWINGS & SPECIFICATIONS. ALL DEVIATIONS SHALL BE GENERAL CONTRACTOR APPROVED. THE LACK OF GENERAL CONTRACTOR APPROVAL WILL BE SUFFICIENT CAUSE TO REFUSE ACCEPTANCE OF THE WORK. ANY ITEM OF WORK NOT SPECIFICALLY COVERED IN THE DRAWINGS & RELATED SPECIFICATIONS SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE OF THE TRADE INVOLVED.
 DO NOT SCALE DRAWINGS - FOLLOW DIMENSIONS INDICATED. DIMENSIONS ARE: STUD. TO - STUD. STUD. TO - BRICK / BRICK. BRICK THE FRAMING SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING TEMPORARY SAFETY BARRIERS AND RAILS AS REQUIRED DURING CONSTRUCTION BY OSHA AND LOCAL AUTHORITIES.
 ALL BEDROOMS WINDOWS SHALL MEET INGRESS/ EGRESS REQUIREMENTS AS PER CODE. VERIFY ALL DOORS AND WINDOWS SIZE, TYPE AND LOCATION W/ GENERAL CONTRACTOR.

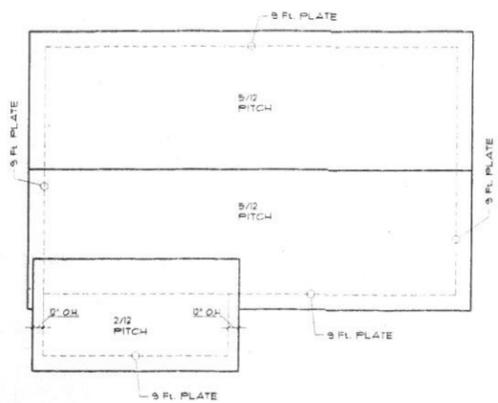
AREA

LIVING	923.00
Porch	108.00
TOTAL SQUARE FOOTAGE	1,068.00
CARPORIT	
Storage	144.00
TOTAL SQUARE FOOTAGE	968.00

AREA

LIVING	923.00
Porch	108.00
TOTAL SQUARE FOOTAGE	1,068.00
CARPORIT	
Storage	144.00
TOTAL SQUARE FOOTAGE	968.00

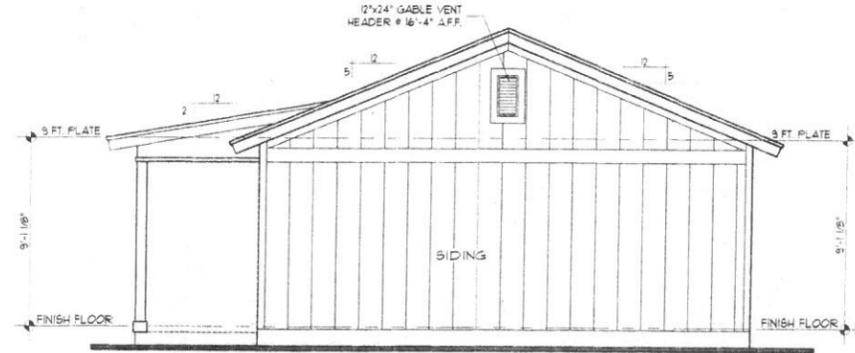
18



5 Roof Plan

SCALE: 1/8" = 1'-0"

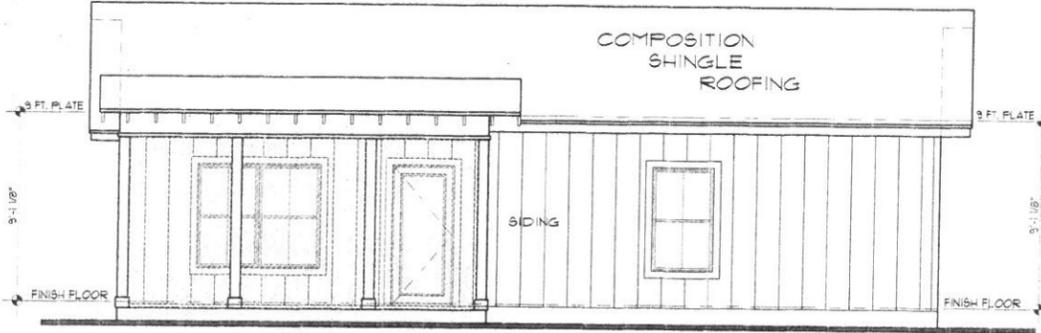
NOTE:
ALL OVERHANG IS TO BE 18"
FROM FRAME UNLESS OTHERWISE NOTED



2 Right Side Elevation

SCALE: 1/4" = 1'-0"

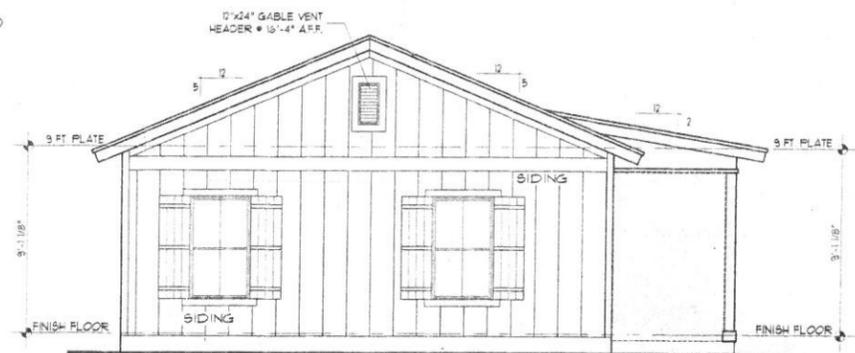
0 1 2 4 8 16 Feet



1 Front Side Elevation

SCALE: 1/4" = 1'-0"

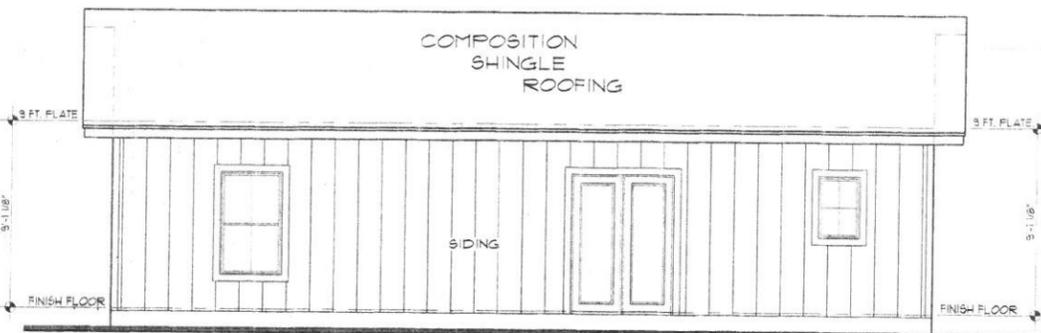
0 1 2 4 8 16 Feet



4 Left Side Elevation

SCALE: 1/4" = 1'-0"

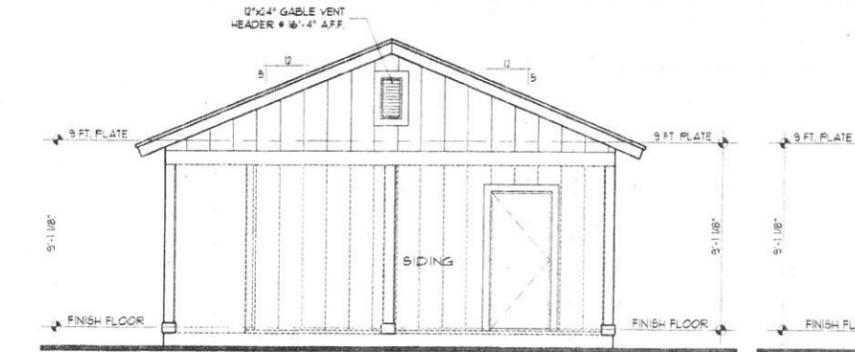
0 1 2 4 8 16 Feet



3 Rear Side Elevation

SCALE: 1/4" = 1'-0"

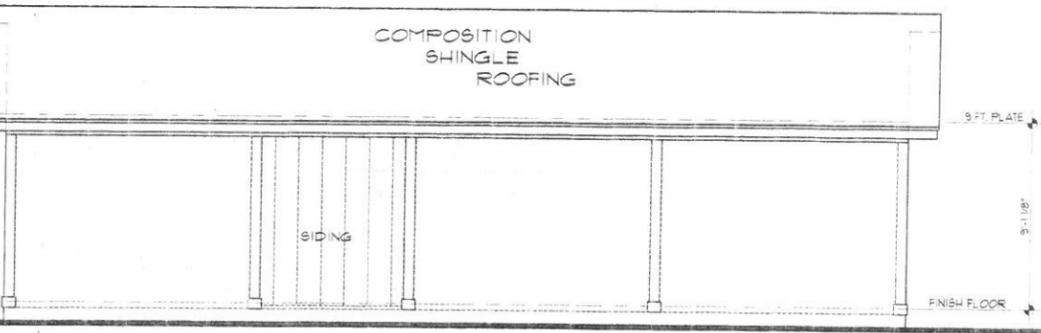
0 1 2 4 8 16 Feet



7 Right Side Elevation

SCALE: 1/4" = 1'-0"

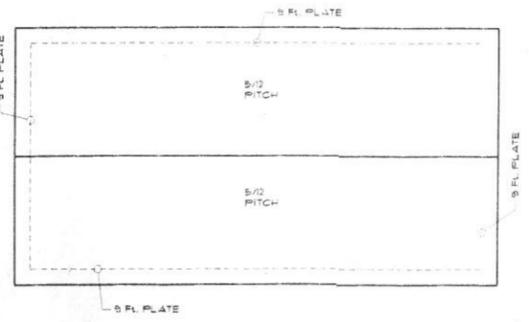
0 1 2 4 8 16 Feet



6 Front Side Elevation

SCALE: 1/4" = 1'-0"

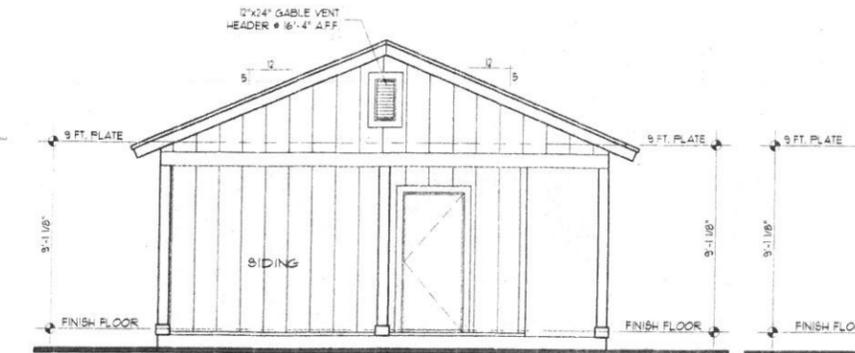
0 1 2 4 8 16 Feet



10 Car-Port Roof Plan

SCALE: 1/8" = 1'-0"

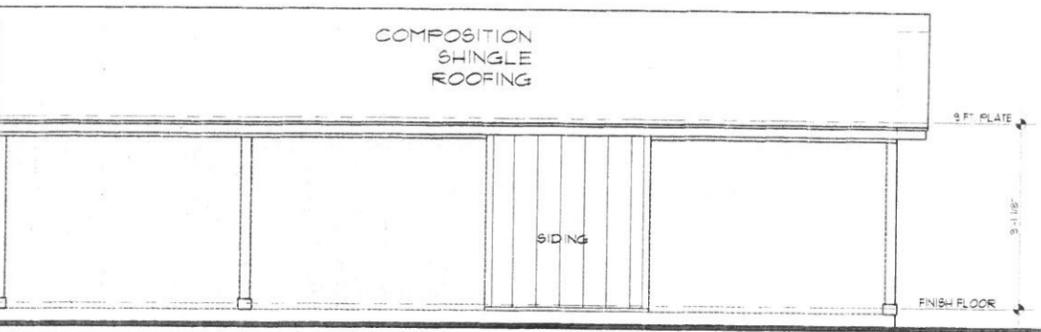
NOTE:
ALL OVERHANG IS TO BE 18"
FROM FRAME UNLESS OTHERWISE NOTED



9 Left Side Elevation

SCALE: 1/4" = 1'-0"

0 1 2 4 8 16 Feet



8 Rear Side Elevation

SCALE: 1/4" = 1'-0"

0 1 2 4 8 16 Feet

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Elevations & Roof Plans

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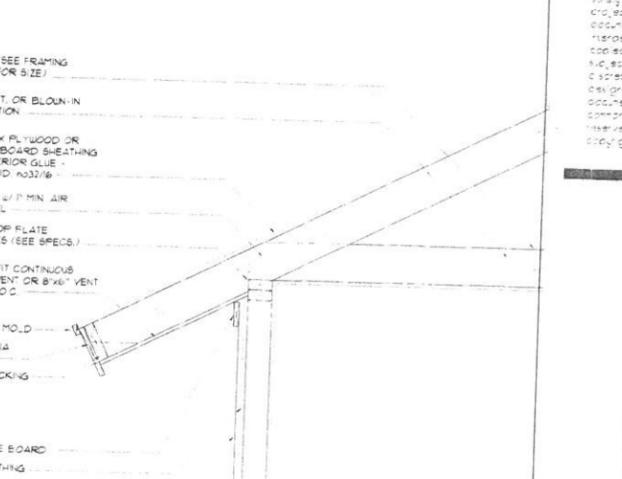
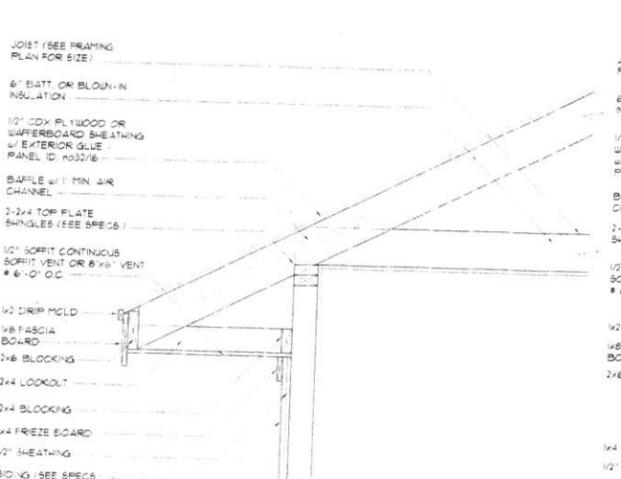
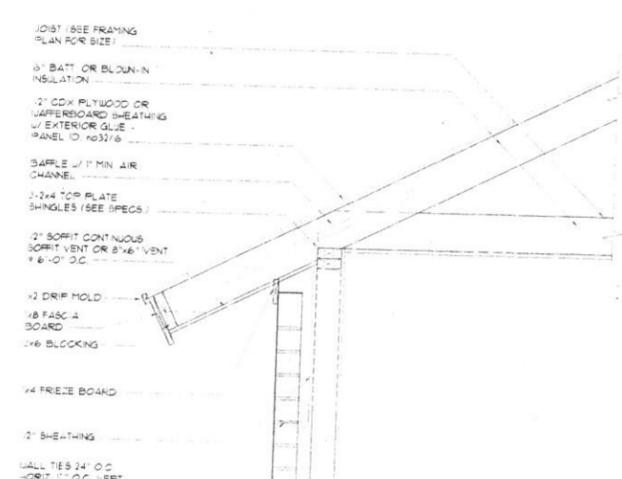
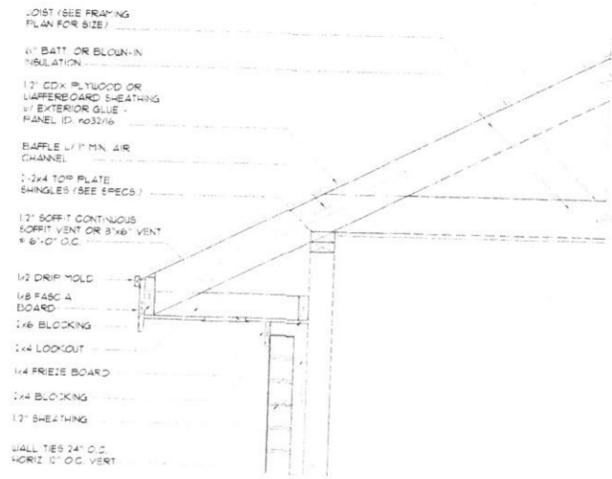
PLAN NO. 216-18

A-2

SHEET 2 of 4 Sheets

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3 Soffit - Stone
SCALE: 1" = 1'-0"

2 Soffit - Siding/Stucco
SCALE: 1" = 1'-0"



6 Overhang Member
SCALE: 1" = 1'-0"

PROVIDE FIRESTOPPING IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES AT THE CLG. & FLOOR LEVELS & AT 10' INTERVALS ALONG THE LENGTH OF THE WALL SECTION.

ANCHOR TIES SHALL BE SPACED SO AS TO SUPPORT NOT MORE THAN 75% FL. OF WALL AREA BUT NOT MORE THAN 74" O.C. HORIZONTALLY (SEC. 3006.6.1) ALL FASTENERS SHALL BE CORROSION RESISTANT. ANCHOR TIES OF WIRE TO BE MIN. #8@8" (SEC. 3006.6.1)

NOTE: 16#1 @ 24" O.C. NO. 3 @ 5' P. MUST BE BRACED @ 8' @ 2' @ 24" O.C. NO. 3 @ 5' P. MUST BE BRACED @ 11' @ 5'

NOTE: 16#1 @ 24" O.C. NO. 3 @ 5' P. MUST BE BRACED @ 8' @ 2' @ 24" O.C. NO. 3 @ 5' P. MUST BE BRACED @ 11' @ 5'

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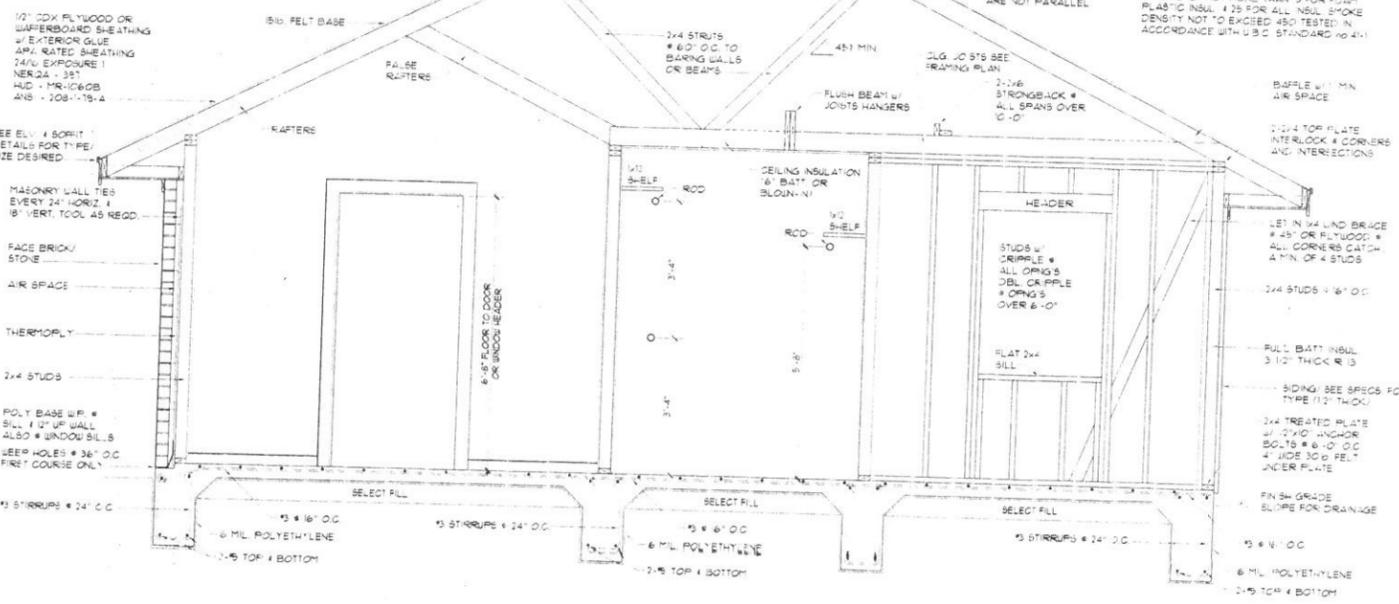
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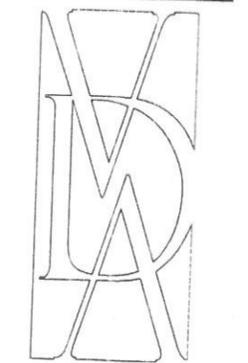
NOTE: 8" @ 24" O.C. NO. 3 @ 5' P. MUST BE BRACED @ 8' @ 2' @ 24" O.C. NO. 3 @ 5' P. MUST BE BRACED @ 11' @ 5'



1 General Cross - Section
SCALE: 1/2" = 1'-0"

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fax: 830-798-1074
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General Details

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ISSUE DATE: _____
DRAWN BY: _____
PLAN NO. 216-18

4 Ridge Vent Detail
SCALE: 1" = 1'-0"

5 Valley Member
SCALE: 1" = 1'-0"

Header Schedule

SIZE	MAX. SPAN
2-2x6	4'-6"
2-2x8	6'-0"
2-2x10	7'-6"
2-2x12	9'-0"

NOTE: NON-COMBUSTIBLE NON-CORROSIVE L-TIES & NON-COMBUSTIBLE SUPPORTS SHALL BE PROVIDED OVER ALL OPENINGS WHERE THE MEMBER IS NOT SELF-SUPPORTING (SEC. 3006.6 AT GARAGE)

MAX. SPAN	MIN. SIZE	MIN. BEARING
8'-0"	L3 12" x 3 1/2" x 5/8"	8"
10'-0"	L4 12" x 3 1/2" x 5/8"	8"
12'-0"	L5 12" x 3 1/2" x 5/8"	8"
14'-0"	L6 12" x 3 1/2" x 5/8"	8"
16'-0"	L8 12" x 3 1/2" x 5/8"	10"

NOTE: USE 2-2x12 S.W. 10' PLYWOOD (I.N.O.) FOR FIRST FLOOR HEADERS

Inventory of Properties

112 W. Creek



2002-05 Re-evaluation

High Medium Low

Site ID No. 505
 Address 112 W. Creek
 Date 1890
 Stylistic Influence vernacular
 GCAD Hyperlink [R19228](#)
 Owner TEAGUE, BILL ETAL D/B/A TEAGUE INVESTMENTS
 Historic District Yes Historic District
 Assessment An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations.

Notes

1983 Historic Resources Survey	
Previous Site No.	231
Previous Ranking	3
Previous Photo References	
Roll	28
Frame	3

113 W. Creek



2002-05 Re-evaluation

High Medium Low

Site ID No. 746
 Address 113 W. Creek
 Date 1920
 Stylistic Influence Craftsman
 GCAD Hyperlink [R20989](#)
 Owner MERCER, LIANNE E
 Historic District Yes Historic District
 Assessment Typical example of a distinctive building plan that has suffered minor or no alterations. Resource displays distinctive stylistic elements.

Notes

1983 Historic Resources Survey	
Previous Site No.	232
Previous Ranking	3
Previous Photo References	
Roll	21
Frame	23

114 W. Creek



2002-05 Re-evaluation

High Medium Low

Site ID No. 504
 Address 114 W. Creek
 Date 1965
 Stylistic Influence
 GCAD Hyperlink [R26817](#)
 Owner BRAMMER, LYNN S
 Historic District Yes Historic District
 Assessment The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority.

Notes

1983 Historic Resources Survey	
Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

115 W. Creek



2002-05 Re-evaluation

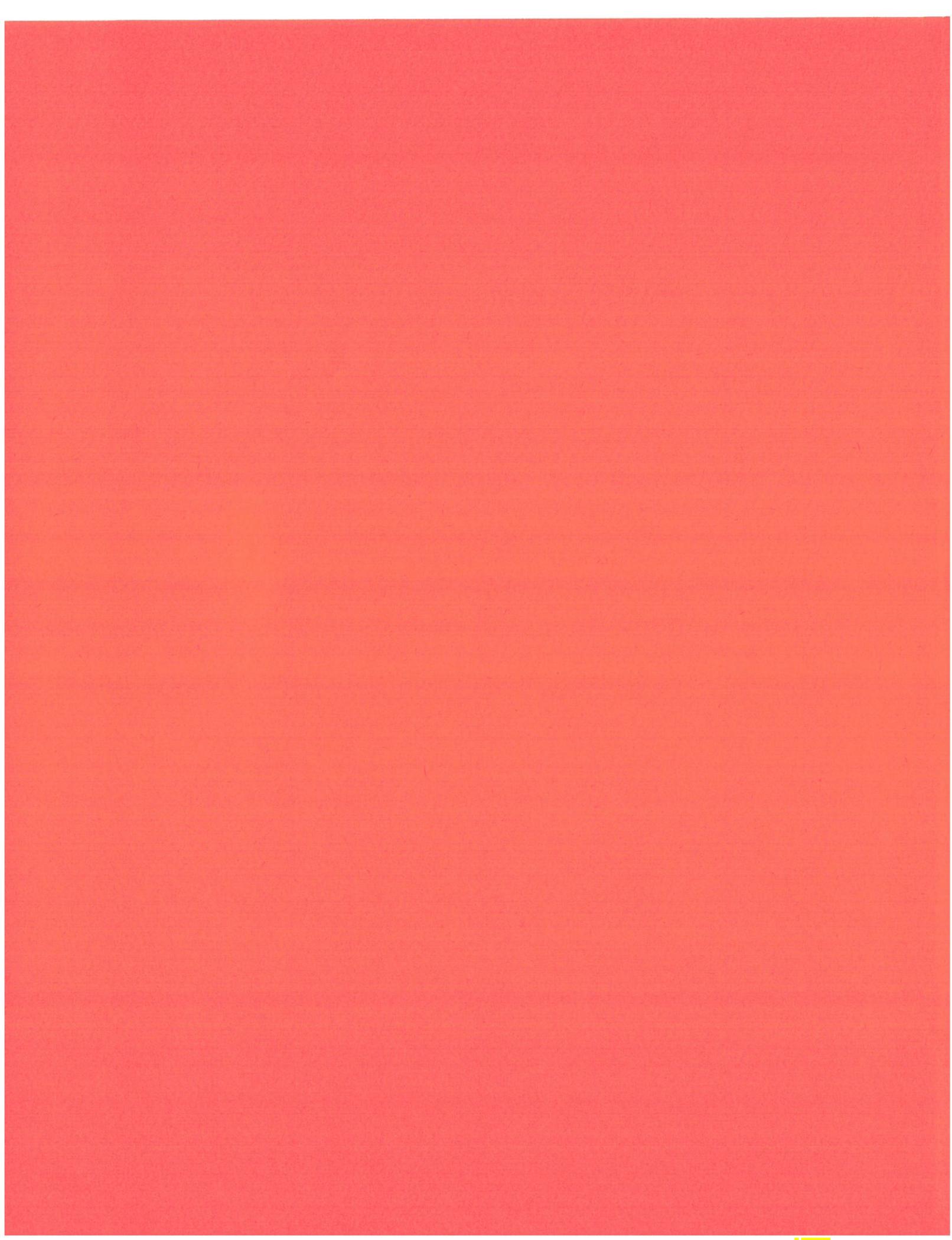
High Medium Low

Site ID No. 745
 Address 115 W. Creek
 Date 1880
 Stylistic Influence vernacular
 GCAD Hyperlink [R13503](#)
 Owner CHESER, ELAINE B
 Historic District Yes Historic District
 Assessment Example of a distinctive building type or architectural style that has undergone alterations or deterioration.

Notes

1983 Historic Resources Survey	
Previous Site No.	233
Previous Ranking	2
Previous Photo References	
Roll	21 21 21
Frame	20 21 22

21



HISTORIC REVIEW BOARD

2015 ANNUAL REPORT

Historic Review Board – 2015 Annual Report

The Historic Review Board consists of 7 regular members and 3 alternate members with one of the following qualifications:

- 1) Resident of the City
- 2) Resident of Gillespie County who owns property within the City's Historic District or owns a Historic Landmark.

The composition of the Board shall include at least one member from the Gillespie County Historical Society or Gillespie County Historical Commission, not less than two members shall reside in, or own, a historical landmark or own property within the Historic District and not less than one member of the Board shall have a license, degree, or professional experience in the field of architecture, architectural history, history, historic preservation or historic restoration. All members shall be persons who, in the opinion of the City Council, have demonstrated interest and knowledge in the historical preservation of Fredericksburg.

The Board is responsible for reviewing all applications proposing alterations, new construction, demolition, or relocation of structures within the Historic District or structures that are Historic Landmarks. In its mandatory capacity, the Board reviews applications for a Certificate of Appropriateness involving removal or modification of architectural detail, demolition of historic resources, paint colors, and scale of new construction. In its advisory capacity, the Board reviews applications and provides recommendations on non-historic building construction.

The Historic Review Board holds regularly scheduled meetings on the second Tuesday of each month. Other meetings are scheduled on an as needed basis to process applications and address critical issues within a timely manner.

The Board consists of the following individuals with their term expiration date in parenthesis:

Sharon Joseph, Chair	(July, 2017)
Larry Jackson, Vice Chair	(July, 2016)
Stan Klein	(July, 2018)
Mike Penick	(July, 2018)
Charles Schmidt	(July, 2017)
David Bullion	(July, 2018)
Eric Parker	(July, 2016)

Alternates

Karen Oestreich	(July, 2016)
John Muraglia	(July, 2017)
Jerry Sample	(July, 2018)

The Board met on 11 different occasions in 2015. The Board considered 33 applications involving a variety of requests during this time frame. In addition, the chairperson

reviewed and approved 68 applications that were considered insignificant. The attached Exhibit A summarizes the activity during the year.

In 2015, the Board notified 6 property owners their properties were in danger of Demolition by Neglect. The addresses of those properties are 107 W. San Antonio, 204 S. Crockett, 114 W. Austin, 410 S. Milam, 115 S. Adams, and 409 W. Creek. City Staff noted the property at 107 W. San Antonio was in need of repairs, particularly on the second story porch. The owner of the property did not contact the city but did make the necessary repairs. The property at 204 S. Crockett was in need of minimal repairs and the owner made the necessary repairs. The porch on the property at 114 W. Austin was in desperate need of repair and the pastor and members of the church council came to the Board with their concept of restoring the building and improving the entire site and noted a master plan will be drawn and presented to the Board at a later date. The property at 410 S. Milam was not in danger of Demolition by Neglect, but it was determined the windows and shutters needed to be repaired in order to keep the home from further deterioration. A representative of the owner met with the Building Official and stated the house was his grandmother's and they do not have any funds for the repairs. The Board is anticipating an itemized list with the cost of necessary repairs to be presented to them for their consideration in asking the City Council to allocate funds from the Historic Building Maintenance fund. The owners of the properties at 115 S. Adams and 409 W. Creek have been contacted and are working to make the necessary repairs.

The Christian Methodist Episcopal Church located at 600 E. Main was a topic of discussion with the Historic Review Board for most of 2014 because it was in danger of Demolition by Neglect but the legal ownership of the property belonged to the heirs of the church which made it very challenging to hold someone accountable for the repairs. Because of the ownership issues, it was also impossible for anyone to donate money for the restoration of the church. In 2015, some heirs of the church formed a 501c3 so funds could be raised for restoration and donations could be accepted. A website was established and Gary Hunter spearheaded the effort. Mr. Hunter made a request to the Historic Review Board, who in turn made a favorable recommendation to the Council, and the City Council to allocate some funds from the Historic Building Maintenance Fund to the 501c3 so repairs could be made to the church. The Council responded by allocating the entire \$25,000 in the budget and the church made numerous repairs to protect the building from Demolition by Neglect. Mr. Hunter met with the Board periodically throughout the year to keep them updated on the progress. The church has been protected from further deterioration and work continues. The heirs of the church wish to fully restore the church and make it available for tours or events when the work is complete.

Another topic the Board considered in 2015 was accessory structures on historic properties. The question had been raised several times if the historic rating on a property also refers to the accessory structures that are located on the property. In some situations it is apparent the accessory structure has historical significance and the Board wants to be certain those structures are protected. Pat McGowan, City Attorney, noted the definitions

in the ordinance are very broad and gives the Historic Review Board jurisdiction over everything located on a Historic Property.

The City of Fredericksburg began a project in 2014 to update some particular issues in the Comprehensive Plan and one of those was to create design standards and guidelines for entry corridors. The Historic Review Board was involved in evaluating these standards and attended a joint workshop with the City Council and Planning and Zoning Commission to give the consultants some direction. In January, 2015 the Board made a recommendation to the City Council to adopt the final draft of the Design Standards. The Design Standards were adopted by the City Council on September 8, 2015.

Actions for 2015:

The Board plans to work with the City Council to expand the Historic District in order to have some jurisdiction over areas that house Historic Landmark properties. The Board will also work with the City Council to add language to the Historic Preservation Ordinance that will provide the Board with more mandatory functions when considering new construction and additions in the Historic District. In December the City Council allocated funds from the 2016 budget to the 501c3 for the Christian Methodist Episcopal Church located at 600 E. Main Street and the Board will continue to monitor that progress. The Board will continue to recognize and address Demolition by Neglect properties to ensure historic properties are maintained and will also continue to process all applications as they are submitted to try to maintain the historic nature of the community.

EXHIBIT "A"

Historic Review Board Applications - 2015

Application Number	Applicant	Owner	Address	Application Date	Insignificant/ Significant	Meeting Date	Reported	Action Taken
15-01	Rode Family	Luther Rode	314 W. Travis	2/5/2015	Insignificant	N/A	Remove outbuilding	Approved
15-02	Gary Hunter	Colored Methodist Episcopal Church	520 E. Main/600 E. Mai	1/14/2015	Insignificant	N/A	Replace rock skirting	Approved
15-03	John L. Muraglia	Fbg Historic Properties, LLC	108 N. Lincoln	1/20/2015	Significant	2/10/2015	Extend wall, create courtyard, raise roof	Approved
15-04	Ronald Stotz	Ronald Stotz	108 N. Edison	1/20/2015	Insignificant	N/A	Paint exterior	Approved
15-05	Jim & Patricia Richmond	Jim & Patricia Richmond	516 W. San Antonio	1/21/2015	Significant	2/10/2015	Construct detached garage with office above	Approved
15-06	Security State Bank & Trust	Security State Bank & Trust	118 S. Crockett	1/21/2015	Significant	2/10/2015	Add canopies to parking area	Approved
15-07	Barry Wagner	Zion Lutheran Church	426 W. Main	1/26/2015	Significant	2/10/2015	Remove stucco and repoint stone on 1854 addition & fence	Approved
15-08	Robert Phelps	Robert Phelps	210 W. Travis	1/26/2015	Insignificant	N/A	Demo structure and build new garage/garden shed	Approved
15-09	Amelia Banner	Amelia Banner	407 W. San Antonio	1/30/2015	Insignificant	N/A	Construct outdoor fireplace	Approved
15-10	Dennis Becker	Dennis Becker	504 W. Creek	2/4/2015	Insignificant	N/A	Replace existing pine fence with cedar coyote fence	Approved
15-11	Dennis Becker	Dennis Becker	208 S. Crockett	2/4/2015	Insignificant	N/A	Replace roof on garage	Approved
15-12	Randy Stehling	Gary & Maggie Klenzing	305 W. Main St.	2/19/2015	Significant	N/A	Remove arbor, gat. add awning, colored concrete, artwork	Approved
15-13	Jeff Dittmar	Fran DeFazio	209 E. Creek	2/19/2015	Insignificant	N/A	Construct new fence	Approved
15-14	Robert Mosley	2RMs, LP	314 W. Travis	2/22/2015	Insignificant	N/A	Paint exterior and replace rotten windows	Approved
15-15	Mark Guzy	Mark Guzy	107 S. Lincoln	2/25/2015	Insignificant	N/A	Construct new swimming pool	Approved
15-16	Faglie House Moving	David Sawtelle	210 Mistletoe	3/2/2015	Significant	3/10/2015	Move existing house to Junction, Texas	Approved
15-17	Laughlin Homes & Restoration	Dr. John & Suzanne Shore	522 W. Austin	3/2/2015	Insignificant	N/A	Change window profile on front and west side of house	Approved
15-18	Ronnie Brown	Ronnie Brown	511 N. Cora	3/5/2015	Insignificant	N/A	Replace cedar fence with rock fence	Approved
15-19	Del Benedict	Del Benedict	201 E. Creek	3/9/2015	Significant	4/12/2015	Construct 11' x 48' garage	Approved
15-20	Mac Burris	Mac Burris	214 S. Crockett	3/13/2015	Insignificant	N/A	Change front porch roof from shed to gable & add gable on side	Approved
15-21	The Flower Pail	Brenda & Heinrich Boenig	215 W. San Antonio	3/16/2015	Insignificant	N/A	Remove pole sign and add new ground sign	Approved
15-22	Chris Avery	Chris Avery	610 W. Schubert	3/18/2015	Insignificant	N/A	Replace chain link fence with cedar dog ear fence	Approved
15-23	Crossroads	Knopp & Meizger	110 S. Orange	3/25/2015	Insignificant	N/A	Construct metal fence at parking lot entrance	Approved
15-24	Hills of Texas Homes	Dave & Gwen Fullbrook	312 E. Travis	3/30/2015	Insignificant	N/A	Paint exterior	Approved
15-25	Stirling Greenlee	Ralph & Stirling Greenlee	213 W. Creek	3/30/2015	Insignificant	N/A	Repair log cabin on property	Approved
15-26	Barry Wagner	Stuart B Properties	401 E. Main	3/30/2015	Significant	4/12/2015	Add 2nd floor offices to approved building	Approved
15-27	MM Robert Fulbright	MM Robert Fulbright	213 E. Creek	4/10/2015	Significant	5/12/2015	Construct new guest house	Approved
15-28	Fbg Historic Properties, LLC	Fbg Historic Properties, LLC	108 N. Lincoln	4/14/2015	Significant	5/12/2015	Add foyer to north side of structure	Approved
15-29	Roy Gentry	Andrea & Roy Gentry	110 S. Acorn	4/17/2015	Insignificant	N/A	Construct white dog eared fence instead of double loop	Approved
15-30	Case D. Fischer	MJTJ Investments, LP	315 E. Main	4/20/2015	Insignificant	N/A	Add 6ft privacy fence on east property line	Approved
15-31	Shelley Mazurek	Shelley Mazurek	208 N. Crockett	4/9/2015	Insignificant	N/A	ce garage door with french doors & extending roof pitch over c	Approved
15-32	Chad Faucheux	Josh Allen	206 S. Lincoln	3/27/2015	Insignificant	N/A	Add bedroom to rear of storage building	Approved
15-33	Charles Loggie, Jr.	Joseph Burkett	250 E. Main	4/11/2015	Insignificant	N/A	Change existing fence line	Approved
15-34	Jeffers Group, Inc.	Fbg Inn & Suites	201 S. Washington	4/27/2015	Insignificant	N/A	Expand lobby & 12x12 addition to non-historic portion	Approved
15-35	Dorothy Basse	Dorothy Basse	502 N. Llano	4/27/2015	Insignificant	N/A	Replace and paint roof, repair and paint screens same color	Approved
15-36	Fbg Historic Properties, LLC	Fbg Historic Properties, LLC	108 N. Lincoln	4/27/2015	Significant	5/12/2015	Paint mural on side of building	Approved
15-37	Sharon Ragon	Sharon Ragon	105 N. Adams	5/11/2015	Insignificant	N/A	Paint front door Fredericksburg red	Approved
15-38	Hollie Fairchild	Hollie Fairchild	211 W. Main	5/11/2015	Insignificant	N/A	Paint exterior and repair rotten wood & shutters	Approved
15-39	Charles Loggie	Joe Burkett	240 E. Main	5/4/2015	Insignificant	N/A	Construct new 6' fence	Approved
15-40	Curt's Construction	Julie Montgomery	204 W. Creek	5/5/2015	Insignificant	N/A	Paint exterior	Approved
15-41	Bobbi King	Pam Peters	404 W. Creek	5/18/2015	Insignificant	N/A	Construct 4' chain link fence on front of property	Approved
15-42	Delana Littleton	Delana Littleton	202 S. Bowie	5/14/2015	Insignificant	N/A	Replace existing wood fence with new wood fence	Approved
15-43	Sharon Joseph	Sharon Joseph	123 W. San Antonio	5/20/2015	Insignificant	N/A	Replace rotten siding and trim and paint same, existing color	Approved
15-44	Sharon Grona	Bierschwale Credit & Lending	316 E. San Antonio	5/20/2015	Significant	6/9/2015	Demo two residences and out building	Approved
15-45	Shelley Mazurek	Shelley Mazurek	208 N. Crockett	5/26/2015	Insignificant	N/A	Add wood railing to front porch	Approved

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15-46	Jacquelyn Rios	Jacquelyn & Gus Rios	319 B E. Main St.	6/5/2015	Insignificant	N/A	Replace facade on new building	Approved
15-47	Josh Kramer	David Hedgepeth	112 E. Travis	6/8/2015	Insignificant	N/A	Construct fence	Approved
15-48	Jym Chenault	Hugh & John Washburne	318 E. Austin	6/9/2015	Insignificant	N/A	Construct fence	Approved
15-49	Pat Hoerster	Maxie Hoerster	314 W. Creek	6/22/2015	Insignificant	N/A	Add decorative fence around children's play area	Approved
15-50	Jack Dee Wiemers	Mr. & Mrs. Saunders	607 W. San Antonio	6/22/2015	Insignificant	N/A	Add pergola	Approved
15-51	John Akin	Bob & Denise Bauer	403 N. Adams	6/29/2015	Significant	7/14/2015	Construct cedar horizontal fence	Approved
15-52	John Akin	Bob Turbeville	113 E. Main	6/29/2015	Insignificant	N/A	Add 15 feet to back of home for bedroom and living area	Approved
15-53	Abigail Jones	Jim Garner	607 B W. Main St.	6/29/2015	Significant	7/14/2015	Make existing door operable on front of building	Approved
15-54	Jerry Sample	St. Mary's School	203 S. Orange	6/19/2015	Insignificant	N/A	Add patio and fence on rear	Approved
15-55	Kneese Companies	Hugh Washburne	318 E. Austin	7/13/2015	Insignificant	N/A	Paint cross at entrance	Approved
15-56	St. Barnabas Episcopal Church	St. Barnabas Episcopal Church	601 W. Creek St.	7/22/2015	Insignificant	N/A	Construct roof over outdoor dining area	Approved
15-57	Dan & Lynn Moody	Dan & Lynn Moody	703 & 705 W. Creek	7/16/2015	Significant	8/11/2015	Place 8' x 10' accessory building on site	Approved
15-58	Ben & Abigail Jones	Jim Garner	607 (B) W. Main	7/23/2015	Insignificant	N/A	Construct new house	Approved
15-59	Kathy Sanford & J. Faucheux	Kathy Sanford & Jerry Faucheux	513 E. Schubert	7/27/2015	Insignificant	N/A	Paint colors for exterior building and porch posts	Approved
15-60	Steve Thomas	Sandra Barr	301 N. Crockett	7/27/2015	Significant	8/11/2015	Construct new two car detached garage	Approved
15-61	Chris Kaiser	John & Susie Hever	206 E. Centre	7/20/2015	Insignificant	N/A	Construct new 2-story residence	Approved
15-62	Jym Chenault	Hugh Washburne	318 E. Austin	7/8/2015	Significant	8/11/2015	Colors for siding and window	Approved
15-63	Hayward Construction	Rebecca Cohn	106 S. Lincoln	7/27/2015	Insignificant	N/A	Place lattice around exterior bathroom	Withdrawn
15-64	Jacquelyn Rios	Jacquelyn & Gus Rios	319 E. Main	8/12/2015	Insignificant	N/A	Remodel garage for B&B	Approved
15-65	Treff Herber	Treff & Kerinne Herber	205 E. Travis	8/27/2015	Insignificant	N/A	Paint exterior	Approved
15-66	Jim Garner	Jim Garner	607 W. Main	8/31/2015	Insignificant	N/A	Paint exterior	Approved
15-67	Arnoldo X. & Jan E. Cuellar	Arnoldo X. & Jan E. Cuellar	313 W. San Antonio	9/14/2015	Insignificant	N/A	Add iron fence and repair wood framed building	Approved
15-68	Duecker Construction	Mark & Ed Stroehrer, J. Angel, S. St.	302 E. Main	9/16/2015	Insignificant	N/A	Construct pergola and install fence	Approved
15-69	William Renfro	William & Joan Renfro	212 E. Travis	9/21/2015	Insignificant	N/A	Remove and replace rotten wood, repair windows & doors	Approved
15-70	John Klein	Gillespie Co. Historical Society	314 W. San Antonio	9/24/2015	Significant	10/13/2015	Replace fence	Approved
15-71	Sharon Grona	Billy & Sharon Grona	106 S. Washington	9/28/2015	Significant	10/13/2015	Construct rear entrance addition	Approved
15-72	Tony Martin Builders	Tony Martin Builders	212 Mistletoe St.	9/28/2015	Significant	10/13/2015	Alterations to previously approved addition to B&B	Approved
15-73	Tony Martin Builders	Tony Martin Builders	213 W. Schubert	9/28/2015	Significant	10/13/2015	Construct new single family residence	Approved
15-74	Gable S. Corporation	Gable S Corporation	406 E. Main St.	9/28/2015	Significant	10/13/2015	Construct new single family residence	Approved
15-75	Anthony Kenisky	Anthony Kenisky	516 W. Austin	9/4/2015	Insignificant	N/A	Construct new 2 story mixed use building	Approved
15-76	Joe Cloud	Cinco Group	102 W. Austin	10/7/2015	Insignificant	N/A	Add bedroom and bath	Approved
15-77	Randy Stehling	St. Joseph's Society	212 W. San Antonio	10/19/2015	Insignificant	N/A	Add arbor and fireplace	Approved
15-78	Randy Stehling	Bethany Lutheran Church	114 W. Austin	10/26/2015	Significant	N/A	Construct previously approved addition	Approved
15-79	Security State Bank & Trust	Security State Bank & Trust	118 S. Crockett	10/26/2015	Significant	11/10/2015	Repair rotted porch, roof and balcony	Approved
15-80	Josh Allen	Josh Allen	206 S. Lincoln	11/3/2015	Insignificant	N/A	Repair & close in storage building	Approved
15-81	Ben Jones	Jim Garner	607 B W. Main St.	11/12/2015	Insignificant	N/A	Replace front porch and paint exterior	Approved
15-82	Jym Chenault	Hugh & John Washburne	318 E. Austin	11/16/2015	Insignificant	N/A	Change approved porch to awning only	Approved
15-83	Melissa Shelton	Brice & Melissa Shelton	508 W. San Antonio	11/20/2015	Insignificant	N/A	Reinstall two awnings over front office & kitchen window	Approved
15-84	Brad Holland	Carolyn Moore	112 N. Acorn	11/20/2015	Significant	N/A	Move outbuilding to different location	Approved
15-85	Robert Graves	BBVA Compass	300 W. Main St.	11/20/2015	Significant	12/15/2015	Cover front corner of carport with corrugated metal	Approved
15-86	Ben Jones	Jim Garner	607 B W. Main St.	11/24/2015	Insignificant	N/A	Install fencing around existing dumpster	Denied
15-87	West End Pizza	Patton Bldg, LLC	232 W. Main	11/24/2015	Insignificant	11/24/2015	Remove awning in front of door	Approved
15-88	Eric Mustard	Mickey T. Dunn	603 W. Austin	11/30/2015	Significant	12/15/2015	Paint exterior, add signage	Partially Approved
15-89	Mustard Design	M/M Warren Richardson	405 Cora St.	11/30/2015	Significant	12/15/2015	Demo residence and construct new residence	Approved
15-90	Michael Atkins	Denise Gruy	606 W. Creek	11/30/2015	Significant	12/15/2015	Demo outbuildings, construct addition & garage	Approved
15-91	Jerald & Diana Phillips	Josh & Christy Phillips	204 N. Millam	11/30/2015	Significant	12/15/2015	Construct addition and move garage to back corner	Approved
15-92	Joe Cross	Julie Montgomery	204 W. Creek	11/23/2015	Insignificant	11/23/2015	L-shaped addition on rear/move interior stairway outside	Denied
15-93	Karlsruhe, LLC	Karlsruhe, LLC	223 E. Main	12/9/2015	Significant	1/12/2016	Construct 6 1/2 foot, outdoor fireplace & patio	Approved
15-94	John Muraglia	Fbg Historic Properties, LLC	108 N. Lincoln	12/11/2015	Insignificant	N/A	Replace rotten wood railing on second floor porch	Approved
15-95	Tony Martin Builders	Eckert	214 W. Main	12/21/2015	Insignificant	N/A	Seal off lower window with rock veneer	Approved
15-96	Laughlin Homes & Restoration	Happy & Candy Feller	312 W. San Antonio	12/22/2015	Insignificant	N/A	Change layout to mirror image of previously approved plan	Approved
15-97	John Klein	Gillespie Co. Historical Society	508 W. San Antonio	12/28/2015	Insignificant	N/A	Construct carport addition to existing garage	Approved
15-98	Brice & Missy Shelton	Brice & Melissa Shelton	404 N. Millam	12/14/2015	Significant	1/12/2016	Demo addition & construct new addition for storage & restroom	Approved
15-99	Jerald & Diana Phillips	Josh & Christy Phillips	404 N. Millam	12/30/2015	Significant	1/12/2016	Construct garage apratment on rear of property	Approved
							Construct addition on rear, move interior stairs to exterior	Denied

15-100	Sarah Washburne	Hoffman Haus	608 E. Creek	12/10/2015	Insignificant	N/A	Replace roof, remove window, paint trim	Approved
15-101	Anthony Kenisky	Anthony Kenisky	516 W. Austin	12/16/2015	Insignificant	N/A	Paint exterior	Approved