

**CITY OF FREDERICKSBURG  
HISTORIC REVIEW BOARD**

**Tuesday, January 12, 2016**

**City Hall**

**Conference Room**

**126 W. Main St.**

**5:30 P.M.**

1. Call to Order
2. Approve Minutes of December 2015 Regular Meeting *To Come*

**APPLICATIONS**

3. Application #15-94 by Karlsville, LLC to replace approximately 50 feet of rotten wood railing on the second floor porch with metal railing on property located at 223 E. Main Street *Pp 1 - 10*
4. Application #15-98 by Brice and Missy Shelton at 508 W. San Antonio to construct garage apartment on rear of property *Pp 11 - 23*
5. Application #15-99 by Jerald & Diana Phillips on behalf of Josh & Christy Phillips at 404 N. Milam to:  
  - 1) Demolish existing bath on rear of house and construct new addition
  - 2) Create driveway, patio areas and walkways of crushed granite
  - 3) Move stairway to outside on south side
  - 4) Construct wood fence on south, west and north sides

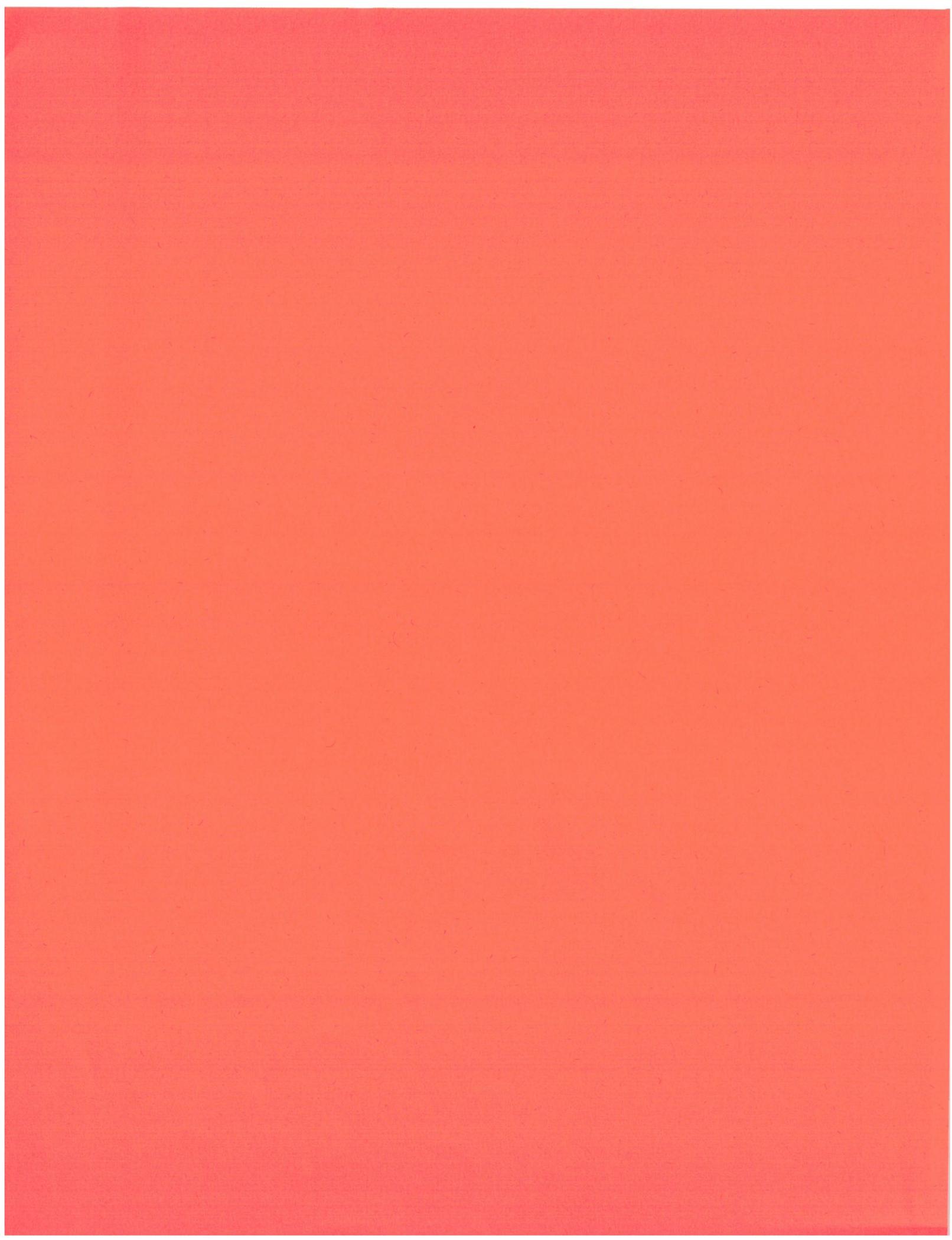
**DISCUSSIONS**

6. Joint Discussion with City Council regarding large or oversized houses in residential neighborhoods *Pp 39 - 40*

**SIGN OFF APPLICATIONS**

7. #15-93 – Seal off lower level window with rock veneer – 108 N. Lincoln/241 E. Austin (Muraglia)
8. #15-95 – Change layout of previously approved plan to mirror image – 213 W. Schubert (T. Martin)
9. #15-96 – Construct carport addition to existing garage – 214 W. Main (Feller)
10. #15-97 – Remove existing addition and construct new – 314 W. San Antonio (Historical Society)

**ADJOURN**



**Historic Review Board  
Application Information**

**Application Number:** 15-94

**Date:** January 7, 2016

**Address:** 223 E. Main

**Owner:** Karlsville, LLC

**Applicant:** Karlsville, LLC

**Rating:** High

**Proposed Modifications:** See attached

**Neighborhood Characteristics:** The subject property is in the Historic District.

**Staff Comments:** The scope of the project justifies Board review.

**General Notes:**

**The mandatory functions of the Board include the following:**

**(1) Removal, addition or modification of architectural detail.** The distinguishing historic qualities or character of a building, structure, or site and its environment shall not be destroyed. Removal or modification of any historic material or distinctive architectural features may be accomplished upon issue of certificate of appropriateness; however, this should be avoided when possible. Architectural features include but are not limited to exterior wall materials, windows, railings, decorative woodwork, masonry, or stone elements.

**(2) Paint color and application.** Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.

**(3) New construction in historic districts.** The board will review all new construction plans within Historic Districts in order to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion, design harmony and setback.

**The advisory functions of the Board include the following:**

- (1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
- (2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
- (3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
- (4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
- (5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
- (6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
- (7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

Preservation Priority Rating. Three-tier rating system used in the 2002 *Fredericksburg Historic Resource Survey* to evaluate all properties within, and adjoining to, the City's Historic District. Ratings are based upon current determinations of architectural value and integrity and, if known, historical and cultural value, and may be altered from time to time as additional information is discovered or circumstances change.

HIGH rating. The most significant properties identified in the 2002 *Fredericksburg Historic Resource Survey*. These properties are considered to be outstanding, unique, or good examples of architecture, engineering, or design. Some are unique to the Fredericksburg area and are indicative of German-Texan vernacular forms and/or building techniques. Others are noteworthy examples of 19th and early 20th century architectural types, styles, and forms, erected using local building materials and construction technologies. Properties designated with a high rating are to be the most protected from alteration and demolition.

MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

LOW rating. Properties that minimally enhance the district's ability to convey a sense of time and place. These properties may be typical examples of more recent, common local building forms, architectural styles, or plan types; be examples of distinctive building forms, architectural styles, or plan types that have been significantly altered; lack the necessary age to meet the usual fifty (50) year threshold for possible National Register of Historic Places listing and do not appear to meet the National Register of Historic Places standard for exceptional significance for properties less than fifty (50) years of age, but which nevertheless may have relative value within the Historic District, meriting preservation. Properties or improvements with a low rating may be considered for relocation or demolition upon a determination by the Historic Review Board that the same can be accomplished with little or no consequence to the historical, cultural, architectural, or archeological character of the district or property.

# Application for Certificate of Appropriateness

Application Date: DEC 9, 2015 Application Complete: FEB 9, 2016

Property Address: 2023 EAST MAIN ST.

Owner: KARLSVILLE, L.L.C. Phone No. 281-389-0389

Address: P.O. Box 910, FFA, TX 78624

Applicant: KARLSVILLE L.L.C. Phone No. 281-389-0389

Address: P.O. Box 910 Fax No. 830-990-1257

Description of External Alteration/Repair or Demolition: REPLACE APPROXIMATELY 50 FEET OF ROTTEN WOOD RAILING ON THE SECOND FLOOR PORCH WITH A METAL RAILING.

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site:

NONE - METAL RAILING TO REPLICATE WOOD

Any circumstances or conditions concerning the property which may affect compliance with the ordinance:

NONE

Drawing  Sketch Date Submitted: 12-9-15  Historic Photograph

Desired Starting Date: 1-9-16 Desired Completion Date: 2-9-16

SURVEY RATING:  High  Medium  Low  None

RTHL: Estimated Date of Construction

APPLICANT SIGNATURE: [Signature]

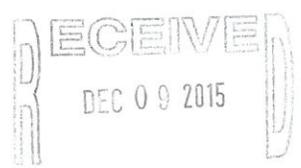
The Applicant certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property

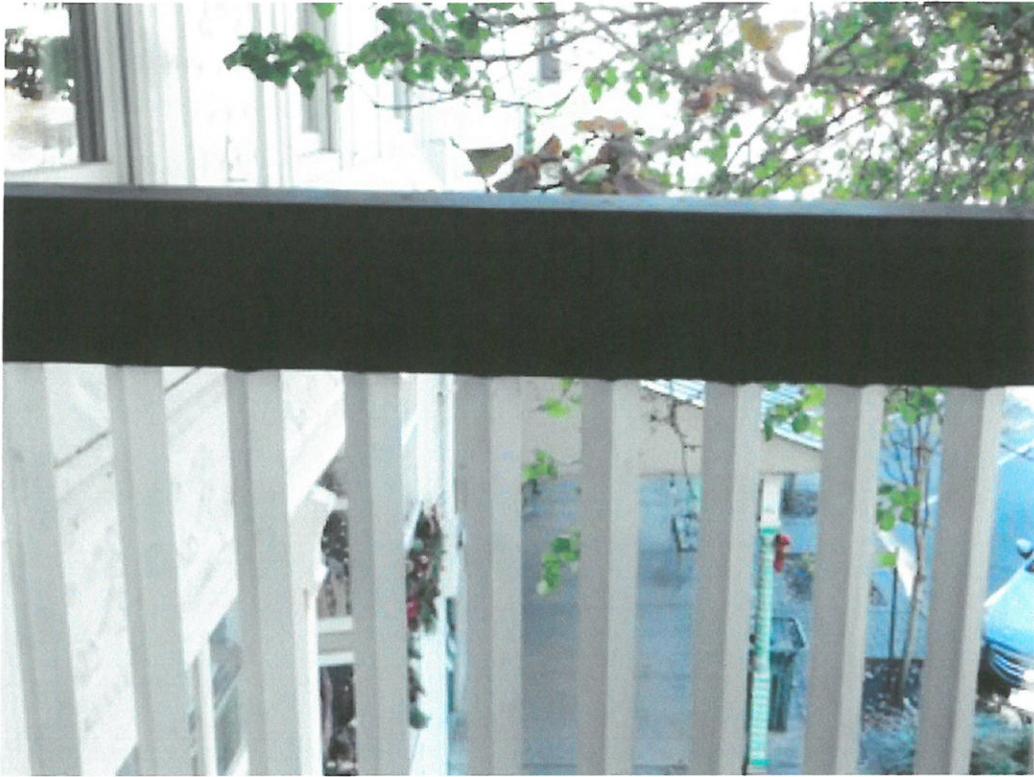
[Signature] Date 12/16/15  Insignificant  Significant  
Building Official's Determination (Max 7 days)

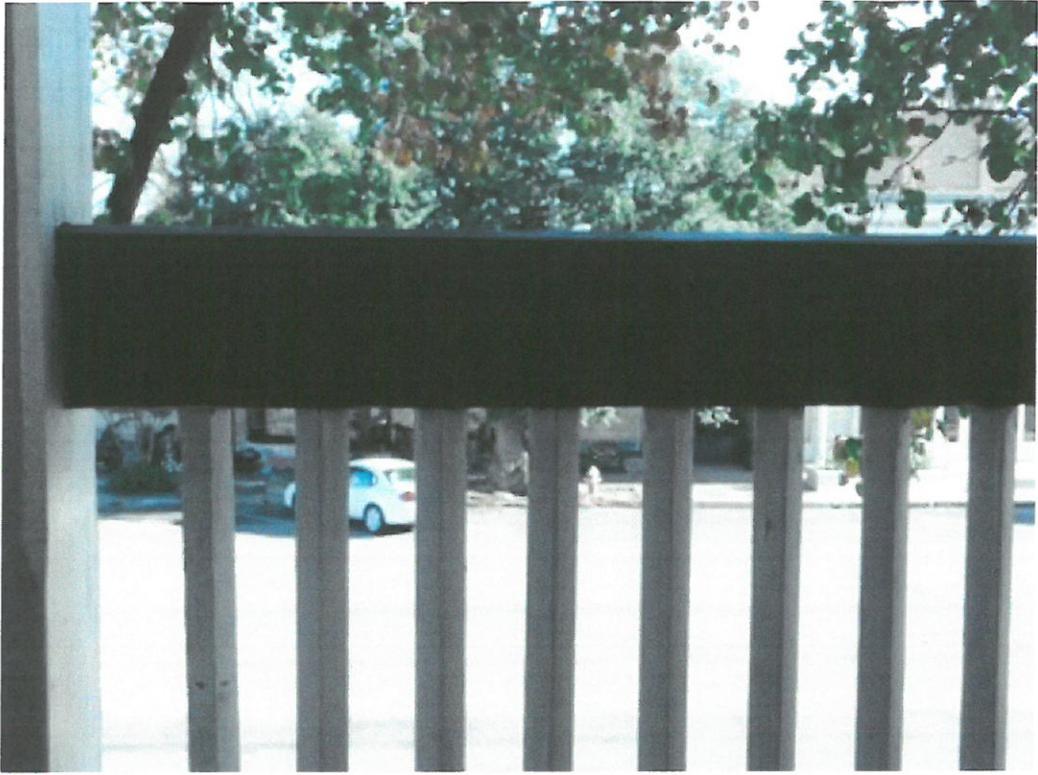
[Signature] Date 12/16/15  Insignificant  Significant  
Chairman's Determination (Max 7 days)

Meeting Date (40 days max. after complete application) Notice to Applicant:

APPLICATION FEE:-\$10.00 plus  Board Review; CERTIFICATE OF APPROPRIATENESS-\$40.00





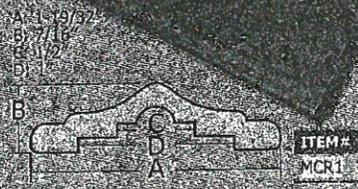


# Steel Handrail

ITEM #	PRICE
CI400HL	Ea: \$8.50
CI400HR	Ea: \$8.50
CI401HL	Ea: \$7.50
CI401HR	Ea: \$7.50
CI4X	Ea: \$2.25 20+ \$2.03
CI4X112	Ea: \$4.99
CI5	Ea: \$1.85 50+ \$1.65
CI5112	Ea: \$4.99
CI5SLLS	Ea: \$4.99
CI5SLLW	Ea: \$9.49
CI5SRLS	Ea: \$4.99
CI5SRLW	Ea: \$9.49
CI6	Ea: \$1.95 20+ \$1.76
CI6112	Ea: \$4.99
CI7053	Ea: \$1.99
CI75LCS	Ea: \$4.99
CI75LCW	Ea: \$9.50
CI75RCS	Ea: \$4.99
CI75RCW	Ea: \$9.50
MCR1	Ea: \$23.20 10+ \$21.95
MCR112	Ea: \$38.95
SF137740	Ea: \$15.56
SF137741	Ea: \$14.02
SF81212	Ea: \$12.50 50+ \$11.75
SF81213	Ea: \$15.00 50+ \$14.10

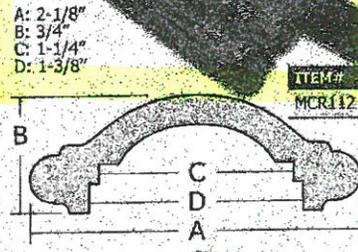
## Steel Handrails Standard Style

• 20 ft. approximate length  
• Fits 1" channel or tubing  
• Commercial mild steel  
• Weighs 25.4 lbs.



## Extra Wide Style

• Wide series for 1-1/2" channel, flat or tube  
• 19' approximate length  
• Mild steel  
• Weighs 42 lbs.



## Steel Lamb's Tongue Handrail End

• For straight or angle runs  
Length: 5-7/8"  
Height: 13-3/4"

ITEM #	HANDRAIL WIDTH	WEIGHT
SF137741	MCR112 1-1/8"	3.8 lbs.
SF137740	MCR112 2-1/8"	3.8 lbs.

## Steel Curled Handrail End

• For straight or angle runs  
Length: 5-7/8"  
Height: 11-13/16"

ITEM #	HANDRAIL WIDTH	WEIGHT
SF81213	MCR112 1-1/8"	2 lbs.
SF81212	MCR112 2-1/8"	3.9 lbs.

## Cast Iron Left Lateral

• For MCR1 Standard and MCR112 Extra-Wide Standards  
Laterals attach to channels for handrail runs can withstand up to

ITEM #	HANDRAIL
CI5SLLS	MCR1
CI400HL	MCR1
CI5SLLW	MCR112

## Left Channel

• For MCR1 Standard and MCR112 Extra-Wide Standards  
Channels attach to ends for handrail runs can withstand up to

ITEM #	HANDRAIL
CI75LCS	MCR1
CI401HL	MCR1
CI75LCW	MCR112

## Cast Iron Lamb's Tongue Handrail End

• For straight or angle runs

ITEM #	HANDRAIL
CI5	MCR1
CI5112	MCR112

## Cast Iron Lamb's Tongue Handrail End

• For angled runs

ITEM #	HANDRAIL
CI6	MCR1
CI6112	MCR112

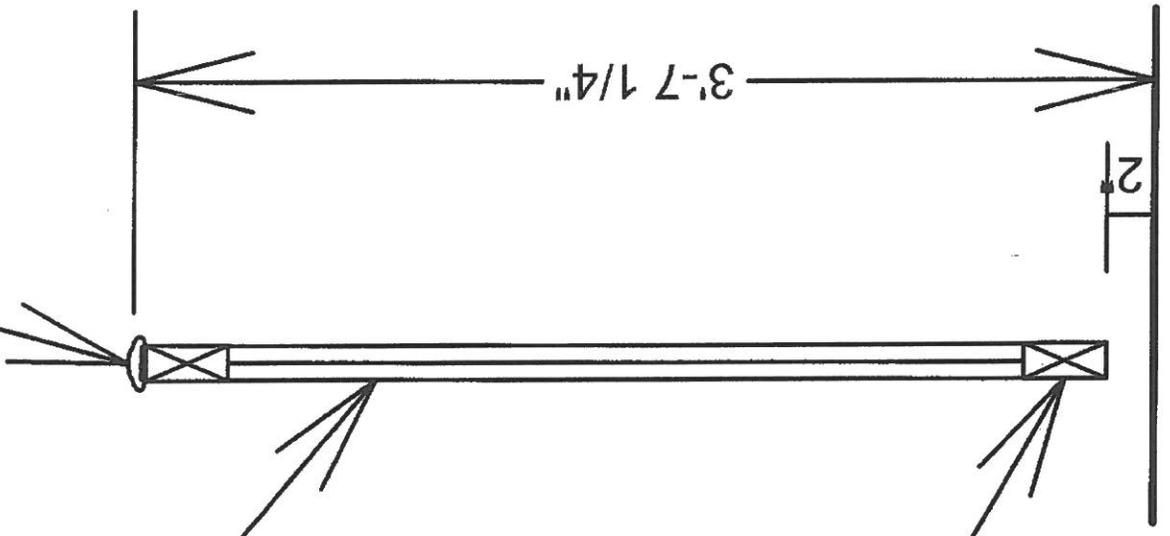
## Cast Iron Terminal

Length: 3-1/2"  
Overall Width: 2-1/2"

ITEM #	HANDRAIL
CI7053	MCR1

6

MCR112 Cap  
Triple Steel Supply Co.



1"x1" Spindles Set  
On Diagonal  
3" O.C.

1 1/2" x 3 1/2"  
Steel Tubing





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# Inventory of Properties

218 E. Main



2002-05 Re-evaluation

High  Medium  Low

Site ID No. 384  
 Address 218 E. Main  
 Date 1880  
 Stylistic Influence vernacular  
 GCAD Hyperlink [R26995](#)  
 Owner DIETZ, E DONALD ETUX  
 Historic District Yes Historic District  
 Assessment Example of a distinctive building type or architectural style that has undergone alterations or deterioration.

Notes Resource has a rear concrete block addition. Concrete covered with stucco and wood shingles added to front façade.

**1983 Historic Resources Survey**

Previous Site No. 406  
 Previous Ranking 2  
 Previous Photo References  
 Roll 32 32  
 Frame 14 15

221 E. Main



2002-05 Re-evaluation

High  Medium  Low

Site ID No. 288  
 Address 221 E. Main  
 Date 1900  
 Stylistic Influence  
 GCAD Hyperlink [R25788](#)  
 Owner HEINEN, BARBARA ETAL % JEFFERY D LAWRENCE  
 Historic District Yes Historic District  
 Assessment An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations. Outstanding decorative features contribute to the resource's significance.

Notes

**1983 Historic Resources Survey**

Previous Site No. 407  
 Previous Ranking 2  
 Previous Photo References  
 Roll 17  
 Frame 8

222 E. Main



2002-05 Re-evaluation

High  Medium  Low

Site ID No. 385  
 Address 222 E. Main  
 Date 1850  
 Stylistic Influence vernacular  
 GCAD Hyperlink [R28087](#)  
 Owner COOPER, DEBRA WYN  
 Historic District Yes Historic District  
 Assessment An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations.

Notes Richter Building. Property is a RTHL. Bay window added to front façade.

**1983 Historic Resources Survey**

Previous Site No. 408  
 Previous Ranking 1  
 Previous Photo References  
 Roll 35  
 Frame 7

223 E. Main



2002-05 Re-evaluation

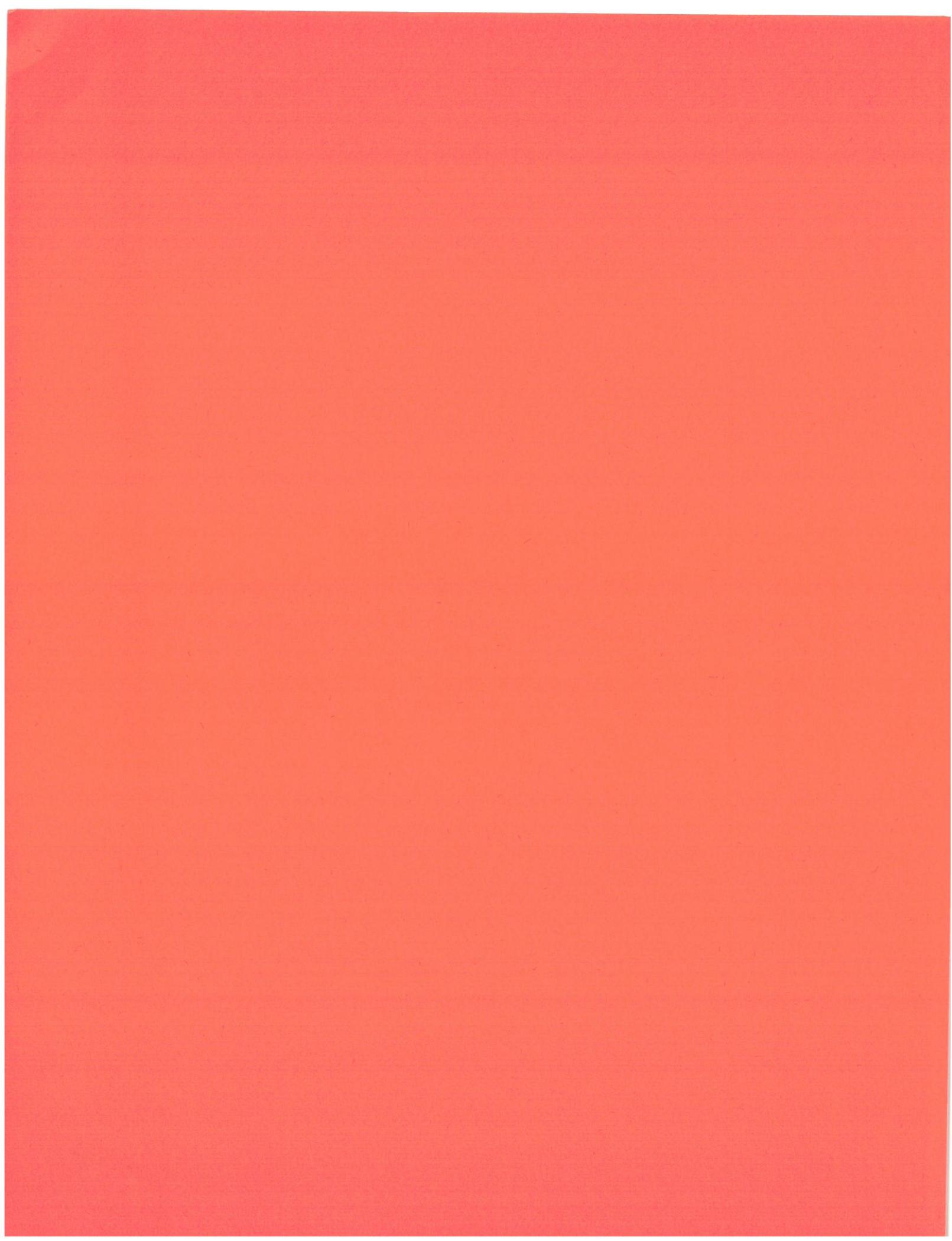
High  Medium  Low

Site ID No. 458  
 Address 223 E. Main  
 Date 1910  
 Stylistic Influence  
 GCAD Hyperlink [R15747](#)  
 Owner BOLTON, CAROL  
 Historic District Yes Historic District  
 Assessment An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations. Outstanding decorative features contribute to the resource's significance.

Notes

**1983 Historic Resources Survey**

Previous Site No. 409  
 Previous Ranking 3  
 Previous Photo References  
 Roll 17  
 Frame 7



**Historic Review Board  
Application Information**

**Application Number:** 15-98  
**Date:** January 7, 2016  
**Address:** 508 W. San Antonio  
**Owner:** Brice and Missy Shelton  
**Applicant:** Rick Schafer  
**Rating:** Low  
**Proposed Modifications:** See attached  
**Neighborhood Characteristics:** The subject property is in the Historic District.  
**Staff Comments:** The scope of the project justifies Board review.

**General Notes:**

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15-98

# Application for Certificate of Appropriateness

Application Date: 12.14.15 Application Complete: \_\_\_\_\_

Property Address: 508 W San Antonio

Owner: Brice and Missy Shelton Phone No. 512-924-7612

Address: 2725 Old Course DR, AFX 78732

Applicant: Brice & Missy Shelton w/ Rick Schaefer Phone No. 512-924-7612

Address: \_\_\_\_\_ Fax No. \_\_\_\_\_

Description of External Alteration/Repair or Demolition: Build Garage Apartment @ back of property - to be used by owners as residence @ this time

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site: New structure will allow owners to become full time residents of FBG. owners are meticulous and will continue to add value to property through landscaping & other care.

Any circumstances or conditions concerning the property which may affect compliance with the ordinance: None

Drawing     Sketch    Date Submitted: \_\_\_\_\_     Historic Photograph

Desired Starting Date: Feb-June '16 Desired Completion Date: Nov '16  
SURVEY RATING:     High     Medium     Low     None

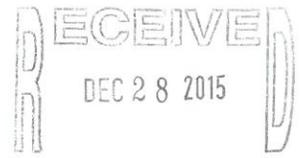
APPLICANT SIGNATURE: M. Shelton    ARTHL: Estimated Date of Construction \_\_\_\_\_

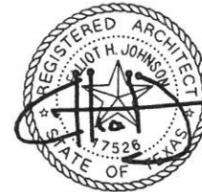
The Applicant certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property

\_\_\_\_\_  
Building Official's Determination    Date \_\_\_\_\_     Insignificant     Significant  
(Max 7 days)  
Joseph  
Chairman's Determination    Date 1/5/16     Insignificant     Significant  
(Max 7 days)

Meeting Date (40 days max. after complete application) \_\_\_\_\_ Notice to Applicant: \_\_\_\_\_

APPLICATION FEE: -\$10.00 plus  Board Review; CERTIFICATE OF APPROPRIATENESS-\$40.00





**HEIGHT**

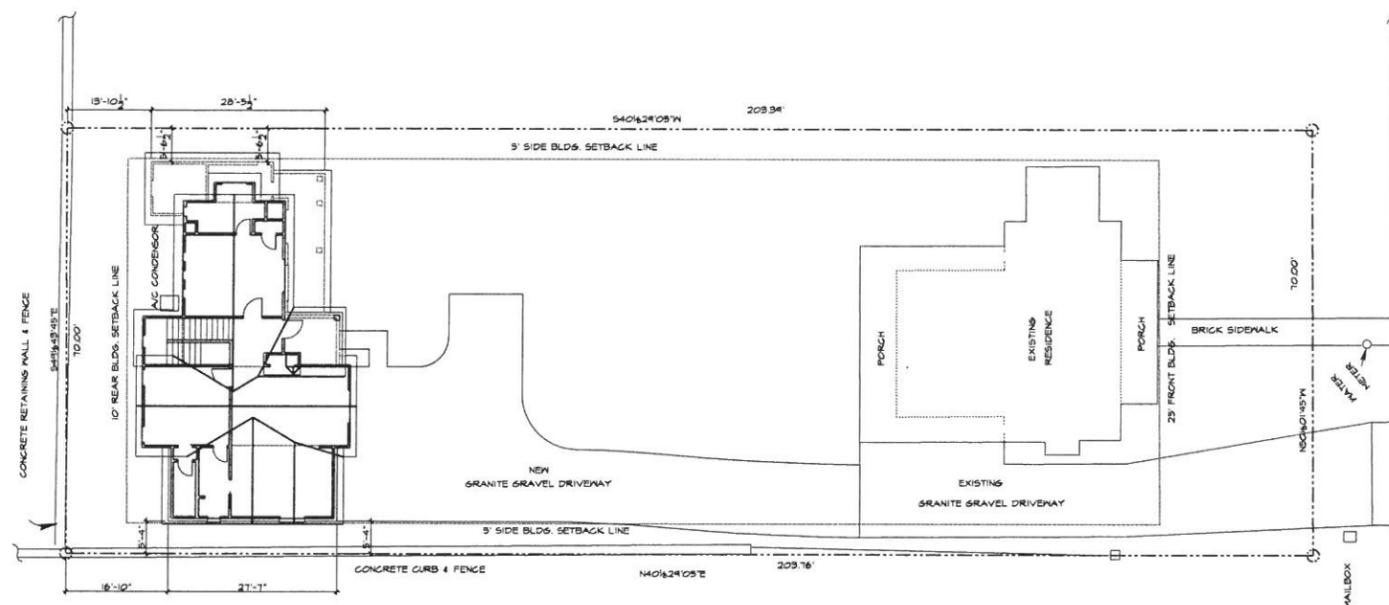
HEIGHT 26'-11"

**MASONRY**

STONE/STUCCO - 1945 S.F. - 51%  
 SIDING - 1830 S.F.  
 TOTAL - 3775 S.F.

**IMPERVIOUS COVER**

TOTAL LOT:	14,250 S.F.
EXISTING HOUSE:	1,712 S.F.
EXISTING DRIVEWAY:	1,032 S.F.
EXISTING WALKWAY:	114 S.F.
GARAGE/GARAGE APT:	1,678 S.F.
NEW DRIVEWAY:	1,600 S.F.
HVAC PAD:	4 S.F.
<b>TOTAL IMPERVIOUS COVER:</b>	<b>6,145 S.F. 43.12%</b>



W. SAN ANTONIO STREET

**IMAGES OF...**

**ELLIOT H. JOHNSON**  
 AIA TBAE #17526

1354 THE HIGH ROAD AUSTIN TEXAS 78746  
 512-927-3032  
 ELLIOT@IMAGESOF.NET

**2012 INTERNATIONAL RESIDENTIAL CODE**

- THESE CONSTRUCTION DRAWINGS WERE PREPARED IN COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS. HOWEVER, IT IS THE BUILDER'S SOLE RESPONSIBILITY FOR ASSURING COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- SCHEMATIC ROOF FRAMING PLAN AND SCHEMATIC FOUNDATION PLAN WHICH ARE INCLUDED IN THE CONSTRUCTION DRAWINGS OF THE PROJECT ARE NOT ENGINEERED AND ARE PROVIDED ONLY FOR REFERENCE BY A PROFESSIONAL ENGINEER'S USE.
- THE DESIGN OF THE STRUCTURAL COMPONENTS OF THE RESIDENCE SHALL BE BY A LICENSED ENGINEER IN ACCORDANCE WITH THE 2012 IRC.
- PROVIDE DRAFTSTOPPING IN THE FLOOR FRAMING ASSEMBLY PER CODE (IRC R502.12).
- PROVIDE FIREBLOCKING PER CODE (IRC R602.8).

**NOTES:**

- BUILDER TO PROVIDE POSITIVE DRAINAGE AWAY FROM HOUSE.
- BUILDER TO DETERMINE LOCATION OF HOUSE AND FINISHED FLOOR ELEVATION.
- PROVIDE UNDERGROUND UTILITY LINES.
- REMOVE TREES AT BUILDING ONLY.

SURVEY PREPARED BY: BONN SURVEYING  
 503 Longhorn St. Fredericksburg, TX 78624  
 Phone : 830-441-3884

14

**SITE PLAN**

SCALE: 1"=30'-0"

THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS HAS JURISDICTION OVER COMPANIES REGARDING THE PROFESSIONAL PRACTICE OF PERSONS REGISTERED AS ARCHITECTS IN TX. TBAE 939 GUADALUPE, SUITE 2-350 AUSTIN, TX 78701 (512) 305-4000. ANY DISCREPANCIES WITH THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

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A-2.2	SECOND FLOOR PLAN	A-5.2	SECOND FLOOR MEP PLAN
A-3.1	EXTERIOR ELEVATIONS	A-6.1	SCHEMATIC ROOF FRAMING PLAN
A-3.2	EXTERIOR ELEVATIONS	A-6.2	SCHEMATIC FOUNDATION PLAN
A-3.3	BUILDING SECTION		

**TREES REMOVED**

**LEGAL DESCRIPTION**

LOT: TOWNLOT 242R  
 SECTION: CITY OF FREDERICKSBURG  
 GILLESPIE COUNTY TEXAS

DATE: 6/16/2015

REVISED:

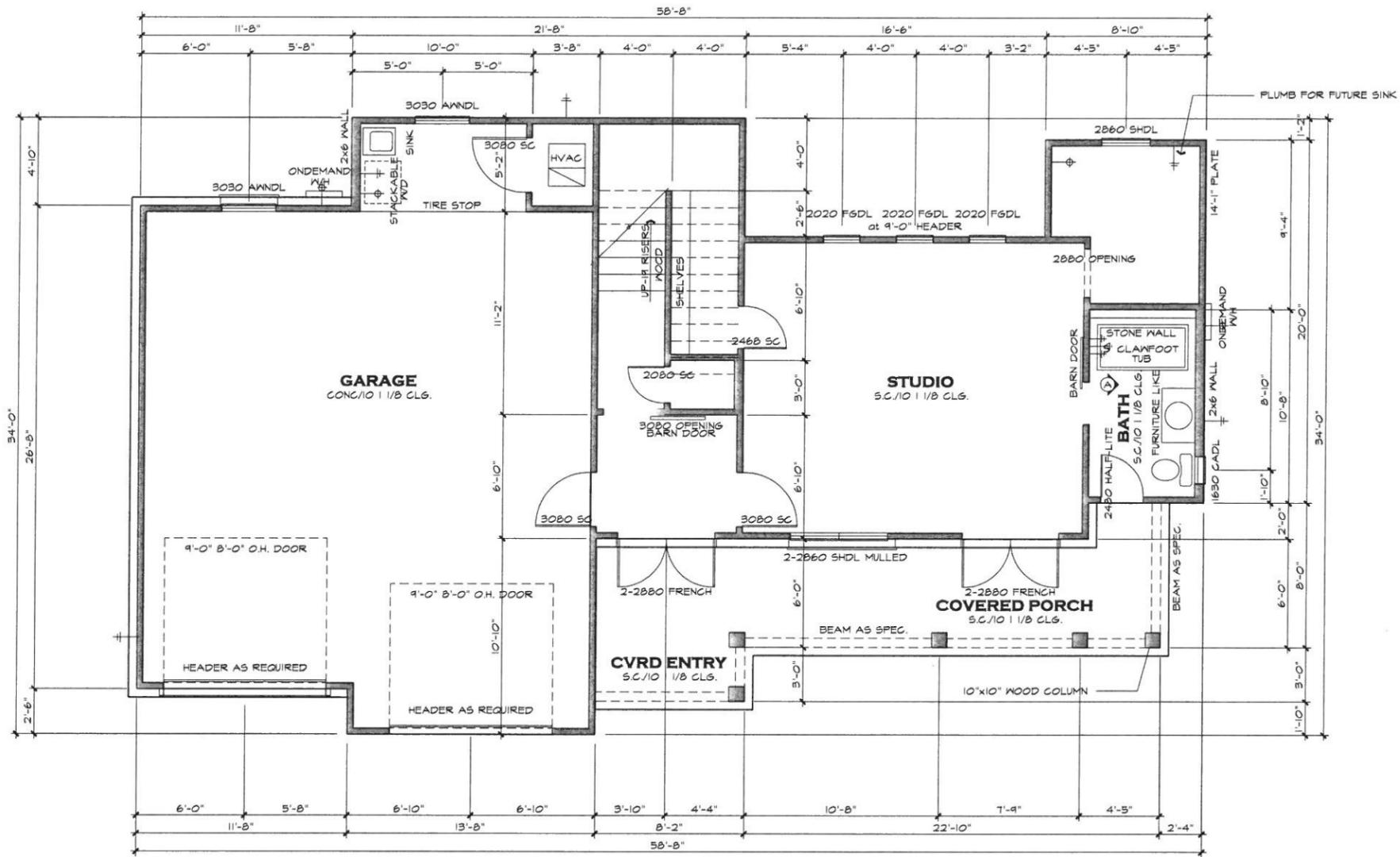
**A-1.1**

10-5725.DWG 10/12/11 created on images of... software!

**A CUSTOM RESIDENCE FOR:**

**BRICE + MISSY SHELTON**

W. San Antonio Street  
 Fredericksburg Tx



**IECC ENERGY CODE NOTES:**

THIS RESIDENCE IS DESIGNED IN COMPLIANCE WITH THE 2012 IECC. THE INFORMATION PROVIDED HERE IS A SUMMARY. THE BUILDER IS RESPONSIBLE FOR ASSURING COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. TEXAS SENATE BILL 5: ENERGY CHAPTER (II) OF THE IRC FOR SINGLE-FAMILY RESIDENTIAL AND THE 2012 IECC APPLIES TO ALL CONSTRUCTION IN THE ENTIRE STATE OF TEXAS -- RESIDENTIAL, COMMERCIAL AND INDUSTRIAL, IN BOTH INCORPORATED AND UNINCORPORATED AREAS. (EFFECTIVE 4/1/2002)  
 25% OF ALL LAMPS MUST BE ENERGY STAR-COMPLIANT. ALL OUTDOOR LUMINAIRES SHALL BE CONTROLLED BY A PHOTOCELL. ALL RECESSED CAN LIGHTS ARE REQUIRED TO BE AIR-TIGHT-RATED (IC-AT)

**HVAC**

- MECHANICAL FRESH AIR VENTILATION IS REQUIRED BY 2012 IRC. (IRC M501.3)
- R-8 DUCT INSULATION IS REQUIRED IF OUTSIDE THE THERMAL ENVELOPE.
- DUCT SEALING MUST BE DONE IN ACCORDANCE WITH THE MECHANICAL CODE (IMC) -- ALL SEAMS, JOINTS, BOOTS, START COLLARS & ALL CONNECTIONS ONLY MASTIC AND UL-181A OR B TAPES ARE ALLOWED FOR SEALING.
- HVAC CONTRACTOR TO PROVIDE A COPY OF THE MANUAL J & MANUAL D TO THE BUILDER, THE ARCHITECT, AND THE OWNER.
- ALL HVAC UNIT(S) TO BE TESTED BY CERTIFIED THIRD PARTY CONTRACTORS. TEST REPORT WILL BECOME PART OF FINAL MECHANICAL DOCUMENTATION. (IRC N102.4.1)

- ENVELOPE TESTING (BLOWER DOOR) 1 ACH AT A PRESSURE OF 39.5 OR 50 PASCALS.
- DUCT TESTING (DUCT BLASTER) LEAKAGE OF 10% OR LESS OF DESIGN AIRFLOW.
- TOTAL SYSTEM AIRFLOW WITHIN 10% OF DESIGN.
- SUPPLIES BALANCED TO WITHIN 20% OF DESIGN.
- NO MORE THAN 5 PASCAL PRESSURE DIFFERENCE BETWEEN ROOM AND OPEN AREA(S).
- HVAC SYSTEM STATIC PRESSURES LESS THAN 0.5" WC FOR GAS FURNACE, 0.6" FOR HEAT PUMPS.
- SYSTEM FILTERS -- MERV 8 RATING MINIMUM. (1" PLEATED FILTERS MEET THIS REQUIREMENT)

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Climate Zone	High Temp. Wetness Category	TABLE 402.1.1	MAX U'	SHGC	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE	ROOF R-VALUE	CEILING R-VALUE
Winter, Design Dry-bulb (F)	30		0.40	0.25	R-38	R-15 + 2	R-18	0	0
Summer, Design Dry-bulb (F)	91								
Indoor design temperatures	72 heating 75 cooling								
Degree Days Heating	1735								
Degree Days Cooling	2862								

\* IF SPRAY FOAM INSULATION IS UTILIZED THE MINIMUM THICKNESS OF OPEN CELL FOAM IS R-25. (Cathedral e.g. min 2NB construction)  
 1. NO SLAB PERIMETER INSULATION IS REQUIRED IN THIS CLIMATE ZONE.  
 2. RESIDENTIAL BUILDINGS HAVING A VENTED ATTIC EXTENDING OVER CONDITIONED AND UNCONDITION SPACES SHALL HAVE BULKHEADS.  
 3. R-3 PIPE INSULATION FOR ALL HOT WATER PIPING.  
 4. ALL HOT WATER RECIRCULATING SYSTEMS MANUALLY CONTROLLED OR ON TIMER.  
 5. 90% OF INDOOR LAMPS SHALL BE HIGH EFFICACY. OUTDOOR LUMINAIRES MUST BE HIGH EFFICACY AND CONTROLLED BY PHOTOCELL.

1. CITY OF AUSTIN RESIDENTIAL AMENDMENTS TO THE IECC.  
 2. ATTIC VENTILATION IS PROHIBITED IF IT WERE TO INTRODUCE UNCONDITIONED AIR INTO LOCATIONS WITHIN THE THERMAL ENVELOPE.  
 3. A VAPOR BARRIER (PERMEABILITY RATINGS OF LESS THAN 1.0) ON THE WARM-IN-WINTER SIDE OF FRAMING IS NOT ALLOWED.  
 4. VAPOR BARRIERS ON THE WARM-IN-WINTER SIDE OF A WALL ARE NOT REQUIRED BY CODE AND ARE NOT RECOMMENDED.  
 5. WATER HEATERS WITH VERTICAL RISERS MUST HAVE HEAT TRAPS ON THE INLET AND OUTLET OF THE WATER HEATER.  
 6. ELECTRIC RESISTANCE IF NATURAL GAS SERVICE IS NOT AVAILABLE, WH IS 100% EFFICIENT, AND CONTROLLED BY PROGRAMMED TIMER.  
 7. ROOF RADIANT BARRIER REQUIRED. EMITTANCE OF .05 OR GREATER. INSTALLED SHINY SIDE FACING DOWN. EXCEPTIONS: REFLECTIVE OR TILE ROOFINGS, SEALED ATTIC OR INSULATION AT ROOF. MECHANICAL, DUCTS WITHIN THERMAL ENVELOPE. CERTIFICATE REQUIRED. MUST BE PERMANENTLY POSTED ON ELECTRICAL PANEL AND INCLUDE: R-VALUES OF INSULATION, U-FACTORS OF WINDOWS, SHGC OF WINDOWS, HVAC EFFICIENCIES, WATER HEATER EFFICIENCIES.  
 8. BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED.

**FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"  
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SQUARE FOOTAGE CHART	FRAME	MASONRY	TOTAL S.F.
FIRST FLOOR	650	19	669
SECOND FLOOR	1146	23	1214
TOTAL HEATED	1846	36	1882
GARAGE	768	23	791
COVERED ENTRY	224	N/A	224
BALCONY	76	N/A	76
TOTAL S.F.	2414	59	2473

**NOTES:**

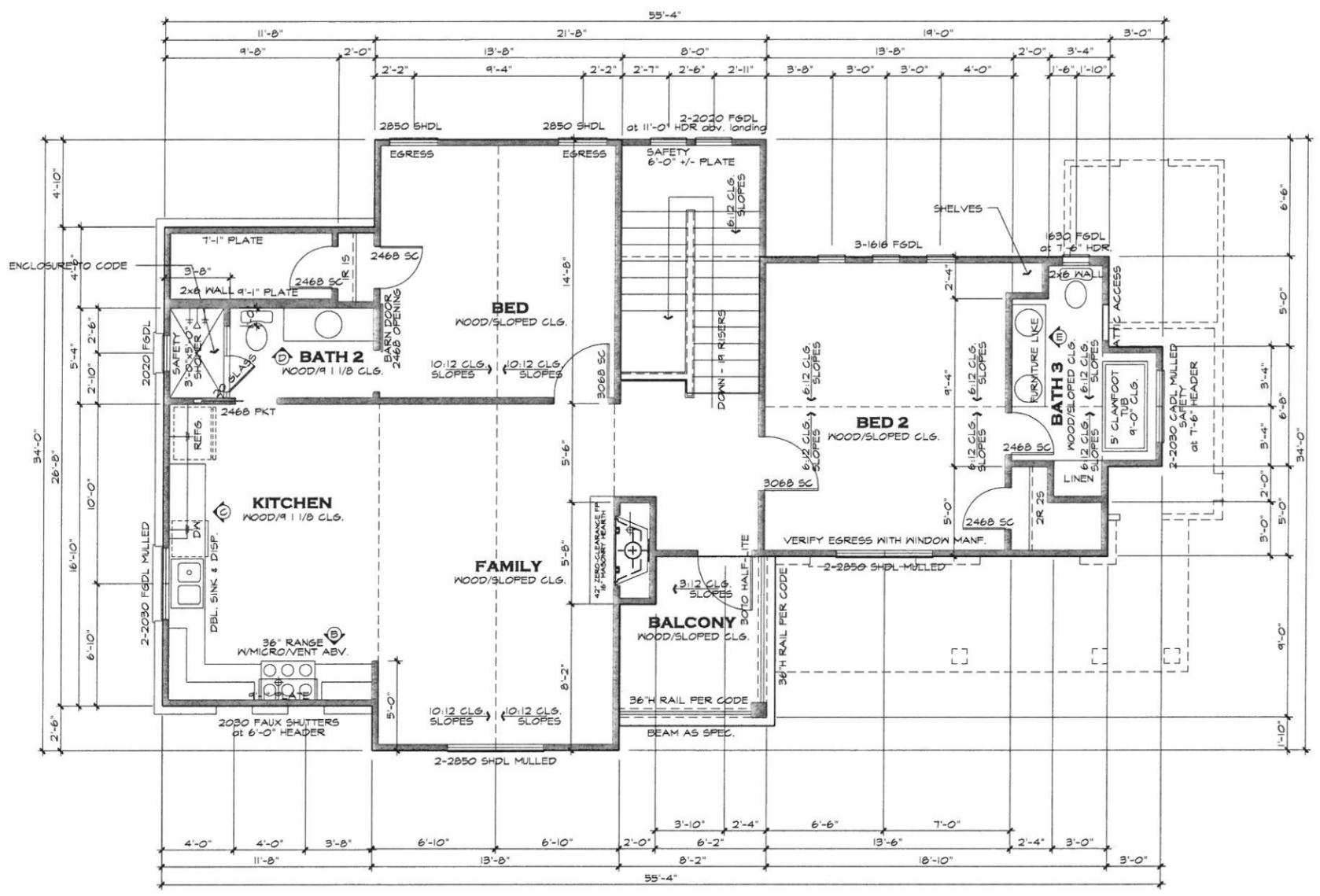
- FIRST FLOOR PLATE HEIGHTS ARE 10'-11" U.N.D.
- FIRST FLOOR WINDOW HEADER HEIGHTS ARE 8'-0" U.N.D.
- BUILDER RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES, ORDINANCES AND DEED RESTRICTIONS.
- PROVIDE ONE 5 SF. NET AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA.
- BLOCK FOR CEILING FANS IN ALL BEDROOMS, LIVING, FAMILY, AND BREAKFAST ROOMS.
- WINDOW SIZES ARE NOMINAL. VERIFY WITH MANUFACTURER. SAFETY GLASS PER CODE.
- WEATHERSTRIP ATTIC ACCESS DOOR(S).
- STAIRS AND HANDRAILS PER CODE.
- SYSTEM BOARD IS REQUIRED ON ALL SURFACES UNDER STAIRS. (IRC R314.4)
- ANY PROJECTION THAT EXTENDS TO LESS THAN FIVE (5) FT FROM A PROPERTY LINE IS REQUIRED TO HAVE A ONE (1) HOUR FIRE-RATING. THIS INCLUDES SOFFITS AND PROJECTIONS. (IRC R302.1)
- BOTTOM OF WINDOW SILLS OF OPERABLE WINDOWS SHALL BE A MIN. OF 24" A.F.F. (IRC R410.2)
- GLAZING WITHIN 60" OF BOTTOM OF STAIRS TO BE SAFETY GLASS. IRC R308.4.7

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**A CUSTOM RESIDENCE FOR:**  
**BRICE + MISSY SHELTON**  
 W. San Antonio Street  
 Fredericksburg Tx

**DATE:** 6/16/2015  
**REVISED:**

**A-2.1**



**IECC ENERGY CODE NOTES:**

THIS RESIDENCE IS DESIGNED IN COMPLIANCE WITH THE 2012 IECC. THE INFORMATION PROVIDED HERE IS A SUMMARY. THE BUILDER IS RESPONSIBLE FOR ASSURING COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. TEXAS SENATE BILL 5, ENERGY CHAPTER (1) OF THE IRC FOR SINGLE-FAMILY RESIDENTIAL AND THE 2012 IECC APPLIES TO ALL CONSTRUCTION IN THE ENTIRE STATE OF TEXAS -- RESIDENTIAL, COMMERCIAL, AND INDUSTRIAL, IN BOTH INCORPORATED AND UNINCORPORATED AREAS. (EFFECTIVE 8/1/2002)  
 25% OF ALL LAMPS MUST BE ENERGY STAR-COMPLIANT, & ALL OUTDOOR LUMINAIRES SHALL BE CONTROLLED BY A PHOTOCELL.  
 ALL RECESSED CAN LIGHTS ARE REQUIRED TO BE AIR-TIGHT-RATED (IC-AT)

**HVAC**

MECHANICAL FRESH AIR VENTILATION IS REQUIRED BY 2012 IRC. (IRC M501.3)  
 R-8 DUCT INSULATION IS REQUIRED IF OUTSIDE THE THERMAL ENVELOPE.  
 DUCT SEALING MUST BE DONE IN ACCORDANCE WITH THE MECHANICAL CODE (IMC) -- ALL SEAMS, JOINTS, BOOTS, START COLLARS & ALL CONNECTIONS, ONLY MASTIC AND UL-181A OR B TAPES ARE ALLOWED FOR SEALING.  
 HVAC CONTRACTOR TO PROVIDE A COPY OF THE MANUAL J & MANUAL D TO THE BUILDER, THE ARCHITECT, AND THE OWNER.  
 ALL HVAC UNITS TO BE TESTED BY CERTIFIED THIRD PARTY CONTRACTORS. TEST REPORT WILL BECOME PART OF FINAL MECHANICAL DOCUMENTATION. (IRC N102.4)

1. ENVELOPE TESTING (BLOWER DOOR) 1 ACH AT A PRESSURE OF 33.3 OR 50 PASCALS.
2. DUCT TESTING (DUCT BLASTER) LEAKAGE OF 10% OR LESS OF DESIGN AIRFLOW.
3. TOTAL SYSTEM AIRFLOW WITHIN 10% OF DESIGN.
4. SUPPLIES BALANCED TO WITHIN 20% OF DESIGN.
5. NO MORE THAN 5 PASCAL PRESSURE DIFFERENCE BETWEEN ROOM AND OPEN AREA(S).
6. HVAC SYSTEM STATIC PRESSURES LESS THAN 0.2" WC FOR GAS FURNACE, 0.6" FOR HEAT PUMPS.
7. SYSTEM FILTERS - MERV 6 RATINGS MINIMUM. (1" PLEATED FILTERS MEET THIS REQUIREMENT)

Climate Zone	Req. Min. Minimum Ceiling	2	TABLE 402.1.1	MAX U'	SHGC	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE	ROOF R-VALUE	CRAWL R-VALUE
Winter, Design Dry-bulb (F)	30			0.40	0.25	R-36	R-13 + 2	R-13	0	0
Summer, Design Dry-bulb (F)	91									
Indoor design temperatures	12 heating 75 cooling									
Degree Days Heating	1739									
Degree Days Cooling	2662									

1. CITY OF AUSTIN RESIDENTIAL AMENDMENTS TO THE IECC.  
 1. ATTIC VENTILATION IS PROHIBITED IF IT WERE TO INTRODUCE UNCONDITIONED AIR INTO LOCATIONS WITHIN THE THERMAL ENVELOPE.  
 2. A VAPOR BARRIER (PERMEABILITY RATINGS OF LESS THAN 1.0) ON THE WARM-IN-WINTER SIDE OF FRAMING IS NOT ALLOWED. VAPOR BARRIERS ON THE WARM-IN-WINTER SIDE OF A WALL ARE NOT REQUIRED BY CODE AND ARE NOT RECOMMENDED.  
 WATER HEATERS WITH VERTICAL RISERS MUST HAVE HEAT TRAPS ON THE INLET AND OUTLET OF THE WATER HEATER.  
 ELECTRICAL RESISTANCE IF NATURAL GAS SERVICE IS NOT AVAILABLE, WH IS 93% EFFICIENT, AND CONTROLLED BY PROGRAMMED THERMOSTAT.  
 ROOF RADIANT BARRIER REQUIRED, EMITTING OF .05 OR GREATER, INSTALLED SHINY SIDE FACING DOWN, EXCEPTIONS: REFLECTIVE OR TILE ROOFINGS, SEALED ATTIC OR INSULATION AT ROOF, MECHANICAL DUCTS WITHIN THERMAL ENVELOPE.  
 CERTIFICATE REQUIRED, MUST BE PERMANENTLY POSTED ON ELECTRICAL PANEL AND INCLUDE: R-VALUES OF INSULATION, U-FACTORS OF WINDOWS, SHGC OF WINDOWS, HVAC EFFICIENCIES, WATER HEATER EFFICIENCIES.  
 BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED.

**SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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SQUARE FOOTAGE CHART	FRAME	MASONRY	TOTAL S.F.
FIRST FLOOR	650	15	665
SECOND FLOOR	1196	23	1219
TOTAL HEATED	1846	38	1882
GARAGE	765	23	788
COVERED ENTRY	224	N/A	224
BALCONY	76	N/A	76
TOTAL S.F.	2914	58	2972

**NOTES:**

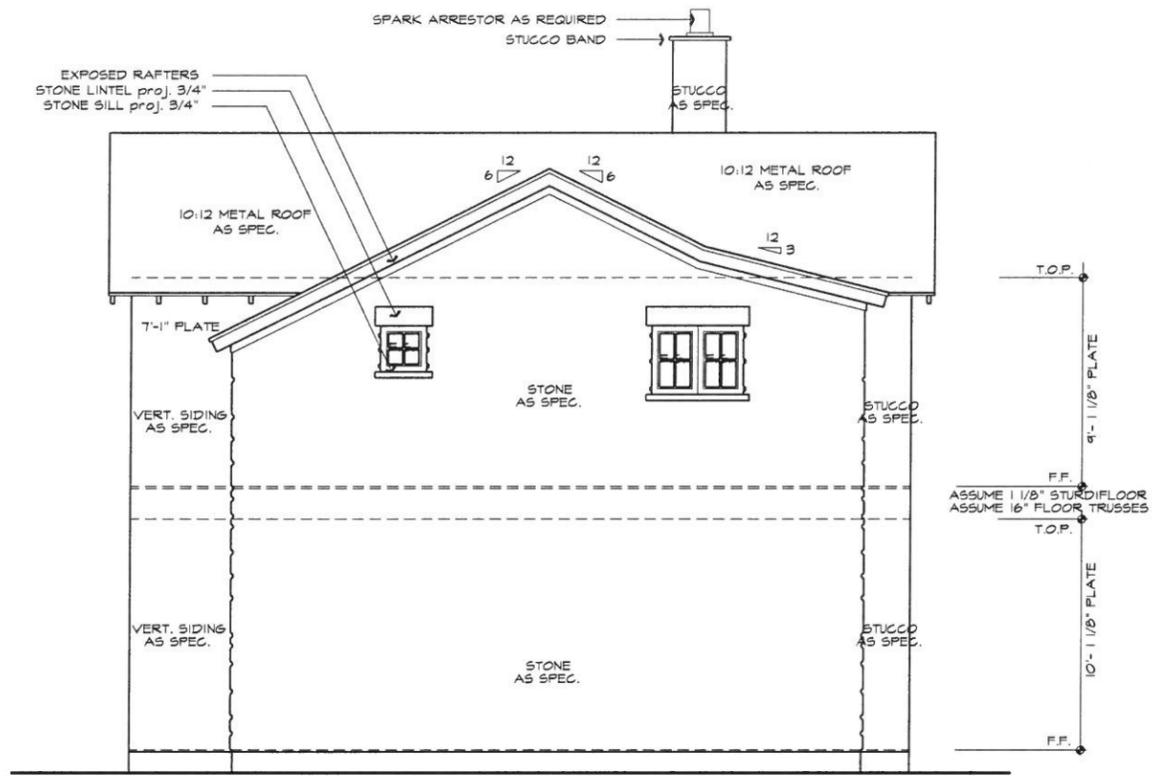
- 1. SECOND FLOOR PLATE HEIGHTS ARE 9'-1" U.N.D.
- 2. SECOND FLOOR WINDOW HEADER HEIGHTS ARE 1'-0" U.N.D.
- 3. BUILDER RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES, ORDINANCES AND DEED RESTRICTIONS.
- 4. PROVIDE ONE S.F. NET AREA OF ATTIC VENTILATION PER 30 S.F. OF TOTAL COVERED ROOF AREA.
- 5. BLOCK FOR CEILING FANS IN ALL BEDROOMS, LIVING, FAMILY, AND BREAKFAST ROOMS.
- 6. WINDOW SIZES ARE NOMINAL, VERIFY WITH MANUFACTURER.
- 7. SAFETY GLASS PER CODE.
- 8. WEATHERSTRIP ATTIC ACCESS DOOR(S).
- 9. STAIRS AND HANDRAILS PER CODE.
- 10. GYPSUM BOARD IS REQUIRED ON ALL SURFACES UNDER STAIRS. (IRC R314.4)
- 11. ANY PROJECTION THAT EXTENDS TO LESS THAN FIVE (5) FT FROM A PROPERTY LINE IS REQUIRED TO HAVE A ONE (1) HOUR FIRE-RATING. THIS INCLUDES SOFFITS AND PROJECTIONS. (IRC R302.1)
- 12. BOTTOM OF WINDOW SILLS OF OPERABLE WINDOWS SHALL BE A MIN. OF 24" A.F.F. (IRC R603.2)
- 13. GLAZING WITHIN 60" OF BOTTOM OF STAIRS TO BE SAFETY GLASS. (IRC R503.4.1)

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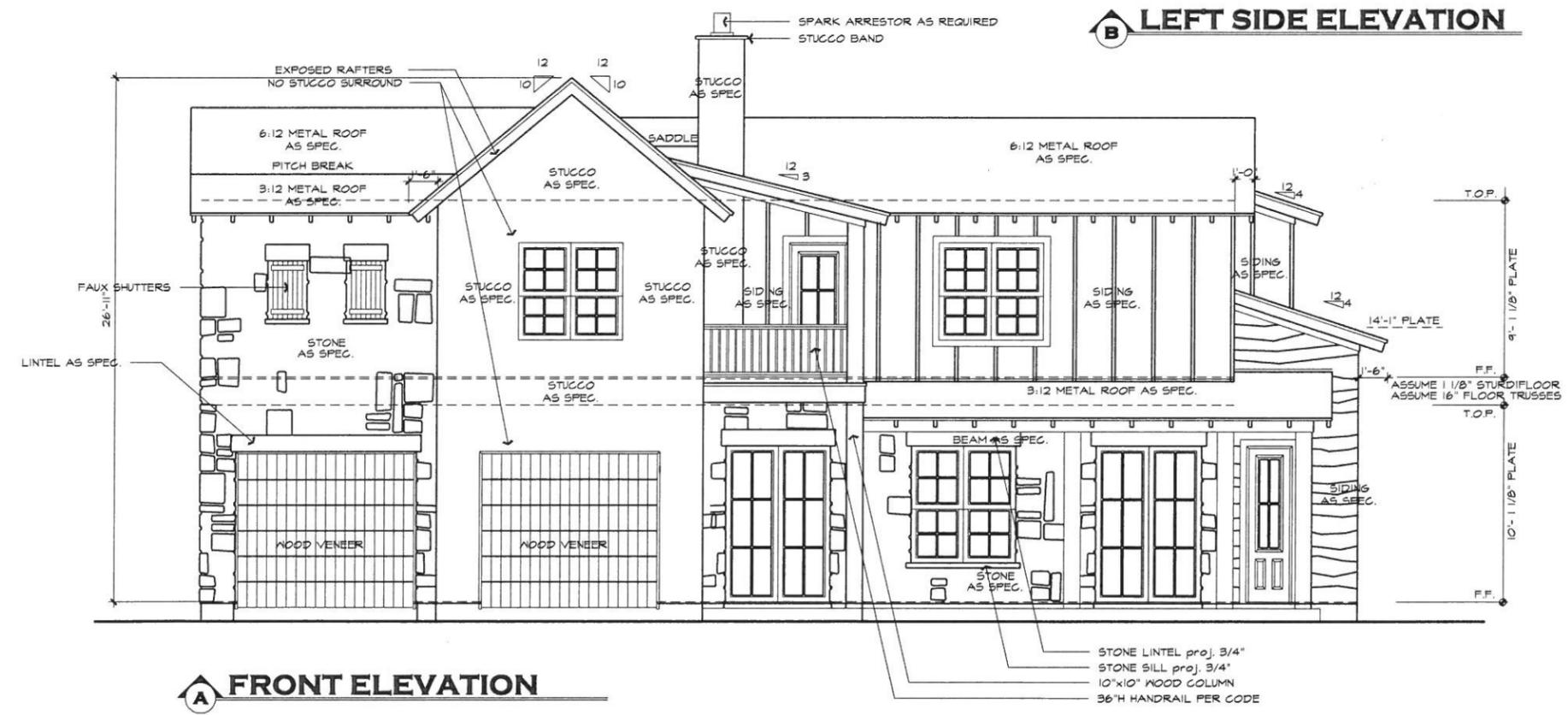
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**A-2.2**



**B LEFT SIDE ELEVATION**



**A FRONT ELEVATION**

**ELEVATIONS**  
 SCALE: 1/8" = 1'-0"  
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**NOTES:**  
 : MASONRY DROPPED PER DEED RESTRICTIONS.  
 : ACTUAL ELEVATIONS TO VARY PER GRADE OF LOT.  
 : WINDOW DIVIDED LIGHT PATTERN IS REPRESENTATIONAL, VERIFY WITH OWNER.  
 : ANY PROJECTION THAT EXTENDS TO LESS THAN FIVE (5) FT FROM A PROPERTY LINE IS REQUIRED TO HAVE A ONE (1) HOUR FIRE-RATING, THIS INCLUDES SOFFITS AND PROJECTIONS. (IRC R302.1)  
 : ROOF DRIP EDGE REQUIRED ON ASPHALT ROOF (IRC R405.2.B.5)

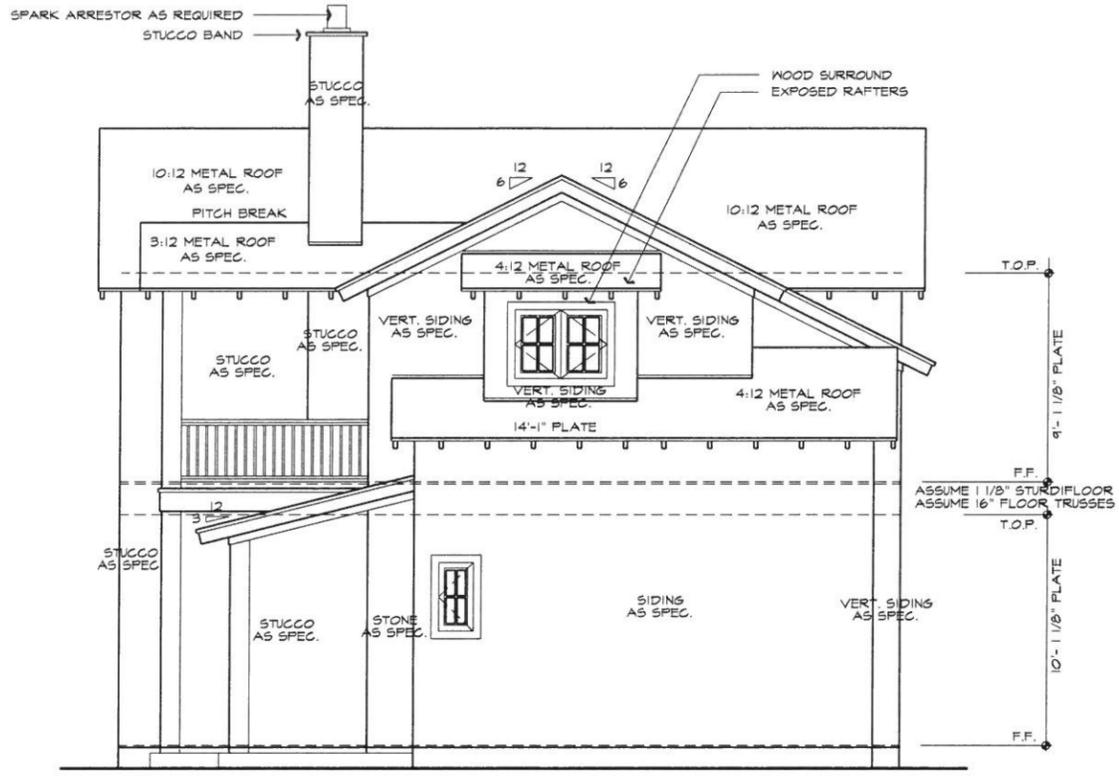
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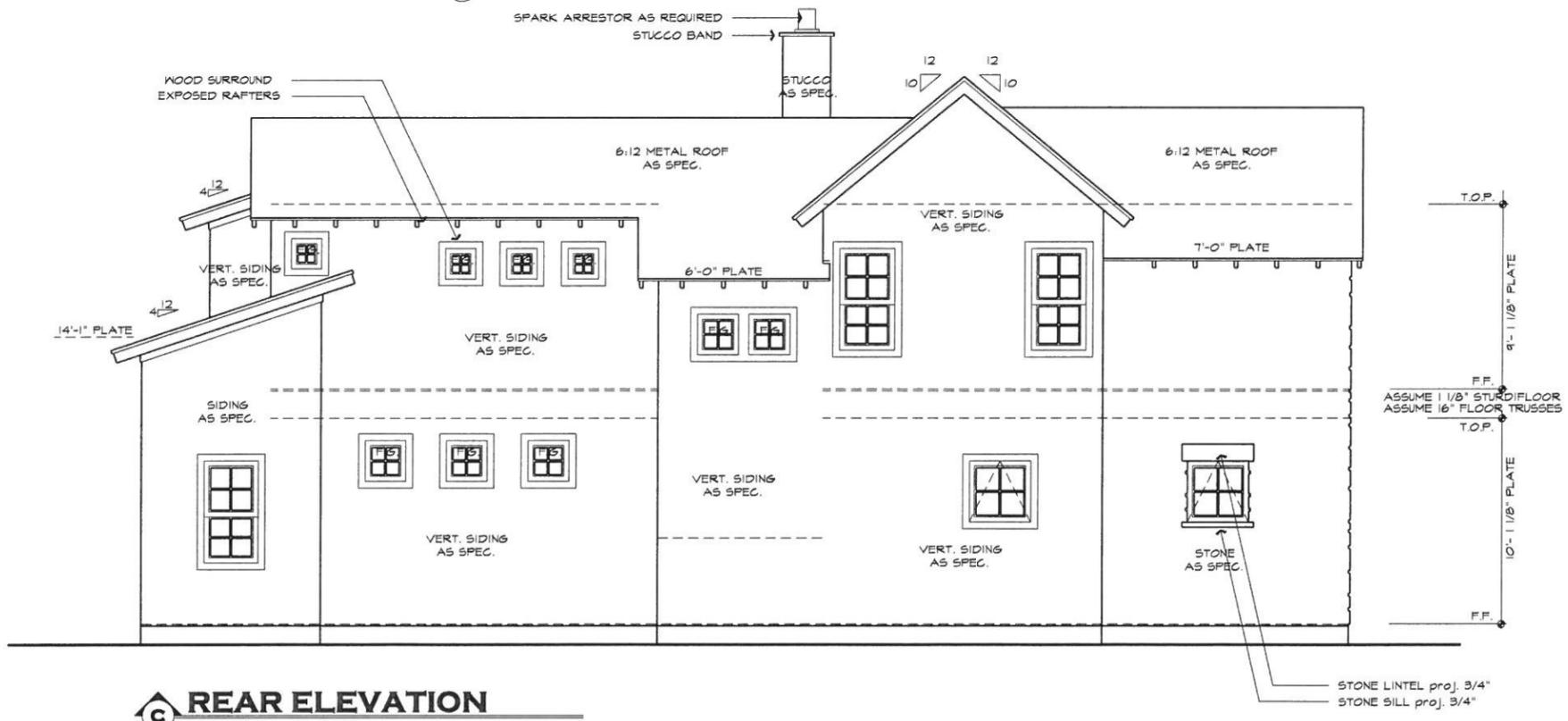
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**D RIGHT SIDE ELEVATION**



**C REAR ELEVATION**

**ELEVATIONS**

SCALE: 1/8" = 1'-0"  
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**NOTES:**

- MASONRY DROPPED PER DEED RESTRICTIONS.
- ACTUAL ELEVATIONS TO VARY PER GRADE OF LOT.
- WINDOW DIVIDED LIGHT PATTERN IS REPRESENTATIONAL, VERIFY WITH OWNER.
- ANY PROJECTION THAT EXTENDS TO LESS THAN FIVE (5) FT FROM A PROPERTY LINE IS REQUIRED TO HAVE A ONE (1) HOUR FIRE-RATING, THIS INCLUDES SOFFITS AND PROJECTIONS. (IRC R302.1)
- ROOF DRIP EDGE REQUIRED ON ASPHALT ROOF (IRC R905.2.8.5)

18

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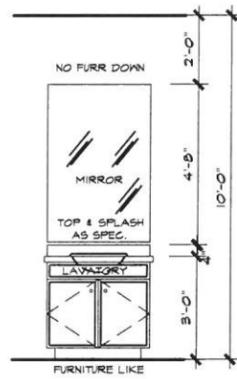
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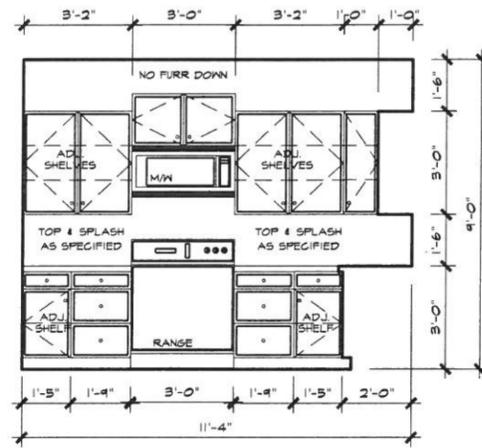
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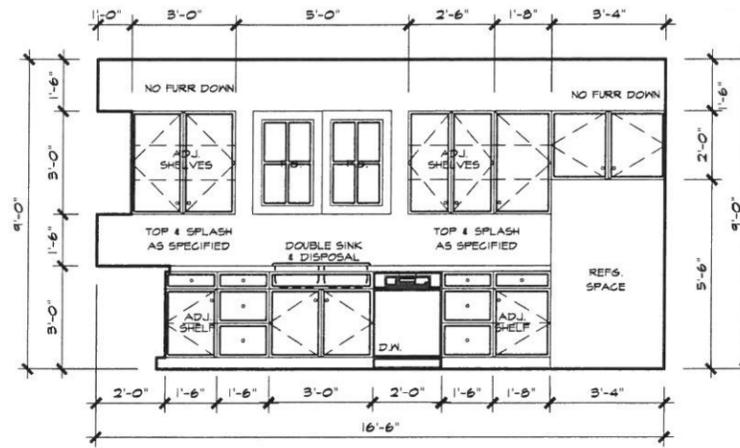
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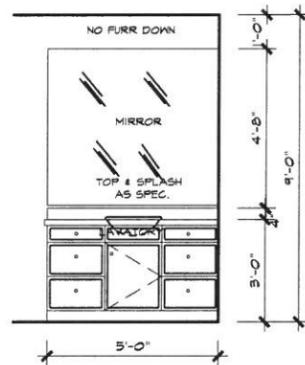
A BATH



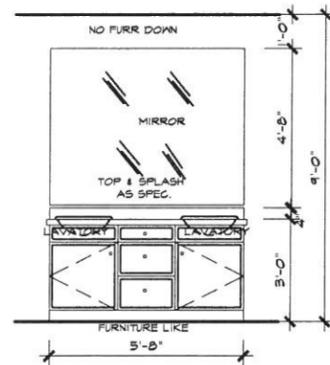
B KITCHEN



C



D BATH 2



E BATH 3

**INTERIOR ELEVATIONS**

SCALE: 3/16" = 1'-0"

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**NOTES:**

- INTERIOR ELEVATIONS ARE REPRESENTATIONAL, FIELD VERIFY ALL DIMENSIONS
- VERIFY WITH OWNER STYLES AND LOCATIONS OF DOORS AND DRAWERS.
- ALL CABINETS TO HAVE ADJUSTABLE SHELVES UNLESS NOTED OTHERWISE.
- VERIFY APPLIANCES DIMENSIONS WITH MANUFACTURER.

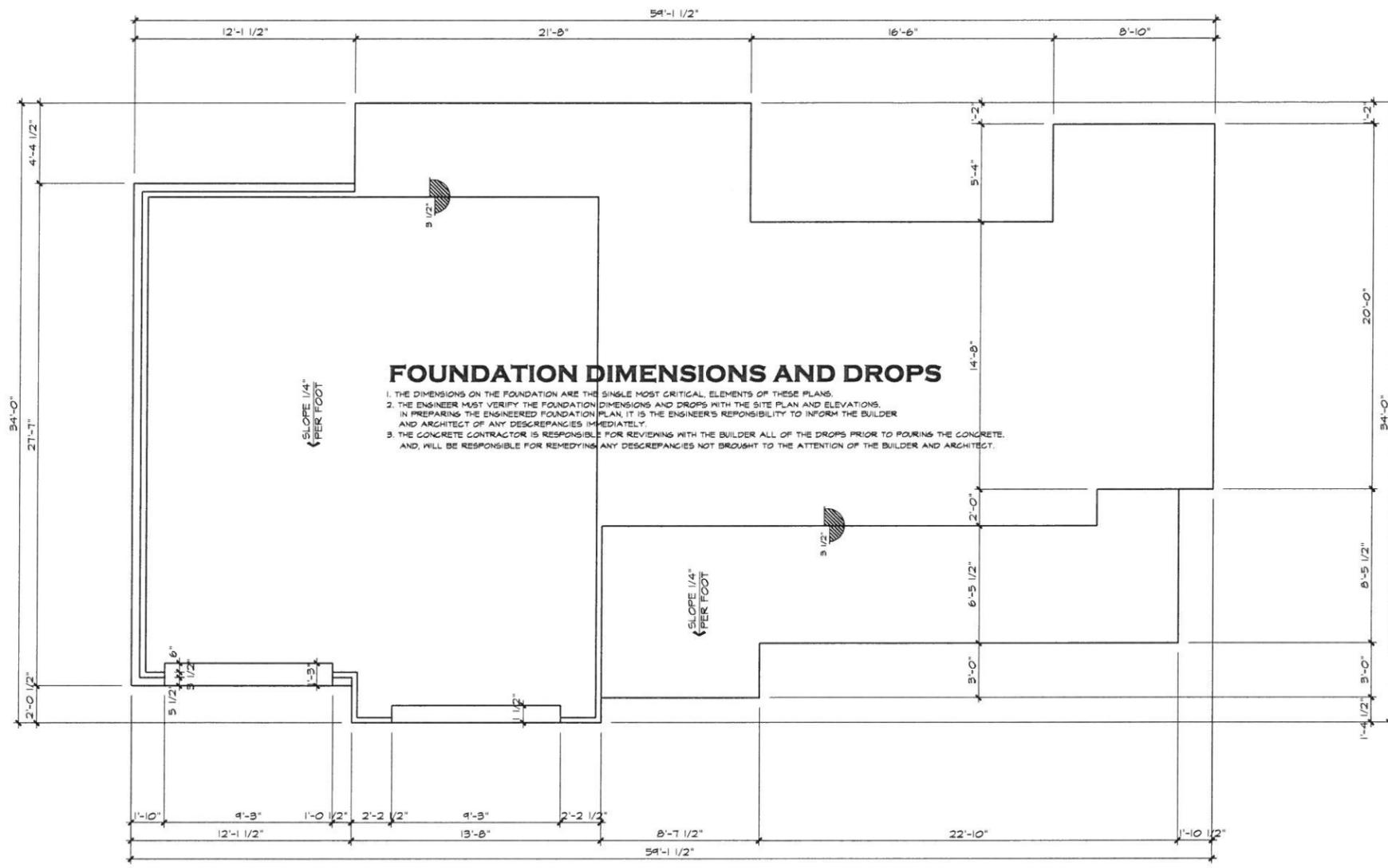
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### FOUNDATION DIMENSIONS AND DROPS

1. THE DIMENSIONS ON THE FOUNDATION ARE THE SINGLE MOST CRITICAL ELEMENTS OF THESE PLANS.
2. THE ENGINEER MUST VERIFY THE FOUNDATION DIMENSIONS AND DROPS WITH THE SITE PLAN AND ELEVATIONS. IN PREPARING THE ENGINEERED FOUNDATION PLAN, IT IS THE ENGINEER'S RESPONSIBILITY TO INFORM THE BUILDER AND ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
3. THE CONCRETE CONTRACTOR IS RESPONSIBLE FOR REVIEWING WITH THE BUILDER ALL OF THE DROPS PRIOR TO POURING THE CONCRETE, AND WILL BE RESPONSIBLE FOR REMEDYING ANY DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE BUILDER AND ARCHITECT.

**SCHEMATIC FOUNDATION PLAN**  
 SCALE: 1/8" = 1'-0"  
 ALL DIMENSIONS ARE THE SOLE RESPONSIBILITY OF THE DESIGNER. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS PRIOR TO THE START OF CONSTRUCTION, AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES.  
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**NOTES:**  
 - RECESS FLOOR FOR TILE OR WOOD FLOOR AS REQUIRED BY BUILDER.  
 - BUILDER IS RESPONSIBLE FOR FINISH FLOOR ELEVATIONS AND RECESS.

20

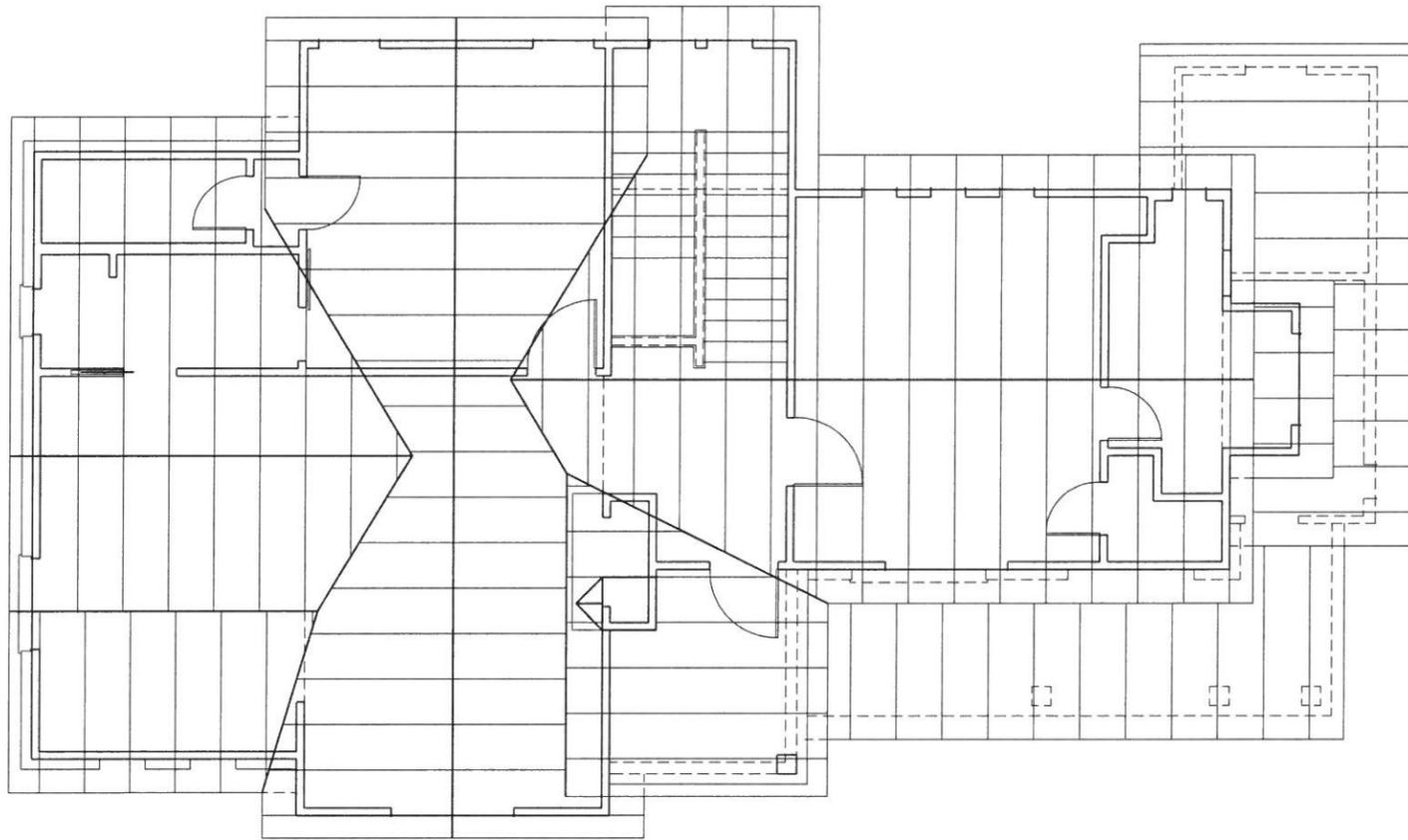
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**SCHEMATIC ROOF FRAMING PLAN**

SCALE: 1/8" = 1'-0"

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**A-6.2**



# Inventory of Properties

507 W. San Antonio



Site ID No. 192  
 Address 507 W. San Antonio  
 Date 1930  
 Stylistic Influence \_\_\_\_\_  
 GCAD Hyperlink [R20149](#)  
 Owner METZGER, DIANE  
 Historic District Yes Historic District  
 Assessment Example of a distinctive building plan that has undergone alterations or deterioration.

1983 Historic Resources Survey	
Previous Site No.	_____
Previous Ranking	_____
Previous Photo References	
Roll	_____
Frame	_____

2002-05 Re-evaluation

High  Medium  Low

Notes Rear addition and carport added along east façade. Exterior materials has been altered to synthetic siding

508 W. San Antonio



Site ID No. 310  
 Address 508 W. San Antonio  
 Date 2002  
 Stylistic Influence vernacular  
 GCAD Hyperlink [R69316](#)  
 Owner PARKHURST, FREDERICK & NANCY  
 Historic District Yes Historic District  
 Assessment The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority.

1983 Historic Resources Survey	
Previous Site No.	_____
Previous Ranking	_____
Previous Photo References	
Roll	_____
Frame	_____

2002-05 Re-evaluation

High  Medium  Low

Notes

509 W. San Antonio



Site ID No. 191  
 Address 509 W. San Antonio  
 Date 1950  
 Stylistic Influence \_\_\_\_\_  
 GCAD Hyperlink [R17229](#)  
 Owner JRS LAWN SERVICES INC  
 Historic District Yes Historic District  
 Assessment Example of a distinctive building plan that has undergone alterations or deterioration.

1983 Historic Resources Survey	
Previous Site No.	_____
Previous Ranking	_____
Previous Photo References	
Roll	_____
Frame	_____

2002-05 Re-evaluation

High  Medium  Low

Notes

511 W. San Antonio



Site ID No. 190  
 Address 511 W. San Antonio  
 Date 1870  
 Stylistic Influence vernacular  
 GCAD Hyperlink [R24524](#)  
 Owner HENKE, CAROLYN  
 Historic District Yes Historic District  
 Assessment Example of a distinctive building type or architectural style that has undergone alterations or deterioration. Despite alterations or deterioration, resource retains much of its original form and character.

1983 Historic Resources Survey	
Previous Site No.	704
Previous Ranking	1
Previous Photo References	
Roll	20 20
Frame	12 13

2002-05 Re-evaluation

High  Medium  Low

Notes Addition along west side. Resource also has a rear wood-frame addition.

512 W. San Antonio



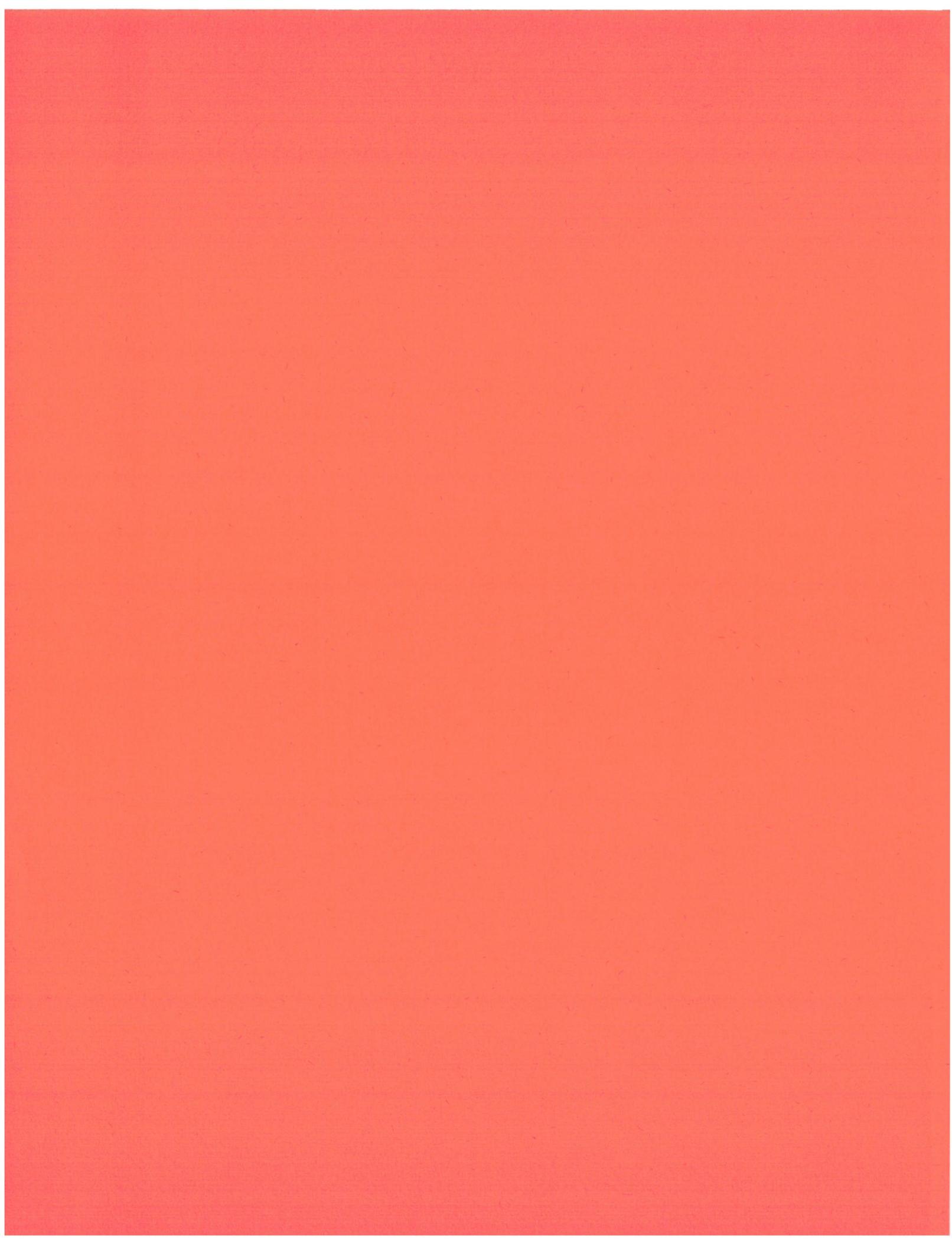
Site ID No. 309  
 Address 512 W. San Antonio  
 Date 1975  
 Stylistic Influence \_\_\_\_\_  
 GCAD Hyperlink [R18068](#)  
 Owner BURNETT, MARTHA R & GUY BURNETT JR ETAL  
 Historic District Yes Historic District  
 Assessment The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority.

1983 Historic Resources Survey	
Previous Site No.	_____
Previous Ranking	_____
Previous Photo References	
Roll	_____
Frame	_____

2002-05 Re-evaluation

High  Medium  Low

Notes



**Historic Review Board  
Application Information**

**Application Number:** 15-99  
**Date:** January 7, 2016  
**Address:** 404 N. Milam  
**Owner:** Josh & Christy Phillips  
**Applicant:** Jerald & Diana Phillips  
**Rating:** High  
**Proposed Modifications:** See attached  
**Neighborhood Characteristics:** The subject property is a Historic Landmark.  
**Staff Comments:** The scope of the project justifies Board review.

**General Notes:**

**The mandatory functions of the Board include the following:**

**(1) Removal, addition or modification of architectural detail.** The distinguishing historic qualities or character of a building, structure, or site and its environment shall not be destroyed. Removal or modification of any historic material or distinctive architectural features may be accomplished upon issue of certificate of appropriateness; however, this should be avoided when possible. Architectural features include but are not limited to exterior wall materials, windows, railings, decorative woodwork, masonry, or stone elements.

**(2) Paint color and application.** Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.

**(3) New construction in historic districts.** The board will review all new construction plans within Historic Districts in order to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion, design harmony and setback.

**The advisory functions of the Board include the following:**

- (1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
- (2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
- (3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
- (4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
- (5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
- (6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
- (7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

Preservation Priority Rating. Three-tier rating system used in the 2002 *Fredericksburg Historic Resource Survey* to evaluate all properties within, and adjoining to, the City's Historic District. Ratings are based upon current determinations of architectural value and integrity and, if known, historical and cultural value, and may be altered from time to time as additional information is discovered or circumstances change.

HIGH rating. The most significant properties identified in the 2002 *Fredericksburg Historic Resource Survey*. These properties are considered to be outstanding, unique, or good examples of architecture, engineering, or design. Some are unique to the Fredericksburg area and are indicative of German-Texan vernacular forms and/or building techniques. Others are noteworthy examples of 19th and early 20th century architectural types, styles, and forms, erected using local building materials and construction technologies. Properties designated with a high rating are to be the most protected from alteration and demolition.

MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

LOW rating. Properties that minimally enhance the district's ability to convey a sense of time and place. These properties may be typical examples of more recent, common local building forms, architectural styles, or plan types; be examples of distinctive building forms, architectural styles, or plan types that have been significantly altered; lack the necessary age to meet the usual fifty (50) year threshold for possible National Register of Historic Places listing and do not appear to meet the National Register of Historic Places standard for exceptional significance for properties less than fifty (50) years of age, but which nevertheless may have relative value within the Historic District, meriting preservation. Properties or improvements with a low rating may be considered for relocation or demolition upon a determination by the Historic Review Board that the same can be accomplished with little or no consequence to the historical, cultural, architectural, or archeological character of the district or property.

15-99

# Application for Certificate of Appropriateness

Revision - 12-30-2015

Application Date: 11-30-2015

Application Complete: \_\_\_\_\_

Property Address: 404 N. Milam Street

Owner: Josh & Christy Phillips Phone No. 972-571-7120

Address: 4165 Old Dowlen Rd. #27, Beaumont, TX 77706

Applicant: Jerald & Diana Phillips Phone No. 830-307-9077

Address: 213 W. Peach St., F'lg, TX 78624 Fax No. N/A

Description of External Alteration/Repair or Demolition: Addition to back of existing house - requiring demo of 4' bathroom added previously. Create driveway, patio areas and walkways of crushed granite; move stairway to outside, south side of existing house; wood fence around perimeter of property - South, west & north sides

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site: Maintain color scheme of existing house and

continue accents on addition to match existing accents in front porch area (see photos previously submitted). Add shutters to new windows to match existing windows.

Any circumstances or conditions concerning the property which may affect compliance with the ordinance: \_\_\_\_\_

Not to our knowledge

Drawing  Sketch Date Submitted: Original - 11/30/2015  Historic Photograph  
12/30/2015 for revision

Desired Starting Date: 1-15-2016 Desired Completion Date: 6-30-2016  
SURVEY RATING:  High  Medium  Low  None

APPLICANT SIGNATURE: Jerald Phillips  RTHL: Estimated Date of Construction \_\_\_\_\_

The Applicant certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property

Building Official's Determination Date \_\_\_\_\_  Insignificant  Significant (Max 7 days)

[Signature] Date 1/5/16  Insignificant  Significant (Max 7 days)  
Chairman's Determination

Meeting Date (40 days max. after complete application) \_\_\_\_\_ Notice to Applicant: \_\_\_\_\_

APPLICATION FEE: -\$10.00 plus  Board Review; CERTIFICATE OF APPROPRIATENESS-\$40.00

Metal roof - color to match original

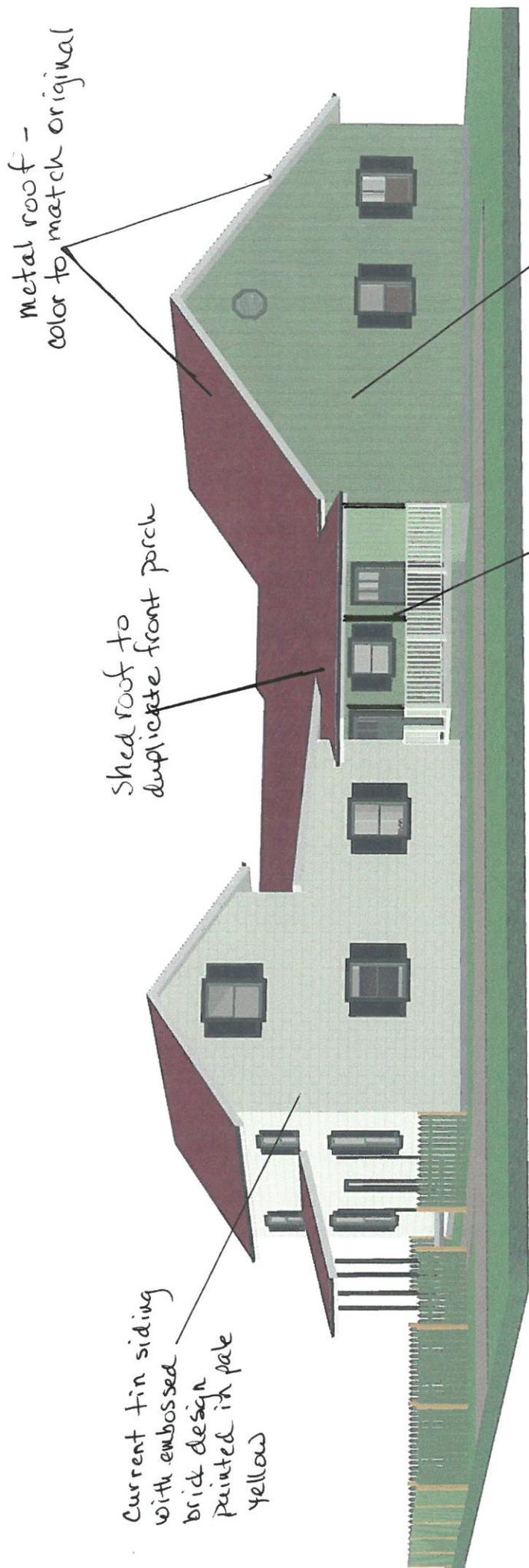
Shed roof to duplicate front porch

Current tin siding with embossed brick design painted in pale yellow

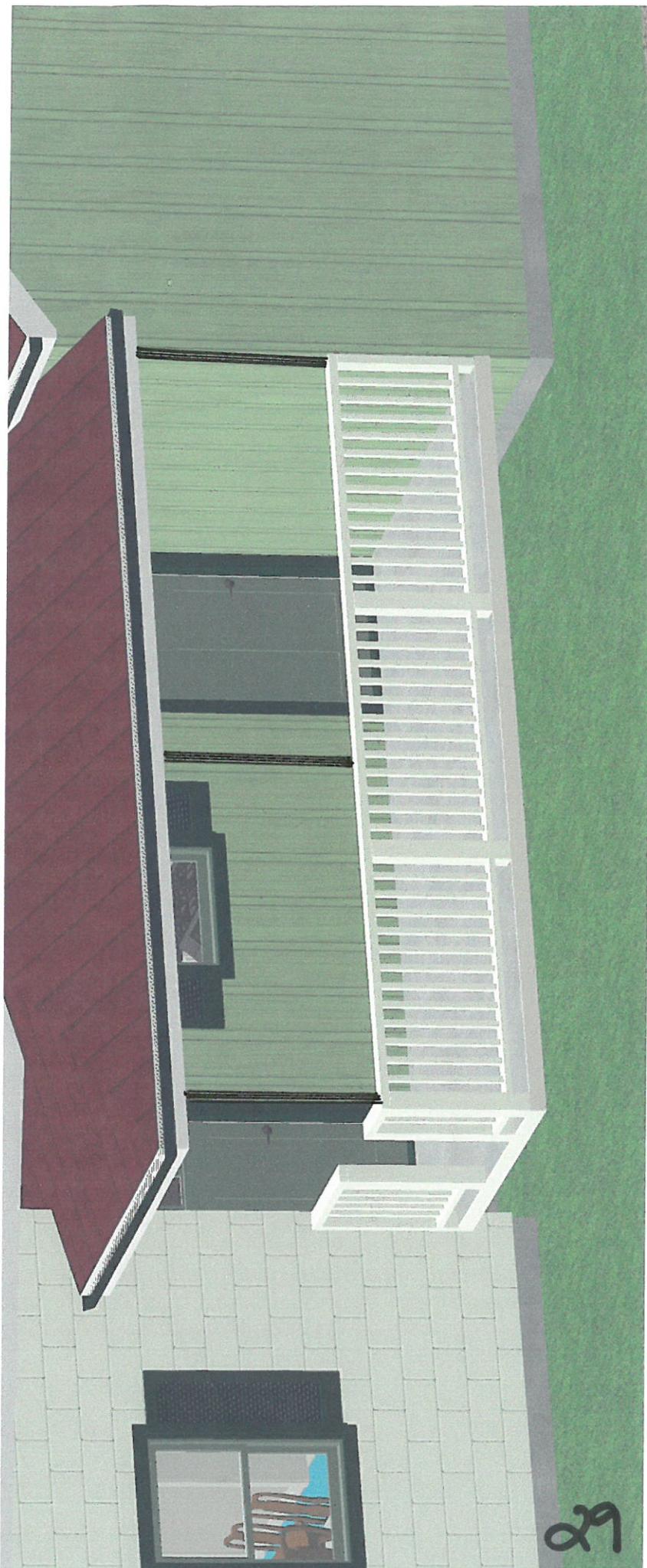
Board & batten siding for new addition painted in pale green. Shutters & accents painted in darker green

trimwork to match front porch

North elevation







Enlarged detail of north side addition:

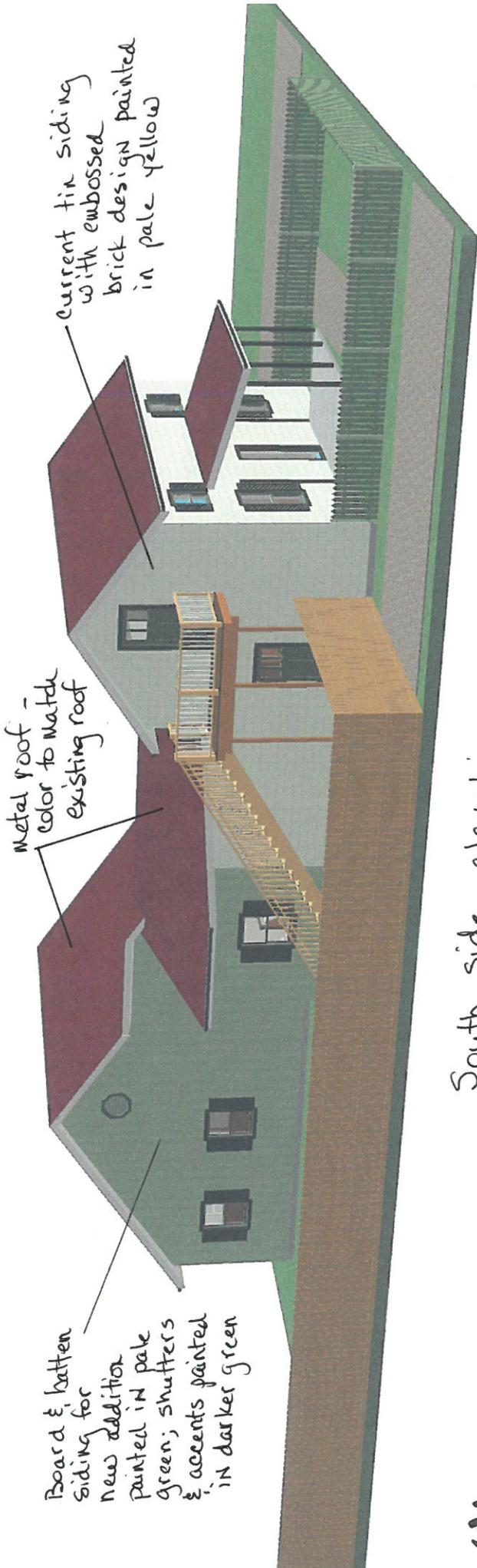
Shed roof overhang to match front porch (not hip roof as shown)

Board & batten siding

Trim work on shed roof overhang & railing will

match current accents in front porch area

(see photo of existing house)



South side elevation

Metal roof - color to match existing

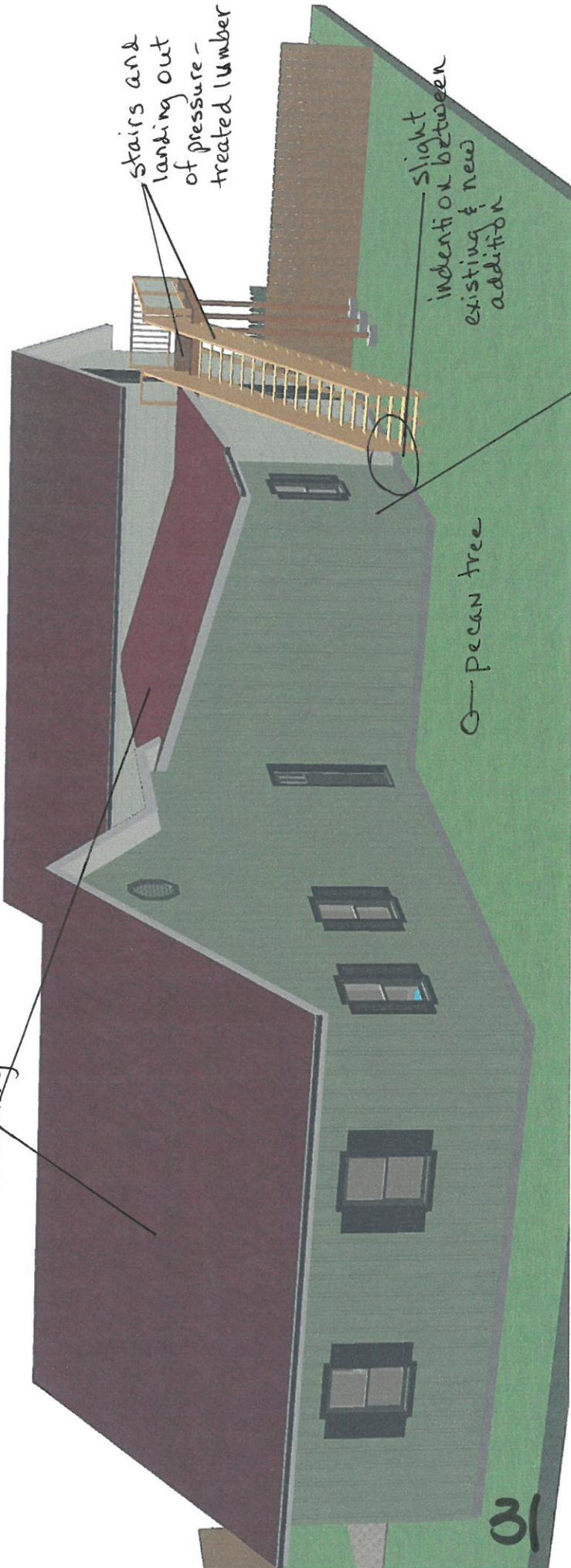
stairs and landing out of pressure-treated lumber

slight indentation between existing & new addition

board & batten on new addition painted in pale green

pecan tree

Back West Elevation with side & back fence removed for viewing.



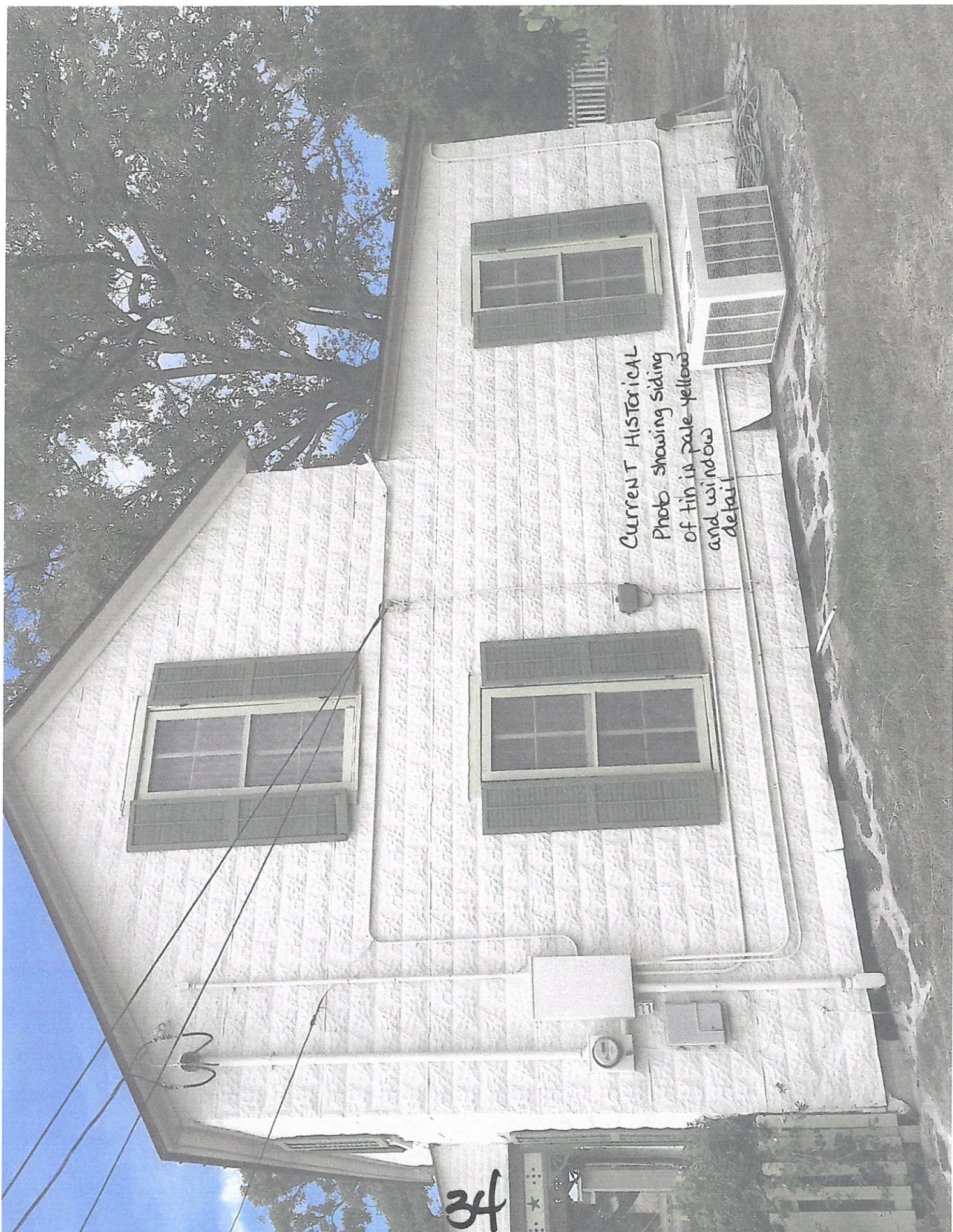
31



Northwest view showing fence, drive, etc.

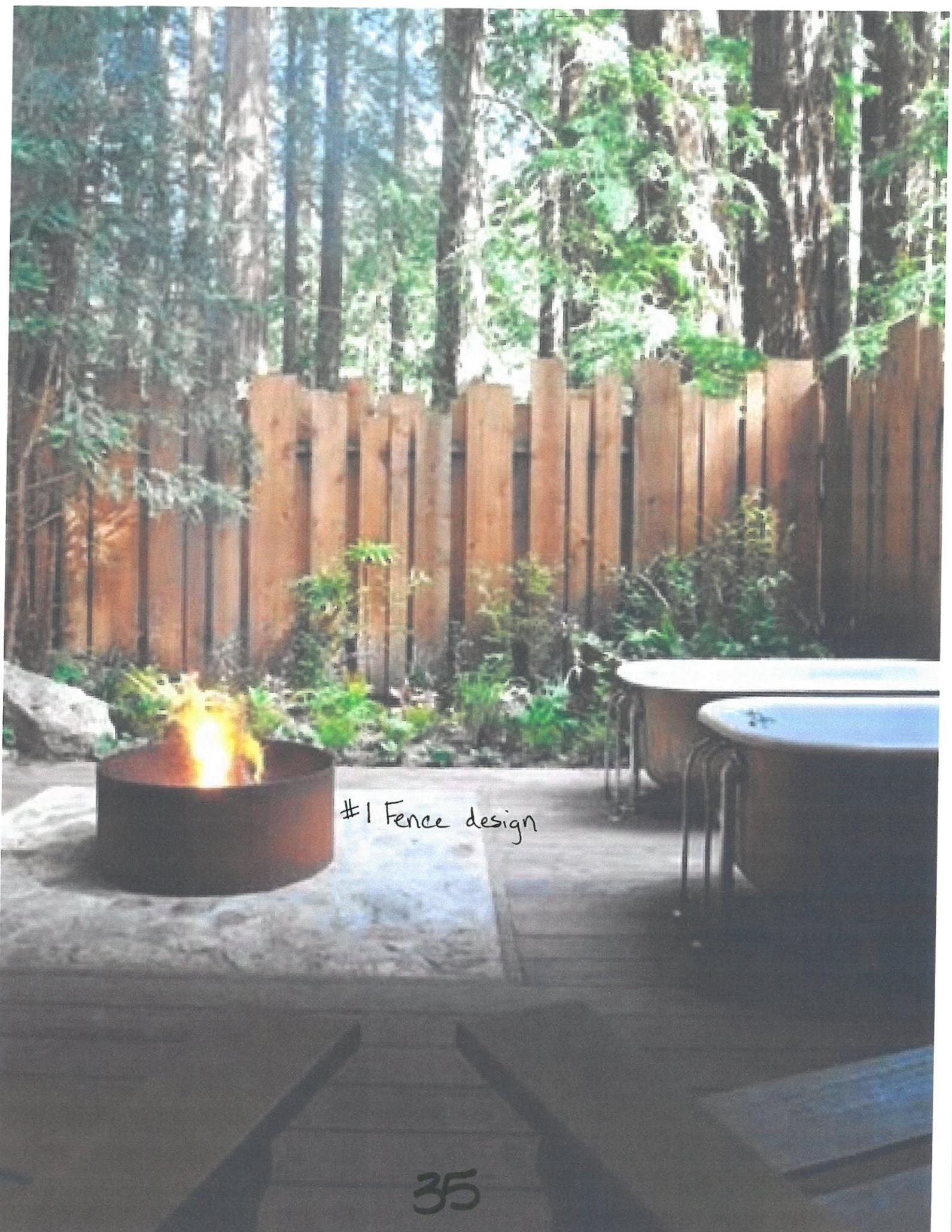


Current historical photo



Current Historical  
Photo showing siding  
of tin in pale yellow  
and window  
detail

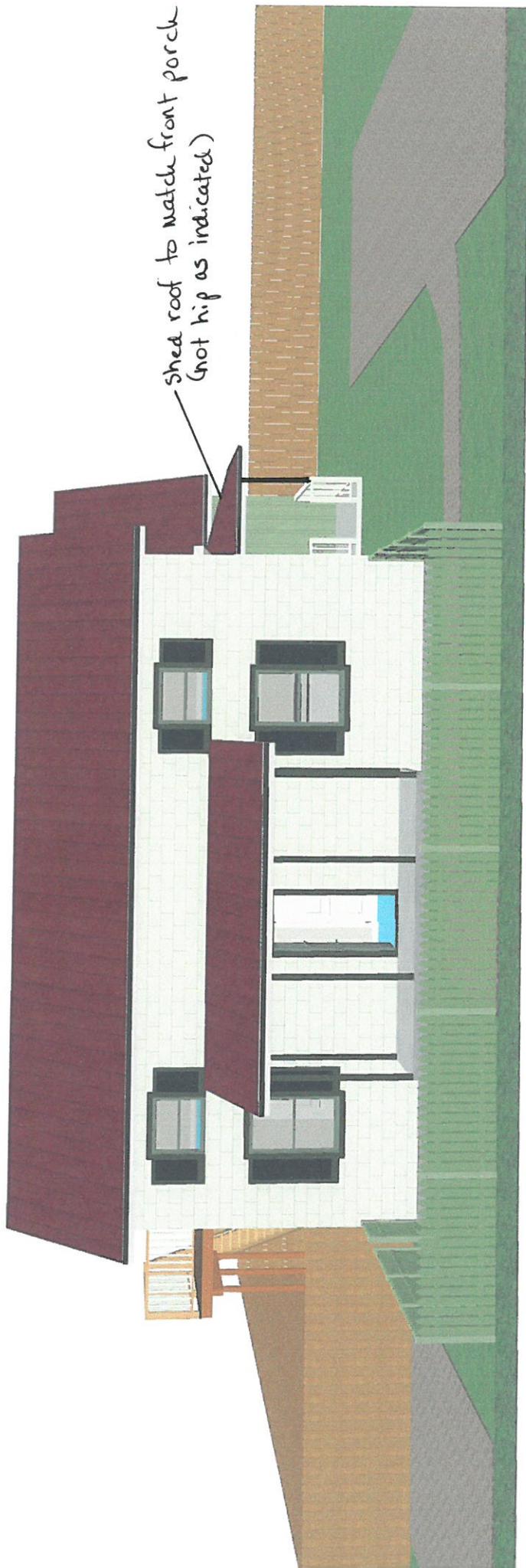
34



#1 Fence design



#2 Fence design



Front East Elevation

# Inventory of Properties

206 N. Milam



2002-05 Re-evaluation

High  Medium  Low

Site ID No. 792  
 Address 206 N. Milam  
 Date 1980  
 Stylistic Influence \_\_\_\_\_  
 GCAD Hyperlink [R19277](#)  
 Owner 307 FREDERICKSBURG LTD  
 Historic District Yes Historic District  
 Assessment The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority.

Notes

1983 Historic Resources Survey

Previous Site No. \_\_\_\_\_  
 Previous Ranking \_\_\_\_\_  
 Previous Photo References \_\_\_\_\_  
 Roll \_\_\_\_\_  
 Frame \_\_\_\_\_

207 N. Milam



2002-05 Re-evaluation

High  Medium  Low

Site ID No. 545  
 Address 207 N. Milam  
 Date 1965  
 Stylistic Influence \_\_\_\_\_  
 GCAD Hyperlink [R24615](#)  
 Owner MADLYNS INC  
 Historic District Yes Historic District  
 Assessment The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority.

Notes

1983 Historic Resources Survey

Previous Site No. \_\_\_\_\_  
 Previous Ranking \_\_\_\_\_  
 Previous Photo References \_\_\_\_\_  
 Roll \_\_\_\_\_  
 Frame \_\_\_\_\_

209 N. Milam



2002-05 Re-evaluation

High  Medium  Low

Site ID No. 544  
 Address 209 N. Milam  
 Date 1970  
 Stylistic Influence \_\_\_\_\_  
 GCAD Hyperlink [R18543](#)  
 Owner DURST, BRENDA G 188 COUNTRY  
 Historic District Yes Historic District  
 Assessment The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority.

Notes

1983 Historic Resources Survey

Previous Site No. \_\_\_\_\_  
 Previous Ranking \_\_\_\_\_  
 Previous Photo References \_\_\_\_\_  
 Roll \_\_\_\_\_  
 Frame \_\_\_\_\_

404 N. Milam



2002-05 Re-evaluation

High  Medium  Low

Site ID No. 940  
 Address 404 N. Milam  
 Date 1890  
 Stylistic Influence vernacular  
 GCAD Hyperlink [R26385](#)  
 Owner LANE, ROY H JR & CONNIE  
 Historic District No Local Landmark  
 Assessment An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations.

Notes

1983 Historic Resources Survey

Previous Site No. 539  
 Previous Ranking 2  
 Previous Photo References \_\_\_\_\_  
 Roll 14  
 Frame 31

408 N. Milam



2002-05 Re-evaluation

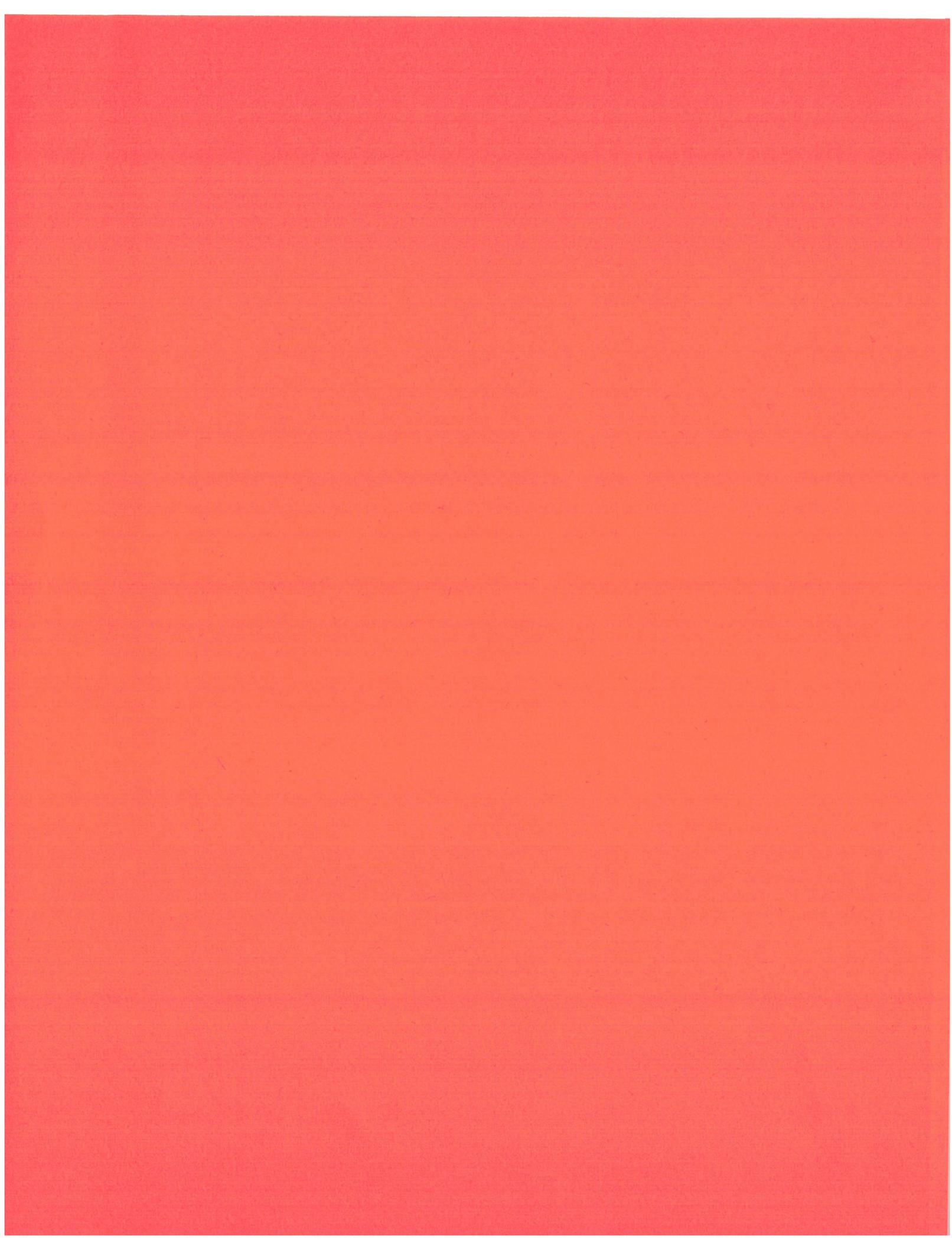
High  Medium  Low

Site ID No. 1243  
 Address 408 N. Milam  
 Date 1900  
 Stylistic Influence Folk Victorian  
 GCAD Hyperlink [R21616](#)  
 Owner BOHNERT, REUBEN E ETUX  
 Historic District No Outside Historic District  
 Assessment Example of a distinctive building plan or type that has undergone alterations or deterioration. Despite alterations or deterioration, resource retains much of its original form and character.

Notes exterior siding partially replaced w/asbestos shingles; addition at rear; shed; windmill

1983 Historic Resources Survey

Previous Site No. 540  
 Previous Ranking 2  
 Previous Photo References \_\_\_\_\_  
 Roll 14  
 Frame 32





Date: January 4, 2016

To: Mayor and City Council, Historic Review Board

From: Brian Jordan, AICP, Director of Development Services

Subject: Large or Oversized homes in Residential Neighborhoods.

There has been much discussion about the need to consider limiting the size of homes in our residential neighborhoods. At the City Council retreat held on October 22, 2015, staff presented photographs of homes around town, some of which are relatively recent construction and others that were built years ago. In addition, staff presented photographs of homes within the Historic District and homes outside the Historic District that we have received the most comments on and represent what some individuals consider to be too large for the neighborhood they are located in.

Most of our residential neighborhoods are zoned either R-1 or R-2. As such, there are existing zoning guidelines that regulate minimum lot size and the maximum area of the lot that can be built upon. These guidelines include minimum front, side and rear building setbacks, maximum impervious coverage, maximum building coverage, and maximum building height. The attached Exhibit A outlines these regulations. In addition to these regulations, properties within the Historic District and Historic Landmark designated properties are covered by the Historic Preservation Ordinance. In determining an action on an application on these properties, the Historic Review Board shall review and decide the appropriateness of the proposed alterations with regard to 1) removal, addition or modification of architectural detail, 2) paint color and application, and 3) scale of new construction. With regard to scale of new construction, the ordinance states that the board shall review all new construction plans to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion and setback. So, all properties within the historic district or landmark properties built since 2003 have been approved under these guidelines.

There are a number of items that could be considered to restrict or limit the size of homes. Building setbacks could be increased, height limitations could be reduced, impervious and building coverages could be reduced, combining of lots could be prohibited, landscaping or tree preservation standards could be applied, or a maximum floor to area ratio could be established.

**The City of Fredericksburg**

126 W. Main St. • Fredericksburg, Texas 78624-3708 • (830) 997-7521 • Fax (830) 997-1861

If the Council is inclined to establish new guidelines for the size of homes, we would suggest that the Council consider whether these guidelines should apply to all neighborhoods or just specific neighborhoods. Most relatively new neighborhoods like Stone Ridge, The Preserve, Cross Mountain, Crabapple Grove, Oaks of Windcrest and Cherry Blossom generally have deed restrictions that limit the minimum and maximum home sizes. We would anticipate that the Council may want to consider these criteria for older established neighborhoods outside the historic district, rather than the newer neighborhoods.

Staff has researched a few larger cities (Austin, Studio City and Beverly Grove, Los Angeles) that have ordinances pertaining to large homes. Without going into a significant amount of detail, the three cities we found with ordinances had a maximum floor to area ratio of between 0.40 and 0.42. This would mean that if you have a 10,000 square foot lot, you would be allowed to build a 4,000 to 4,200 square foot home. It would not matter if your structure has one or multiple stories. In each of these cities, there were ways to increase the floor area ratio if certain elements were achieved or provided on site.

Following the discussion at the retreat, the City Council decided they wanted to have a joint meeting with the Historic Review Board to discuss their role in considering new and remodel construction within the Historic District and for Historic Landmarks. In addition, the City Council was interested in finding out whether the Historic Review Board felt the Historic District should be enlarged or additional properties be added as Landmarks.