

**AGENDA
CITY OF FREDERICKSBURG
PLANNING & ZONING COMMISSION**

Wednesday, August 5, 2015

5:30 P.M.

LAW ENFORCEMENT CENTER, 1601 E. MAIN ST.

PAGE REF.

1. Call to Order
2. Approve minutes from the July 2015 Regular Meeting *Pp 1 - 5*

PUBLIC HEARINGS

3. Public Hearing (Z-1512) by Karl Ranslaben for a change in zoning from R-5, Patio Home Residential to R-1A, Single Family Residential - Small Lot on approximately 19.523 acres known as Crabapple Grove, Unit 2 located on Lower Crabapple Rd *Pp 6 - 17*
4. Consider making a recommendation on Z-1512
5. Public Hearing (Z-1515) by the City of Fredericksburg to consider an ordinance adopting Design Guidelines and Standards for all new development and redevelopment in the entry corridors of the City of Fredericksburg as Chapter 5 Article XIV of the Code of Ordinances of the City of Fredericksburg setting forth the guidelines, exceptions to applicability, effective date, etc. *Pp 18 - 26*
6. Consider making a recommendation on Z-1515

DISCUSSIONS

7. Expansion of Section 7.825 of the Zoning Ordinance - Special Parking Provisions Applicable to Central Fredericksburg

ADJOURN

STATE OF TEXAS
COUNTY OF GILLESPIE
CITY OF FREDERICKSBURG

PLANNING & ZONING COMMISSION
July 8, 2015
5:30 P.M.

On this the 8th day of July, 2015 the PLANNING AND ZONING COMMISSION convened in regular session at the Law Enforcement Center with the following members present to constitute a quorum:

BRENDA SEGNER
BILL PIPKIN
CHARLIE KIEHNE
TODD WILLINGHAM
STEVE THOMAS
DARYL WHITWORTH
CHRIS KAISER

ABSENT: JANICE MENKING
JOE CLOUD

ALSO PRESENT: BRIAN JORDAN - Director of Development Services
PAT MCGOWAN - City Attorney
CLINTON BAILEY - Director of Public Works & Utilities
KRIS KNEESE - Assistant City Engineer
TAMMIE LOTH - Development Coordinator

Brenda Segner called the meeting to order at 5:30 P.M.

PUBLIC HEARINGS

PUBLIC HEARING (Z-1511) BY THE CITY OF FREDERICKSBURG FOR A) A CHANGE IN THE LAND USE PLAN FROM HIGH DENSITY RESIDENTIAL TO PUBLIC /SEMI PUBLIC FACILITIES ON A 2.08 ACRE TRACT OF LAND LOCATED AT 295 FRIENDSHIP B) A CHANGE IN ZONING FROM R-3, MULTI-FAMILY RESIDENTIAL TO PF, PUBLIC FACILITIES ON SAID PROPERTY - It was moved by Charlie Kiehne and seconded by Daryl Whitworth to open public hearing Z-1511 by The City of Fredericksburg for A) A change in the land use plan from High Density Residential to Public / Semi Public Facilities on a 2.08 acre tract of land located at 295 Friendship B) A change in zoning from R-3, Multi-Family Residential to PF, Public Facilities on said property. Brian Jordan, Director of Development Services presented the application and noted the property is located on Friendship Lane and S. Adams and is approximately two acres in size. Mr. Jordan explained the long term intended use of the property is for the expansion of the consolidated warehouse and the short term intended use is for the Appraisal District. Mr. Jordan noted the request is to change the land use plan and the zoning to match the property where the consolidated warehouse is currently located. Mr. Jordan added City Staff sees this vacant property as a natural extension of the established

zoning. Mr. Jordan commented utilities are available to serve the property and access will be off Friendship Lane. Mr. Jordan noted there were no letters received in support or opposition of the request. Mr. Jordan also noted a recommendation would not be made and the Commission needs to determine the appropriate action.

There was no public comment.

Charlie Kiehne moved to close Public Hearing Z-1511 and Daryl Whitworth seconded the motion. All voted in favor and the motion carried.

Todd Willingham made a motion to approve Application Z-1511 as presented and Charlie Kiehne seconded the motion. All voted in favor and the motion carried.

PUBLIC HEARING (P-1509) FOR A REPLAT OF LOT 1, ALTON IMMEL SUBDIVISION AND A 5.0 ACRE TRACT OF LAND LYING SOUTH OF THE ALTON IMMEL SUBDIVISION INTO LOT 1 AR AND LOT 1 BR, ALTON IMMEL SUBDIVISION (LOCATED AT THE INTERSECTION OF FRIENDSHIP LANE AND HIGHWAY 87 SOUTH)

- It was moved by Charlie Kiehne and seconded by Chris Kaiser to open Public Hearing P-1509 for a replat of Lot 1, Alton Immel Subdivision and a 5.0 acre tract of land lying south of the Alton Immel Subdivision into Lot 1 AR and Lot 1BR, Alton Immel Subdivision (located at the intersection of Friendship Lane and Highway 87 South). Alton Immel presented the application and noted he is selling the car dealership located on a portion of this property and would like to subdivide the property to join the one acre used car lot with the five acre tract where the dealership is located. Mr. Immel noted he will keep the remaining property for his personal use.

There was no public comment.

Charlie Kiehne moved to close public hearing P-1509 and Todd Willingham seconded. All voted in favor and the motion carried.

STAFF COMMENTS

Brian Jordan, Director of Development Services noted in order to facilitate the sale of the dealership, the one acre tract and the five acre tract will be combined and the plat will create two tracts, both approximately six acres in size. Mr. Jordan added a utility easement has been added on the far east side of the property at the city's request and is shown on the plat.

Mr. Jordan stated there were no comments received in support or opposition. Mr. Jordan noted Staff recommendation of approval.

Charlie Kiehne moved to approve Application #P-1509 and Todd Willingham seconded. All voted in favor and the motion carried.

Steve Thomas stepped down from the Commission for the consideration of Z-1510

PUBLIC HEARING (Z-1510) BY JARET MURAGLIA FOR A CONDITIONAL USE PERMIT TO ALLOW A DRIVE THROUGH FACILITY ASSOCIATED WITH A FAST FOOD RESTAURANT ON PROPERTY LOCATED AT 606 E. MAIN STREET

- It was moved by Daryl Whitworth and seconded by Todd Willingham to open public hearing Z-1510 by Jaret Muraglia for a

conditional use permit to allow a drive through facility associated with a fast food restaurant on property located at 606 E. Main Street. Jaret Muraglia, Developer, and Brandon Weinheimer, Architect, presented the application. Mr. Muraglia noted the back portion of the property is located in the flood plain and cannot be used for development. Mr. Muraglia noted there are two fast food restaurants proposed, one with a drive through and one without, which is due to parking restraints. Mr. Muraglia stated he is proposing a restaurant that will overlook the creek and one additional building that will be retail space. Brandon Weinheimer noted the property is a 2.6 acre tract of land with a sewer main running through the center of the property. Mr. Weinheimer noted there is approximately five feet between the utility easement and nearest proposed building. Mr. Weinheimer stated the drive through has stacking space for six vehicles and a pass through lane that will circle the building and allow access to parking. Mr. Weinheimer noted the restaurant is proposed to be 4000 square feet with a balcony that overlooks the creek. Mr. Weinheimer added the retail building will be a two story building consisting of approximately 5700 square feet and parking will be located under the building and the retail area will be flush with the parking lot. Mr. Weinheimer stated there are 109 parking spaces above the flood plain and 22 in the flood plain. Mr. Weinheimer stated they will tie into existing utilities and their intent is to have everything drain off the site into the creek. Mr. Weinheimer noted all lighting will be shielded. Mr. Weinheimer noted there are some trees that need to be removed but they will be replaced with new landscaping. Mr. Weinheimer stated there is one large tree on the property that they will make every effort to protect and try to save. Mr. Weinheimer commented permeable pavers will be used around the tree to try and allow the tree to absorb water. Mr. Weinheimer noted they do not have elevations drawn yet but those will comply with the new design standards. Mr. Weinheimer confirmed the main challenge they are faced with is ingress and egress because TXDOT will not allow a left turn into the property and that is needed to make the site work. Mr. Weinheimer stated they intend to have a traffic impact analysis study done and are hoping to get approval conditioned on the outcome of that.

PUBLIC COMMENT

Mary Penick, owner of adjacent property, noted the number of curb cuts TXDOT will allow is a huge issue and whatever is allowed on the subject property should not affect her being granted a curb cut.

Mr. Weinheimer and Mr. Muraglia both commented after speaking to TXDOT they intended to speak to Ms. Penick about the possibility of a shared access and they had planned to call her this week if they received conditional approval tonight to discuss working out a shared access on their two properties.

Charlie Kiehne moved to close Public Hearing Z-1510 and Chris Kaiser seconded the motion. All voted in favor and the motion carried.

STAFF COMMENTS

Brian Jordan, Director of Development Services, noted the main obstacle facing the applicant is the access to the property and suggested he get a traffic impact analysis and speak with TXDOT. Mr. Jordan commented even though they have not done that, they still wish to proceed with their plans and hope to get an approval with the right in, right out movement only. Mr. Jordan noted the amount of traffic generated from this site coupled with the fact there is only one driveway and no turn lane capacity for entry to the site makes the site questionable for development, not only for this applicant but for anyone that would want to develop the property. Mr. Jordan noted they have asked the applicant to hire a professional to look at their needs while taking into consideration the city's needs and TXDOT's input to come up with recommendations that would be workable for all parties involved.

Clinton Bailey, Director of Public Works and Utilities, stated he has a lot of experience working with

TXDOT on development and they do have a pretty hard line on what is allowed, but that is for safety concerns. Mr. Bailey stated the traffic analysis would make sure the ingress and egress is safe. Mr. Bailey explained some of TXDOT's spacing requirements for curb cuts related to speed of traffic and commented TXDOT will most likely ask the developer to look at a shared drive or cross access with the adjoining property owner.

Mr. Jordan noted the applicant is asking the Commission to consider a right in, right out movement only with their conditional use permit application. Mr. Jordan stated TXDOT has required a traffic analysis be done before anything further is allowed. Mr. Jordan noted Staff does not believe a right turn only would work for the site development because that is not a good circumstance. Mr. Jordan explained if TXDOT does not allow a left turn into the site, one should be put in somewhere along the shared corridor. Mr. Jordan noted, in Staff's opinion, the only way the Commission could approve the plan favorably is with a condition a traffic impact study be done. Mr. Jordan added the site plan will have to be re-drawn if any changes are made to the site, such as the moving the driveway.

There was much discussion regarding left turn lanes, egress to existing businesses, the information a traffic impact analysis would provide, and safety of the proposed project. Mr. Jordan noted a formal recommendation was not given by Staff because they believe a traffic impact analysis needs to be done irregardless of TXDOT approving the proposed ingress and egress. Mr. Jordan noted the applicant is requesting approval for the site with the proposed right turn only and if the results of the traffic analysis warrant changes or create different opportunities, the applicant would come back with the revised plan. Mr. Jordan stated if the Commission is inclined to approve the plan as presented Staff recommends the approval be conditioned upon the results of the traffic analysis and those results need to come back to the Commission. Mr. Weinheimer noted the reason they are wanting some type of approval is so the developer can move forward with securing tenants.

Charlie Kiehne asked if the island shown on the egress drive would be painted or curbed. Mr. Weinheimer noted it will be something that would force traffic in the right direction. Daryl Whitworth asked for clarification that TXDOT approved the right turn in and right turn out only. Mr. Jordan confirmed they have sent an email stating that is all they will approve at this time and anything beyond that, including a left turn lane, would be subject to their evaluation of a traffic analysis study. Mr. Kiehne added his main concern is people making left turn lanes out of the site because that would be a real traffic safety concern.

Charlie Kiehne moved to approve Application Z-1510 with the condition a traffic impact study be done. Pat McGowan, City Attorney, noted a consequence needs to be attached to the motion because the traffic study could come back and say this is a terrible situation. Mr. Weinheimer stated it will be their responsibility to address the concerns noted in the study. Mr. Jordan noted City Staff is confident TXDOT will not approve a left turn without some modifications. Mr. Muraglia commented there will not be a tenant that wants to lease property if there is not a left turn lane, but he would like to show his investors and potential tenants the approval process is continuing and moving forward. There followed much more discussion about the traffic study and the possible outcome and requirements. Chris Kaiser suggested the motion be amended. Charlie Kiehne amended the motion to approve the application with a condition a left turn be provided into the site and the condition the developer comply with the design standards for the City of Fredericksburg. Chris Kaiser seconded the motion. Bill Pipkin asked if plans will still be pushed forward if the study comes back and says this is an unsafe situation. Mr. Jordan stated the motion will put the burden of proof on the applicants and their traffic consultant to present something to TXDOT that will justify a left turn lane into the site. All voted in favor and the motion

carried.

Steve Thomas returned to the Commission.

MINUTES

Charlie Kiehne moved to approve the minutes from the June, 2015 meeting and Chris Kaiser seconded. All voted in favor and the motion carried.

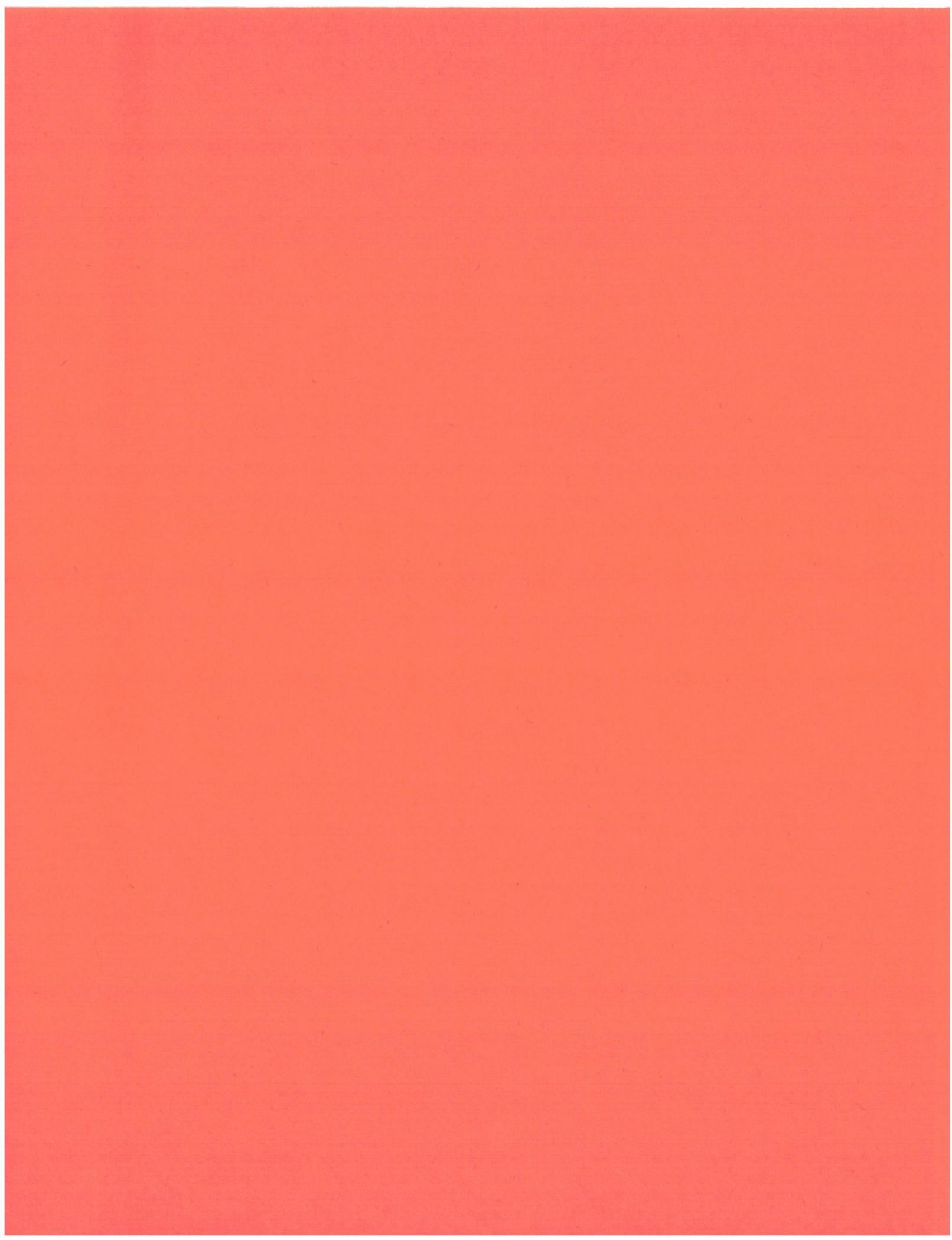
ADJOURN

With nothing further to come before the Commission, Daryl Whitworth moved to adjourn. Charlie Kiehne seconded the motion. All voted in favor and the meeting was adjourned at 6:47 p.m.

PASSED AND APPROVED this 8th day of July, 2015.

SHELLEY BRITTON, Secretary

JANICE MENKING, Chairman



ZONING CHANGE BRIEF
Rezoning Request # Z-1512

OWNER/APPLICANT: Karl Ransleben

LOCATION: Lower Crabapple Road and Timberwood Dr.

SIZE: Approximately 19.5 acres

EXISTING ZONING: R-5 Patio Home Residential

PROPOSED CHANGE: Change in Zoning from R-5 Patio Home Residential to R-1A, Single Family Residential – Small Lot.

FINDINGS:

- The property is currently developed with streets and utilities, but no homes have been constructed.
- Access to the property is from Lower Crabapple Road, via Timberwood Drive and Dudley Way, as well as from the Carriage Hills neighborhood on Quailwood Drive.
- Utilities are available and have been installed to serve the property
- Adjoining property to the west and north is outside the City Limits, and to the east and south is R-1, Single Family Residential.
- The Land Use Plan identifies the subject property and the surrounding property as Low Density Residential.
- Land uses surrounding this property include rural residential to the west and north and single family homes to the east and south.
- This property was changed from R-1 to R-5 in 2006. The intent at the time was to develop patio homes on this property. The subdivision was developed but homes have not been constructed. The developer has now decided to change from the patio product to the more traditional single family product and take advantage of the current platted lots.

LAND USE PLAN: The Land Use Plan identifies the subject property as Low Density Residential, with the surrounding property designated the same way (see attached Land Use Plan). The proposed plan will not change the proposed land use since the existing lot configuration will be utilized.

ZONING: The zoning of the subject property is R-5, Patio Home Residential and was rezoned as such in 2006 (see the attached zoning map). The density of this neighborhood will not change since the existing lot configuration will be utilized. The only thing changing will be the setbacks on the lots. The current side setbacks of 0'/10' will be

changed to 5'/5'. This means that instead of a zero lot line product, it will be a traditional center-loaded product.

OPPOSITION/SUPPORT OF REQUEST: One letter in support, none in opposition.

STAFF RECOMMENDATION: The staff recommends approval of the zoning change.



Project Application

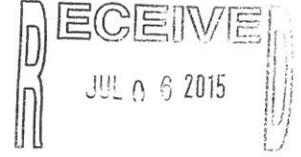
City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 – (830)997-7521

A. Project Information (Please complete all items.)

Project Name: *CRABAPPLE GROVE UNIT 2*

Project Address:

Tax ID Number (s):



Application Type (Check all items that apply.)

- | | | |
|---|--|--|
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Minor Plat* | <input type="checkbox"/> Plat Vacation |
| <input type="checkbox"/> Site Plan* | <input type="checkbox"/> Replat* | <input type="checkbox"/> Annexation* |
| <input checked="" type="checkbox"/> Zoning Change | <input checked="" type="checkbox"/> Amending Plat* | <input type="checkbox"/> Other |
| <input type="checkbox"/> Land Use Plan Change | <input type="checkbox"/> Preliminary Plat* | <input type="checkbox"/> Waiver of Right to
30-day action |
| <input type="checkbox"/> Variance Request | <input type="checkbox"/> Final Plat* | |
| | <input type="checkbox"/> Development Plat | |

Revision of Approved Plan / Plat? Yes No Name:

Jurisdiction: City Limits ETJ Total Acres: *1.523* No. of Lots:

Original Survey & Abstract No:

Legal Description:

Current Land Use Plan: *Residential*

Proposed Land Use Plan: *Residential*

Current Zoning: *R-5*

Proposed Zoning: *R-1A*

Location: *Lower Crabapple & Timberwood Drive*

Proposed Use(s):

Applicant's Signature

Applicant's Role: Owner Developer Other (note role):

I hereby certify that the information supplied with this application is true and correct, and that the paper and electronic copies of the materials submitted are consistent with each other, to the best of my knowledge. I also certify I have authorization from the owner to act on his / her behalf.

Signature: *Karl A. Parsleben, P.E.*

Printed Name: *Karl A. Parsleben* Date: _____

Staff Use Only Application No.: *2-1512* Date: _____

*Copy of current Title Search required with application.



Project Application

City of Fredericksburg - Development Services Department
126 W. Main St., Fredericksburg, TX 78624 - (830)997-7521

B. Contact Information (Please complete all items. Attach additional pages as necessary.)

I. Property Owner(s)

Firm Name (if applicable): **FRANCO DEVELOPMENT, LTD.**
Owner Name: **KARL RANSUZEN**
Address: **P.O. BOX 910 FBG. TX 78624**
Phone: **281.389.0389** Fax: **830.990.1257** Email: **KARLBERTRANE@MCI.COM**

II. Owner's Agent/Engineer/Surveyor (Main contact person responsible for application)

Role: Agent Engineer Surveyor Other (note role):

Firm Name (if applicable):

Address:

Primary Contact Name:

Phone:

Fax:

Email:

Secondary Contact Name:

Phone:

Fax:

Email:

III. Applicant

Firm Name (if applicable):

Applicant Name (s):

Address:

Phone:

Fax:

Email:

IV. Applicant's Agent/Engineer/Surveyor (Main contact person responsible for application)

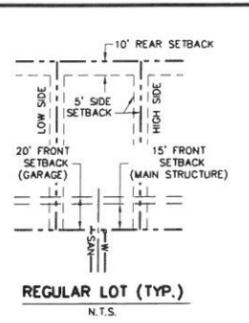
Role: Agent Engineer Surveyor Other (note role):

Firm Name (if applicable): **CIVIL ENGINEERING CONSULTANTS**

Address: **11550 I.H. 10 WEST, SAN ANTONIO, TEXAS 78230**

Primary Contact Name: **DEAN LINDSKOS**

Phone: **210.641.9999** Fax: **210.641.6440** Email:



LOCATION MAP
N.T.S.

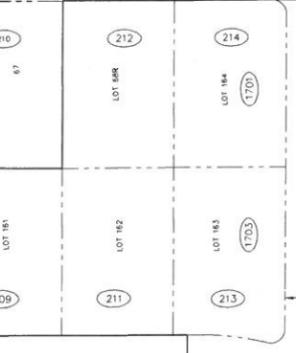
Curve Table

Curve	Length	Radius	Tangent	Chord Length	Chord Direction	Delta
C1	14.11'	10.00'	8.51'	12.97'	S48°29'44"E	80°49'35"
C2	15.83'	377.27'	7.92'	15.83'	N09°17'05"W	72°41'17"
C3	75.37'	377.49'	37.81'	75.25'	S04°46'01"E	11°26'25"
C4	42.53'	400.00'	21.26'	42.51'	S03°59'58"W	6°05'33"
C5	41.56'	400.00'	20.80'	41.55'	N04°04'08"E	9°57'13"
C6	75.91'	150.00'	38.79'	75.10'	N13°24'22"W	28°59'45"
C7	214.92'	50.00'	76.59'	83.74'	S28°57'29"W	246°16'33"
C8	24.94'	15.00'	16.45'	22.17'	N46°32'38"W	95°16'18"
C9	36.37'	350.00'	18.20'	36.30'	N04°04'08"E	9°57'13"
C10	18.18'	450.00'	9.09'	18.18'	S05°53'18"E	7°15'52"
C11	15.01'	10.00'	9.33'	13.64'	N47°44'23"E	86°01'02"
C12	13.62'	15.00'	7.32'	13.16'	S63°44'30"E	52°01'12"
C13	247.87'	50.00'	39.04'	61.54'	S00°44'34"W	284°02'25"
C14	13.62'	15.00'	7.32'	13.16'	S64°44'18"W	52°01'12"
C15	15.74'	10.00'	10.04'	14.17'	N44°08'37"W	90°12'18"
C16	85.36'	427.49'	42.82'	85.22'	S04°46'01"E	11°26'25"
C17	4.28'	327.49'	2.14'	4.28'	N10°08'45"W	0°44'54"
C18	17.39'	10.00'	11.84'	15.28'	N40°04'27"E	99°37'31"
C19	16.52'	9.54'	10.88'	14.68'	S42°52'55"E	95°17'59"
C20	31.42'	20.00'	20.00'	28.28'	N72°54'14"W	90°00'00"
C21	101.21'	200.00'	51.72'	100.14'	N13°24'22"W	28°59'45"
C22	31.42'	20.00'	20.00'	28.28'	S17°05'46"W	90°00'00"
C23	15.71'	10.00'	10.00'	14.14'	S43°54'29"E	90°00'00"
C24	13.62'	15.00'	7.32'	13.16'	S27°06'07"W	52°01'12"
C25	247.87'	50.00'	39.04'	61.54'	N88°54'29"W	284°02'25"
C26	13.62'	15.00'	7.32'	13.16'	N24°55'05"W	52°01'12"
C27	15.71'	10.00'	10.00'	14.14'	N46°05'31"E	90°00'00"
C28	15.71'	10.00'	10.00'	14.14'	S43°54'29"E	90°00'00"
C29	126.52'	250.00'	64.64'	125.17'	N13°24'22"W	28°59'45"
C30	15.71'	10.00'	10.00'	14.14'	S46°05'31"W	90°00'00"
C31	15.71'	10.00'	10.00'	14.14'	N43°54'29"W	90°00'00"
C32	224.92'	50.00'	62.03'	77.86'	N53°16'47"E	257°44'29"
C33	19.98'	15.37'	11.68'	18.60'	S37°13'58"E	74°27'56"
C34	15.71'	10.00'	10.00'	14.14'	S48°05'31"W	90°00'00"

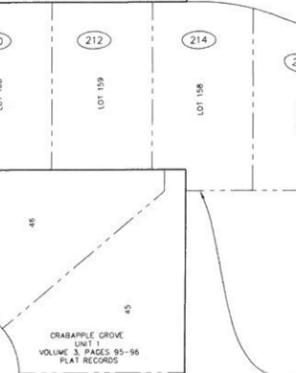
Line Table

Line	Direction	Length
L1	N13°30'40"W	40.81'
L2	N42°43'01"W	57.36'
L3	N01°05'31"E	10.68'
L4	S00°57'11"W	49.88'
L5	S07°02'44"W	40.86'
L6	S27°54'14"E	17.41'
L7	N07°02'44"E	40.86'
L8	N89°15'06"W	131.14'
L9	S89°15'06"E	129.89'
L10	N00°57'11"E	10.18'
L11	S27°54'14"E	39.44'
L12	N88°54'29"W	77.78'
L13	N43°54'29"W	45.96'
L14	S88°54'29"E	105.00'
L15	S01°05'31"W	46.28'
L16	S27°54'14"E	39.44'
L17	S88°54'29"E	105.00'
L18	S01°05'31"W	85.35'
L19	N88°54'29"W	110.00'
L20	S06°25'19"W	56.79'

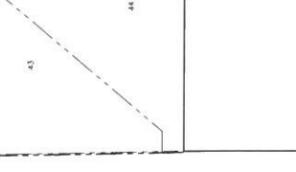
RILEY LANE



DUDLEY WAY



WINSTON DRIVE



UTILITY EASEMENTS
GRANTORS HEREBY RETAIN PERPETUAL EASEMENTS FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES AND ALL NECESSARY APPURTENANCES THEREON, WHETHER INSTALLED IN THE AIR, UPON THE SURFACE, OR UNDERGROUND, IN OTHER EASEMENTS DEDICATED TO UTILITIES, AND IN STREETS, ALLEYS, BOULEVARDS, AND RIGHTS OF THE SUBDIVISION AND WITH THE AUTHORITY TO PLACE, CONSTRUCT, OPERATE, MAINTAIN, RELOCATE AND REPLACE THEREON UTILITIES. THE EASEMENT RIGHTS HEREBY RESERVED INCLUDE THE PRIVILEGE OF ANCHORING ANY SUPPORT CABLES OR OTHER DEVICES OUTSIDE SAID EASEMENT WHEN DEEMED NECESSARY BY THE UTILITY TO SUPPORT WITHIN SAID EASEMENT AND THE RIGHT TO INSTALL WIRES AND/OR CABLES OVER SOME PORTIONS OF SAID LOTS AND/OR TRACTS WITHIN SAID EASEMENT SO LONG AS SUCH ITEMS DO NOT PREVENT THE CONSTRUCTION OF BUILDINGS ON ANY OF THE LOTS AND/OR TRACTS NOT WITHIN SAID SUBDIVISION. NOTHING SHALL BE PLACED OR PERMITTED TO REMAIN WITHIN THE EASEMENT AREA WHICH MAY DAMAGE OR INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF UTILITIES. THE EASEMENT AREA OF EACH LOT AND/OR TRACT AND ALL IMPROVEMENTS THEREON SHALL BE MAINTAINED BY THE OWNER OF THE LOT EXCEPT FOR THOSE IMPROVEMENTS FOR WHICH AN AUTHORITY OR UTILITY COMPANY IS RESPONSIBLE. UTILITY COMPANIES OR THEIR EMPLOYEES SHALL HAVE ALL RIGHTS AND BENEFITS NECESSARY AND CONVENIENT FOR THE FULL ENJOYMENT OF THE RIGHTS HEREBY GRANTED, INCLUDING BUT NOT LIMITED TO THE FREE RIGHT TO ACCESS TO, AND TO EGRESS FROM, THE SAID RIGHT-OF-WAY EASEMENT, AND THE RIGHT FROM TIME TO TIME TO CUT AND TRIM ALL TREES, UNDERGROWTH AND OTHER OBSTRUCTIONS THAT MAY INJURE, ENHANCE OR INTERFERE WITH THE OPERATION OF SAID UTILITY INSTALLATIONS. THE DEVELOPER AND/OR LANDOWNER SHALL BE RESPONSIBLE FOR REMOVAL OF ANY OR ALL LIMBS, DEBRIS, BRANCHES OR BRUSH THAT MUST BE CUT IN ORDER TO CLEAR THE RIGHT-OF-WAY FOR NEW CONSTRUCTION. MAINTENANCE OF ANY LINES CONSTRUCTED ON THE PROPERTY. UTILITIES ARE DEEMED TO INCLUDE, BUT NOT LIMITED TO ELECTRIC, GAS, TELEPHONE, CABLE, T.V., WATER AND SEWER.

- LEGEND**
- XXXX ADDRESS
 - PROPERTY CORNER TO BE SET
 - PROPERTY CORNER FOUND
 - 15' FSL FRONT SETBACK LINE (MAIN STRUCTURE)
 - 20' FSL FRONT SETBACK LINE (GARAGE)
 - SSL SIDE SETBACK LINE
 - RSL REAR SETBACK LINE

AMENDING PLAT OF CRABAPPLE GROVE UNIT 2 FREDERICKSBURG, TEXAS

THIS PLAT AMENDS A PORTION OF CRABAPPLE GROVE UNIT 2 FREDERICKSBURG, TEXAS RECORDED IN VOLUME 4, PAGE 145, PLAT RECORDS, GILLESPIE COUNTY, TEXAS.

SCALE: 1" = 60'

THE STATE OF TEXAS
COUNTY OF GILLESPIE

I hereby certify that I am the owner of the property shown and described hereon, that no other person or entity has any interest in the property either by lien, lease, or other equitable interest; and that I hereby adopt this plan of subdivision with my free consent, establish the minimum set-back lines, and dedicate all public streets, alleys, walks, parks, water courses, easements, and other open space to public use forever and agree for myself and my heirs and assigns to abide forever by all lines, dedications, and other restrictions shown hereon.

Date: _____ OWNER: Friends Development, LTD.
Karl Ransleben, President
Fritzlown, L.L.C. General Partner

THE STATE OF TEXAS
COUNTY OF GILLESPIE

This instrument was acknowledged before me on the _____ day of _____, 2015 by Karl Ransleben in his capacity as President of Friends Development, LTD.

Notary Public in and for the State of Texas
My Commission Expires: _____

Printed Name of Notary _____

Surveyor's Certificate

I, the undersigned, (a Registered Professional Land Surveyor) in the State of Texas, hereby certify that this plat is true and correctly made and is prepared from an actual survey on the property made under my supervision on the ground and that the corner monuments were properly placed under my supervision; and that all aspects are in accordance to the City of Fredericksburg Subdivision Ordinance.

Registered Professional Surveyor _____



Engineer's Certificate

I, the undersigned, (a Registered Professional Engineer) in the State of Texas, hereby certify that proper engineering consideration has been given to this plat; and that all aspects are in accordance to the City of Fredericksburg Subdivision Ordinance.

Registered Professional Engineer _____

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Fredericksburg, Texas, with the exceptions of such variances, if any, as are noted on the plat and that it has been approved for recording in the office of the County Clerk. Zoning Commission

Date: _____ Chairperson, City Planning and _____

Filed for record at _____ o'clock _____ m., this _____ day of _____, A.D. on Page _____ Volume _____ of the Plat Records of Gillespie County, Texas.

Deputy Clerk, County Court
Gillespie County, Texas

CEC
CIVIL ENGINEERING CONSULTANTS
P. O. BOX 1100
11650 J.L. WEST, SUITE 306
SAN ANTONIO, TEXAS 78230
P) 210.641.9999
F) 210.641.6440
Email: webmaster@cecotexas.com

AREA TO BE AMENDED CRABAPPLE GROVE UNIT 2

THE AREA TO BE AMENDED IS FROM A PREVIOUSLY RECORDED PLAT OF CRABAPPLE GROVE UNIT 2, RECORDED IN VOLUME 4, PAGE 145, PLAT RECORDS OF GILLESPIE COUNTY.

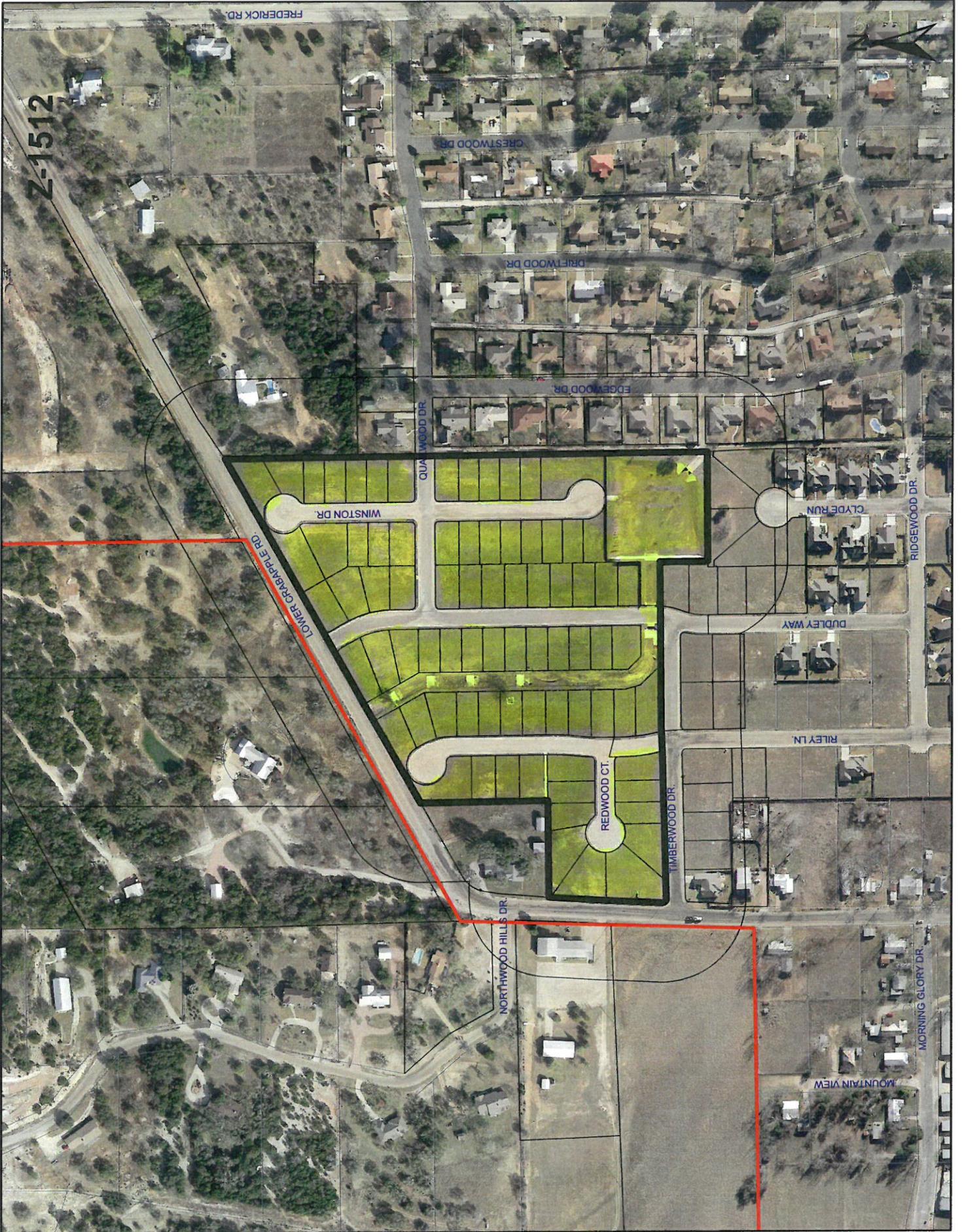
- REASON FOR AMENDMENTS:
1. REMOVE ALL ZERO LOT LINE NOTES
 2. REMOVE TEN FOOT SIDE SETBACKS ON ZERO LOT LINE LOTS
 3. REVISE FRONT SETBACK TO 15'

Zoning

- C1 - Neighborhood Commercial
- C2 - Commercial
- CBD - Central Business District
- M1 - Light Manufacturing
- M2 - Medium Manufacturing
- M3 - Industrial Park
- OS - Open Space
- PF - Public Facilities
- PUD - Planned Unit Development
- R1 - Single Family Residential
- R2 - Mixed Residential
- R3 - Multi-Family Residential
- R4 - Manufactured Home Residential
- R5 - Patio Home Residential



Z-1512



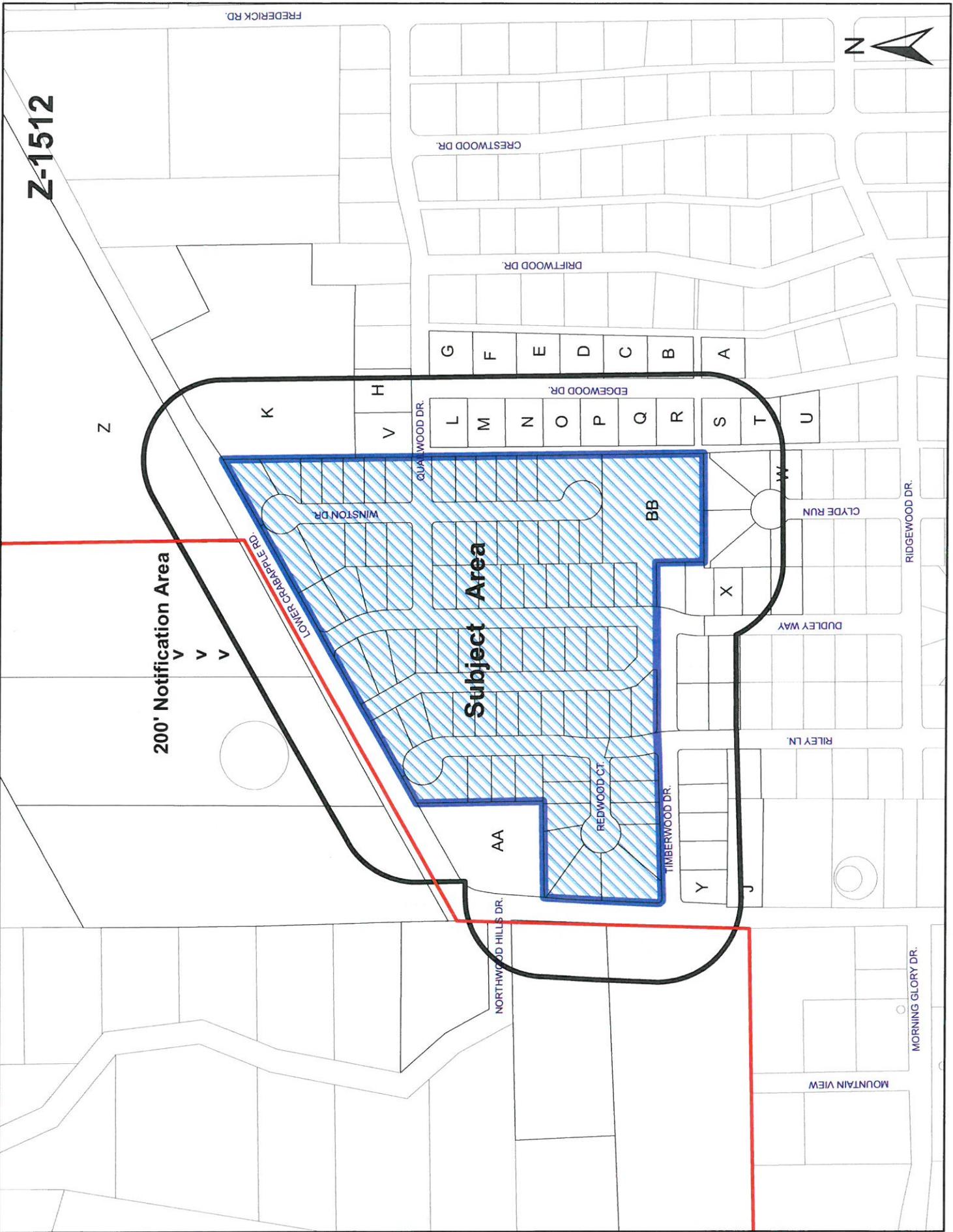
Z-1512



200' Notification Area

V
V
V

Subject Area



LETTER	NAME	SITUS
A	BAILEY, RAYMOND E JR & SHARON	208 EDGEWOOD DR
B	STEHLING, DORTHA ANN	210 EDGEWOOD DR
C	BOWERS, VERLYN	212 EDGEWOOD DR
D	OLIN, DONALD R & JACQUELINE L	214 EDGEWOOD DR
E	GAMMON SISTERS PARTNERSHIP	216 EDGEWOOD DR
F	JENSCHKE, MARGIE LEE	218 EDGEWOOD DR
G	SEIDENBERGER, MATTHEW G & LORENA K	220 EDGEWOOD DR
H	NEWMAN, SUE M	1814 QUAILWOOD DR
No letter	FRIENDS DEVELOPMENT LTD	216 RILEY LN
J	JL RETIREMENT LLC	212 W LOWER CRABAPPLE RD
K	PACE, JOHN M & SARA HIGGINS	910 LOWER CRABAPPLE RD
L	MILLER, JEANNINE O	223 EDGEWOOD DR
M	WEBER, ROMAN A & PAULA	221 EDGEWOOD DR
N	WILSON, CARLOS D & BOYDENE R	219 EDGEWOOD DR
O	THOMASON, ROBERT P & VIRGINIA	217 EDGEWOOD DR
P	WEED, RAY A & KATHLEEN	215 EDGEWOOD DR
Q	SCHOLL, CATHERINE ETAL	213 EDGEWOOD DR
R	ANGERSTEIN, JAMES L & MELBA K	211 EDGEWOOD DR
S	MCMANIGLE, MILTON R III & DIANNE	209 EDGEWOOD DR
T	KIEHNE, KAREN AUGUSTE	207 EDGEWOOD DR
U	MIKESKA FAMILY TRUST	205 EDGEWOOD DR
V	PETER, EDWARD A & RAYE J	1812 QUAILWOOD DR
W	WAGNER, ALVA JEAN ETAL	208 CLYDE RUN
No letter	FRIENDS DEVELOPMENT LTD	210 CLYDE RUN
No letter	FRIENDS DEVELOPMENT LTD	212 CLYDE RUN
No letter	FRIENDS DEVELOPMENT LTD	211 CLYDE RUN
No letter	FRIENDS DEVELOPMENT LTD	209 CLYDE RUN
No letter	FRIENDS DEVELOPMENT LTD	207 CLYDE RUN
No letter	FRIENDS DEVELOPMENT LTD	208 DUDLEY WAY
X	LOPEZ, ANTONINO	212 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	209 RILEY LN
No letter	FRIENDS DEVELOPMENT LTD	1609 TIMBERWOOD DR
No letter	FRIENDS DEVELOPMENT LTD	1607 TIMBERWOOD DR
No letter	FRIENDS DEVELOPMENT LTD	1605 TIMBERWOOD DR
No letter	FRIENDS DEVELOPMENT LTD	1603 TIMBERWOOD DR
Y	SLOUGH, ALLEN RAY	1601 TIMBERWOOD DR
Z	DORRIS FAMILY PROPERTIES LTD	LOWER CRABAPPLE RD
AA	WAGNER, MITCHELL R	224 W LOWER CRABAPPLE RD
No letter	FRIENDS DEVELOPMENT LTD	210 DUDLEY WAY
BB	CITY OF FREDERICKSBURG	218 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	1605 REDWOOD CT
No letter	FRIENDS DEVELOPMENT LTD	1610 REDWOOD CT
No letter	FRIENDS DEVELOPMENT LTD	1608 REDWOOD CT
No letter	FRIENDS DEVELOPMENT LTD	1606 REDWOOD CT
No letter	FRIENDS DEVELOPMENT LTD	1604 REDWOOD CT
No letter	FRIENDS DEVELOPMENT LTD	1602 REDWOOD CT

No letter	FRIENDS DEVELOPMENT LTD	227 RILEY LN
No letter	FRIENDS DEVELOPMENT LTD	229 RILEY LN
No letter	FRIENDS DEVELOPMENT LTD	231 RILEY LN
No letter	FRIENDS DEVELOPMENT LTD	233 RILEY LN
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No letter	FRIENDS DEVELOPMENT LTD	220 RILEY LN
No letter	FRIENDS DEVELOPMENT LTD	218 RILEY LN
No letter	FRIENDS DEVELOPMENT LTD	1701 TIMBERWOOD DR
No letter	FRIENDS DEVELOPMENT LTD	1703 TIMBERWOOD DR
No letter	FRIENDS DEVELOPMENT LTD	219 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	221 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	223 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	225 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	227 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	229 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	231 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	233 DUDLEY WAY
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No letter	FRIENDS DEVELOPMENT LTD	239 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	241 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	243 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	244 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	311 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	307 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	242 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	305 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	303 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	301 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	238 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	240 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	215 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	236 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	213 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	234 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	232 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	211 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	209 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	207 WINSTON DR

No letter	FRIENDS DEVELOPMENT LTD	205 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	228 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	226 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	230 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	203 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	224 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	222 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	201 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	220 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	216 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	214 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	212 DUDLEY WAY
No letter	FRIENDS DEVELOPMENT LTD	204 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	206 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	208 WINSTON DR
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No letter	FRIENDS DEVELOPMENT LTD	302 WINSTON DR
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No letter	FRIENDS DEVELOPMENT LTD	306 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	308 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	310 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	312 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	314 WINSTON DR
No letter	FRIENDS DEVELOPMENT LTD	1601 REDWOOD CT
No letter	FRIENDS DEVELOPMENT LTD	1603 REDWOOD CT
No letter	FRIENDS DEVELOPMENT LTD	1607 REDWOOD CT
No letter	FRIENDS DEVELOPMENT LTD	1609 REDWOOD CT
No letter	FRIENDS DEVELOPMENT LTD	211 DUDLEY WAY



**NOTICE OF PUBLIC HEARING FOR
A CHANGE IN ZONING**

HEARING
DATE: **AUGUST 5, 2015**

TIME: **5:30 PM**

REQUEST
NUMBER: **Z-1512**

The **PLANNING & ZONING COMMISSION** of the City of Fredericksburg will hold a public hearing at the above stated time and date in the conference room of the Law Enforcement Center, 1601 E. Main St., to consider a request for a change in the Zoning.

According to City Tax Records, you are the owner of real property within 200' of the proposed change. You are **not** required to attend the meeting, but if you care to attend, you will be given full opportunity to be heard. If you cannot attend the hearing, but wish to comment on the request, please detach the response form below and return it to the City of Fredericksburg, 126 W. Main St., Fredericksburg, TX 78624. All protests must be submitted in writing.

The decision of the **PLANNING & ZONING COMMISSION** is a recommendation only. Final approval must be by action of the **CITY COUNCIL**. The public hearing by the **CITY COUNCIL** is scheduled as follows:

HEARING
DATE: **AUGUST 17, 2015**

TIME: **6:00 PM**

REQUEST
NUMBER: **Z-1512**

For additional information, contact Director of Development Services, Brian Jordan at 830-997-7521.

APPLICANT: Karl A. Ransleben

LOCATION: Crabapple Grove Subdivision Unit 2, located on Lower Crabapple Rd
(see accompanying map)

REQUEST: Change in the zoning from R-5, Patio Home Residential to R-1A, Single-Family Residential- Small Lot

(DETACH HERE)

REQUEST NO. Z-1512

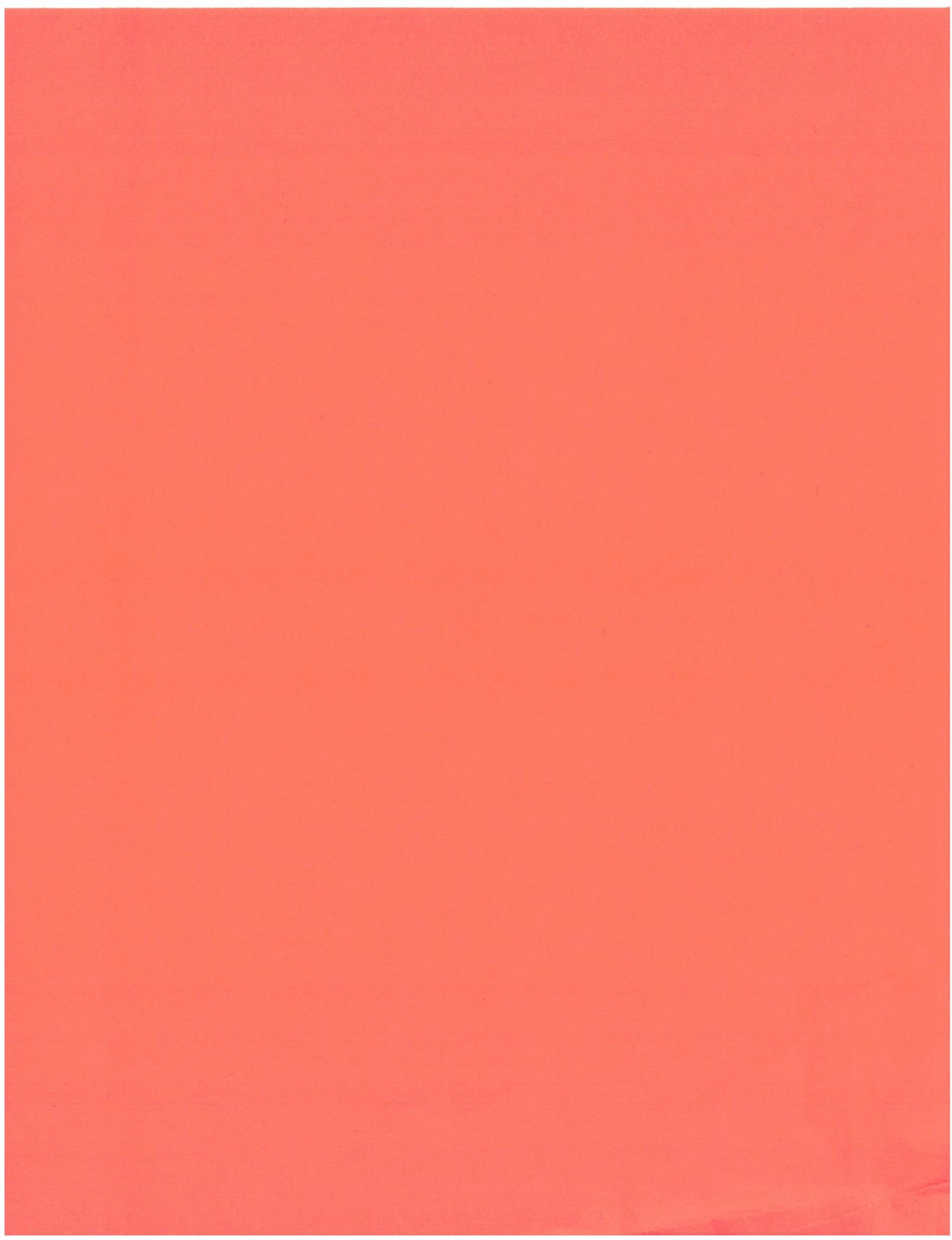
As an interested property owner, I (Protest)(Approve) the requested zoning amendment represented by the above file number because:

Signed

Date

Printed Name

Address





MEMO

DATE: July 31, 2015

TO: Planning and Zoning Commission

FROM: Brian Jordan, AICP, RLA, Director of Development Services

SUBJECT: Design Guidelines and Standards

Summary:

The current Comprehensive Plan was updated in 2006. For the most part, the plan has served the community well and there have been a number of items accomplished. It was determined at a Council Retreat in June, 2013, that the city would do a partial update rather than a complete update. The issues that were identified as not being accomplished from the 2006 Plan and being the highest priority were the Sidewalk and Trails Plan, Gateways Plan and Design Standards and Guidelines for Entry Corridors. Design Workshop from Austin was hired to prepare the Comprehensive Plan Issues Update.

Design Workshop presented the draft Comprehensive Plan Issues Update document to the City Council and Planning and Zoning Commission on July 21, 2014. There was significant discussion and a number of concerns raised at this meeting. It was decided that the process for consideration would be slowed down, giving time for additional community input and additional workshops for discussion. The initial worksession which included the Council, Planning and Zoning Commission and the Historic Review Board was held on September 8, 2014. The primary focus of this meeting was to discuss the Gateways Plan and the Design Standards and Guidelines for Entry Corridors. The second meeting of this group was held on September 22, 2014, where the primary focus was on the Sidewalk and Trails Plan.

The City of Fredericksburg

It was decided at this time by the City Council that they would like for the Planning and Zoning Commission and Historic Review Board to have further review of the Design Standards and Guidelines for Entry Corridors, and come up with a recommendation on whether to include all or a portion of the elements suggested.

Gateways Plan: The Gateways into the community were prioritized during the public meeting. This prioritization included the following order: US Highway 290 East, US Highway 87 South, SH 16 South, US Highway 87 North and US Highway 290 West, and FM 965 and SH 16 North. Gateway concept plans were provided for the corner of E. Main and Eagle Street and S. Adams and Windcrest Street as a way of marking entries into the community. Opportunities included streetscape design, signage, street trees, landscaping, lighting, sidewalks/trail connectivity and art. It was suggested that these areas be considered for improvements as funds become available. In addition, these corridors were identified to apply the Design Standards and Guidelines suggested in the plan.

Sidewalks and Trails Plan: Sidewalk Plan was approved by the City Council in May, 2015.

Design Standards and Guidelines: The Historic Review Board discussed the Design Standards and Guidelines at three of their meetings and made a recommendation of their suggested changes on January 13, 2015. The Planning and Zoning Commission also discussed the standards at three of their meetings and made a recommendation on January 7, 2015. As a reminder, the Design Standards and Guidelines include architectural style, architectural materials, architectural color, architectural features, massing and scale, signage, building height, setbacks and frontage, landscaping, lighting, service areas, parking and access, drainage and stormwater, and streetscape, and are outlined in the attached document starting on page 74.

The Design Standards will apply to all properties adjacent to the entry corridors, between the City Limit line and the Historic District. As presented, a land owner or developer must follow the Standards and Guidelines as part of a use category change or issuance of a building permit, sign permit, conditional use permit, site plan, plat or temporary use permit.

Attached, please find an ordinance adopting design guidelines and standards for all new development and redevelopment in the entry corridors of the City. Keep in mind, the standards will be mandatory and the guidelines will be recommendations. The ordinance establishes the Planning and Zoning Commission as the design review board, establishes a process for review and approval, establishes an allowance for ordinary repair and maintenance (insignificant alteration), and establishes a time frame for approval. A copy of the Design Standards and Guidelines section of the update is attached for your convenience.

Recommendation:

Approval of the ordinance.

The City of Fredericksburg

ORDINANCE NO. _____

AN ORDINANCE ADOPTING DESIGN GUIDELINES AND STANDARDS FOR ALL NEW DEVELOPMENT AND REDEVELOPMENT IN THE ENTRY CORRIDORS OF THE CITY OF FREDERICKSBURG AS CHAPTER 5 ARTICLE XIV OF THE CODE OF ORDINANCES OF THE CITY OF FREDERICKSBURG SETTING FORTH THE GUIDELINES, EXCEPTIONS TO APPLICABILITY, EFFECTIVE DATE, ETC.

WHEREAS, The City hereby recognizes that the City of Fredericksburg is known for its collection of German pioneer Sunday houses, Victorian inspired homes, and thriving historic Marktplatz (Market Square) and downtown area.

WHEREAS, Fredericksburg's unique qualities are not only attractive to residents, businesses, and tourists, but make the City a better place to live and work

WHEREAS, It is a goal etc.. to extend this character ...protect and promote pleasing, efficient design, promotes harmonious and orderly growth and development, and support the preservation of the culture and history of Fredericksburg.

WHEREAS, As a matter of public policy, the City desires to ensure that new development and redevelopment protects and enhances the experience of entering the City and keeps it consistent, attractive and responsive to the unique Hill Country character.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FREDERICKSBURG THAT THE FOLLOWING ARTICLE XIV DESIGN GUIDELINES SECTIONS 5-470 THROUGH 5-473 BE AND ARE HEREBY ADOPTED AND ADDED TO THE CODE OF ORDINANCES OF THE CITY OF FREDERICKSBURG, AND THAT APPENDIX A OF SUCH CODE BE AND IS HEREBY AMENDED TO ADD THE FEE SET FORTH BELOW:

ARTICLE XIV DESIGN REQUIREMENTS

5-470.- Definitions

- (a) **Construction Design Elements.** Architectural style, Architectural Materials, Architectural colors, Architectural features, Massing and Scale, Signage, Building height, Setbacks and Frontage, Landscaping, Lighting, Service Areas, parking and access, Drainage and storm water, and Streetscape

- (b) **Design Guidelines** for the City of Fredericksburg. Written strategies, features or techniques adopted by the City of Fredericksburg, outlining methods which are encouraged to be used for development or redevelopment of all properties within the Entry Corridors of the City of Fredericksburg as the same relate to each of the categories of the Construction Design Elements as set out above. See the guidelines attached to this ordinance in the Appendix. Design Guidelines use such terms as “may,” “encouraged,” “should” and “to be considered” In cases where the Design Guidelines may be difficult to achieve, or an innovative solution may provide a better answer, the topic intent may be used in a determination.
- (c) **Design Standards** for the City of Fredericksburg. Written standards adopted by the City of Fredericksburg, outlining required methods for development or redevelopment of all properties within the Entry Corridors of the City of Fredericksburg as the same relate to each of the categories of Construction Design Elements as set out above. See the standards attached to this ordinance in the Appendix. In addition to the standards set forth in Appendix A. Design Standards will include the requirements of all other ordinances, specifications or requirements of the City of Fredericksburg and any other applicable governmental entity. Design Standards use the terms “shall” and “must” to indicate that compliance is required.
- (d) **Director.** Any reference herein to the Director means the Director of Development Services for the City of Fredericksburg or his or her designee.
- (e) **Entry corridors.** All properties having any frontage on the following streets of the City: US Highway 290 East and West, US Highway 16 North and South, US Highway 87 North and South and FM 965 North of US 290 (Main Street) lying within the City limits of the City of Fredericksburg except properties within the Historic Overlay District.
- (f) **Ordinary Repairs or Maintenance.** Work done to prevent deterioration of any Construction Design Element or any part thereof to keep such Element nearly as practical to its condition prior to such deterioration, decay, or damage and by using, where possible, original material.
- (g) **Insignificant Alteration.** Ordinary Repairs or Maintenance will be considered to be an Insignificant Alteration.

5-471.- Applicability

- (a) No person or entity shall develop, install, construct, reconstruct, alter, change, restore, remove, or demolish any Construction Design Element of

any property along an Entry Corridor unless and until such person or entity has completed review of his/her/its proposed changes to the particular Construction Design Element at issue by the Planning and Zoning Commission of the City of Fredericksburg which shall act as the design review board in accordance with the further provisions hereof. No building permit, sign permit, street or sidewalk permit, site plan approval, plat, temporary placement in public right of way permit or temporary use permit will be issued until completion of review regarding Design Guidelines or compliance with Design Standards, as applicable, is had in accordance with the Design Standards and Guidelines Applicability Matrix attached hereto and made a part hereof.

- (b) Properties within the Historic Overlay District are exempt from the provisions of this Article XIV.
- (c) The Design Standards and/or Design Guidelines shall apply only to the extent of the development, installation, construction, reconstruction, alteration, change, restoration, removal or demolition under the purview of the permit, site plan, or other development activity required.

5.472.- Process for Review and Approval

- (a) Application. The applicant shall submit an application in writing to the Director for review and/or approval as applicable, The application will be as promulgated by the Director on the City's Website, and also available in the offices of the Director, which includes data and information as required by the Director, including but not limited to the following:
 - (1) Name of applicant and property owner.
 - (2) Email address and phone number of applicant and permanent mailing address of property owner.
 - (3) Location of the Construction Design Element to be installed, constructed, reconstructed, altered, changed, restored, removed, or demolished.
 - (4) A detailed description of the nature of the proposed installation, construction, reconstruction, alteration, change, restoration or removal to be completed.
 - (5) A description of how the proposed change will comply with the Design Guidelines and the Design Standards.
 - (6) Any circumstances or conditions concerning the property which may affect compliance with the Design Guidelines or Design Standards.
 - (7) The intended and desired starting date and completion date of the alterations to be made.
 - (8) Any drawings or photographs which would explain the proposed change.
 - (9) A site plan, if applicable

- (10) Color chips of the colors, and samples of other materials relevant to the Design Guidelines or Design Standards which will be used.
- (b) Completeness. The applicant shall submit all required data and information to the Director within the time periods prescribed. The application shall not be accepted and processed until it is deemed complete by the Director, including sufficient description to adequately and completely convey the full effect of the work to be done, and until applicable fees are paid.
- (c) Prescribed time periods. All applications shall be processed with and will follow the same time periods and procedures as an adjunct application to any other development application that is submitted with the application under this Article. For example, if the applicant is also applying for Site Plan approval, the application hereunder will be processed in accordance with the requirements for a Site Plan. In the case where no other procedure is applicable, the application will be submitted not less than fourteen (14) days prior to the next scheduled public meeting of the Planning and Zoning Commission.
- (d) Fee. An administration fee will be assessed to the applicant reflecting the cost to the City of Fredericksburg for processing the application. (See Appendix A, Code of Ordinances.)
- (e) DRC. All applications shall be reviewed by the Development Review Committee ("DRC") at the regular meeting thereof following the submission of a completed application.
- (f) Ordinary Repair or Maintenance or Insignificant Alteration. If the Director determines that the application involves Ordinary Repair or Maintenance, or if the application is for Insignificant Alteration(s) in the Construction Design Elements, and if the application is not submitted as an adjunct application to another development application, he/she may, within seven (7) days following the DRC meeting, approve the application and forward a copy of the approved application to the chairman of the Planning and Zoning Commission, or to the vice chairman if the chairman is not available. The chairman or vice chairman of the Planning and Zoning Commission shall, within three (3) business days, either approve the Director's decision or inform the Director to place the matter on the agenda of the next regular meeting of the Planning and Zoning Commission for which there is adequate notice time to meet the posting requirements of the Texas Open Meetings Act. If the agenda for the next regular meeting has been posted, the matter will be placed on a subsequent agenda. The Planning and Zoning Commission shall consider and advise with regard to the Design Guidelines and approve or disapprove the application under the Design Standards if applicable. If the chairman or vice chairman of the board does not take any action within three (3) business days, it shall be deemed that

such person has approved the Director's decision to approve the changes detailed on the application.

- (g) Significant Alteration. If the Director determines that the application involves a significant alteration (that is, not an Insignificant Alteration) of the Construction Design Elements, or for any other reason does not desire to act under Section (f) above, and if the application is not submitted as an adjunct application to another development application he/she shall place the application on the agenda of the next regular meeting of the Planning and Zoning Commission for which there is adequate notice time to meet the posting requirements of the Texas Open Meetings Act. If the agenda for the next regular meeting has been posted, the matter will be placed on a subsequent agenda. The Planning and Zoning Commission shall consider the Design Guidelines and approve or disapprove the application under the Design Standards if applicable.
- (h) Time for Approval. All times for approval shall be within the same periods as the applicable development application to which an application hereunder is adjunct. Subject to the exception herein, applications which are not adjunct to another development application shall be approved or disapproved within sixty (60) days after the meeting of the DRC at which the completed application is considered. The applicant shall be given written notice of the time and place of any Planning and Zoning Commission meeting by email, or if the applicant does not have email, then by regular mail to the address on the application. The Planning and Zoning Commission may hold any additional meetings within such sixty (60) day period as may be necessary to carry out its responsibilities under this article. If action is not taken within said sixty (60) day period, it shall be deemed that the application is approved by the Planning and Zoning Commission.

The exceptions to the time for approval are:

- (1) The applicant or his/her agent, or representative, shall attend the meeting of the Planning and Zoning Commission during which his/her application is considered, otherwise the Planning and Zoning Commission shall not take action, and the application will be deemed to be incomplete. The Planning and Zoning Commission shall place the item on its next regular agenda, or sooner at the discretion of the Chairman of the Planning and Zoning Commission and make its determination and forward it to the Director within sixty (60) days after the meeting attended by the applicant or his or her agent or other representative unless (2) below applies.
- (2) If the Planning and Zoning Commission and/or the Director and the applicant have mutually agreed to extend the period of review.

5-473.- Criteria for Approval of an Application

The Director and Planning and Zoning Commission shall review and approve or disapprove the proposed application, as applicable, using the criteria set forth in the addenda hereto pages ____ through ____ which describe in detail the Design Guidelines and Design Standards. The Director and Planning and Zoning Commission will encourage adherence to the Design Guidelines and may make suggestions for adherence to said guidelines. The Director and Planning and Zoning Commission shall apply the Design Standards to the application, and require changes as necessary for compliance with said standards.

Appendix A

ARTICLE 5.000. - CONSTRUCTIONS PERMITS AND FEES

Sec. 5.100. - Fees for Building Permits.

(l) Fee for Design Standards or Design Guidelines review: \$100.00 per application.

END OF CODE TEXT

If any provision of this ordinance or the application hereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of the ordinance which can be given effect without defeating the purpose or objective of the provisions, and to this end, the provisions of this ordinance are declared to be severable.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Penalties provided for in the Code Ordinances of the City of Fredericksburg shall apply to violations hereof.

That this ordinance shall take effect from and after the date of its passage and publication in accordance with the law.

Linda Langerhans, Mayor
City of Fredericksburg

ATTEST:

Shelley Britton, City Secretary

APPROVED AS TO FORM:

Pat McGowan, City Attorney

DESIGN STANDARDS

OVERVIEW

EXISTING CONDITIONS ANALYSIS

DESIGN STANDARDS

IMPLEMENTATION

The purpose of this chapter is to **create a set of Design Standards for new development** in the entry corridors of Fredericksburg. These guidelines will ensure that new development in Fredericksburg protects and enhances the experience of entering the City and keeps it **consistent, attractive and responsive to the unique Hill County character.**



Lady Bird
Johnson
Municipal Park



OVERVIEW

Design standards are the standards to which development should be held that protect and enhance the overall appearance and 'brand' of a community. The guidelines set the expectations for developers as to how new buildings should look and interact with their surroundings. Cities adopt design guidelines for many reasons, including the protection of historic districts and to create visually appealing thoroughfares and neighborhoods. Fredericksburg has had design guidelines for many years in the Historic District. These guidelines have created a beautiful destination, protecting the existing historic buildings and ensuring new development complements the existing historic character.

The Comprehensive Plan identified the goal of expanding design guidelines outside of the Historic District to address development along the major entries into Fredericksburg. The purpose for doing this is to enhance the visual appearance of these areas, create gateway features to introduce visitors to Fredericksburg, and to support the unique identity and character of the community. Because the existing character of each of these entries is different, the recommendations for guidelines will vary accordingly.

Related Plans

Historic District Design Guidelines

Fredericksburg has a unique identity created by the collection of historic homes and businesses in its downtown core. This area developed over many years in a unique German Hill Country style based on stone building material. This unique character has been preserved through the creation of a nationally registered Historic District and design guidelines to ensure preservation of the appearance of this area.

The City adopted design guidelines in 1997 to provide direction on appropriate development standards within the Historic District. These guidelines define the expectations for what new development will look like, as well as what alterations can be made to existing buildings. The guidelines are administered by the Historic Review Board, which reviews applications for new construction and alterations to buildings within the district and grants certificates of appropriateness for projects that meet the guidelines.



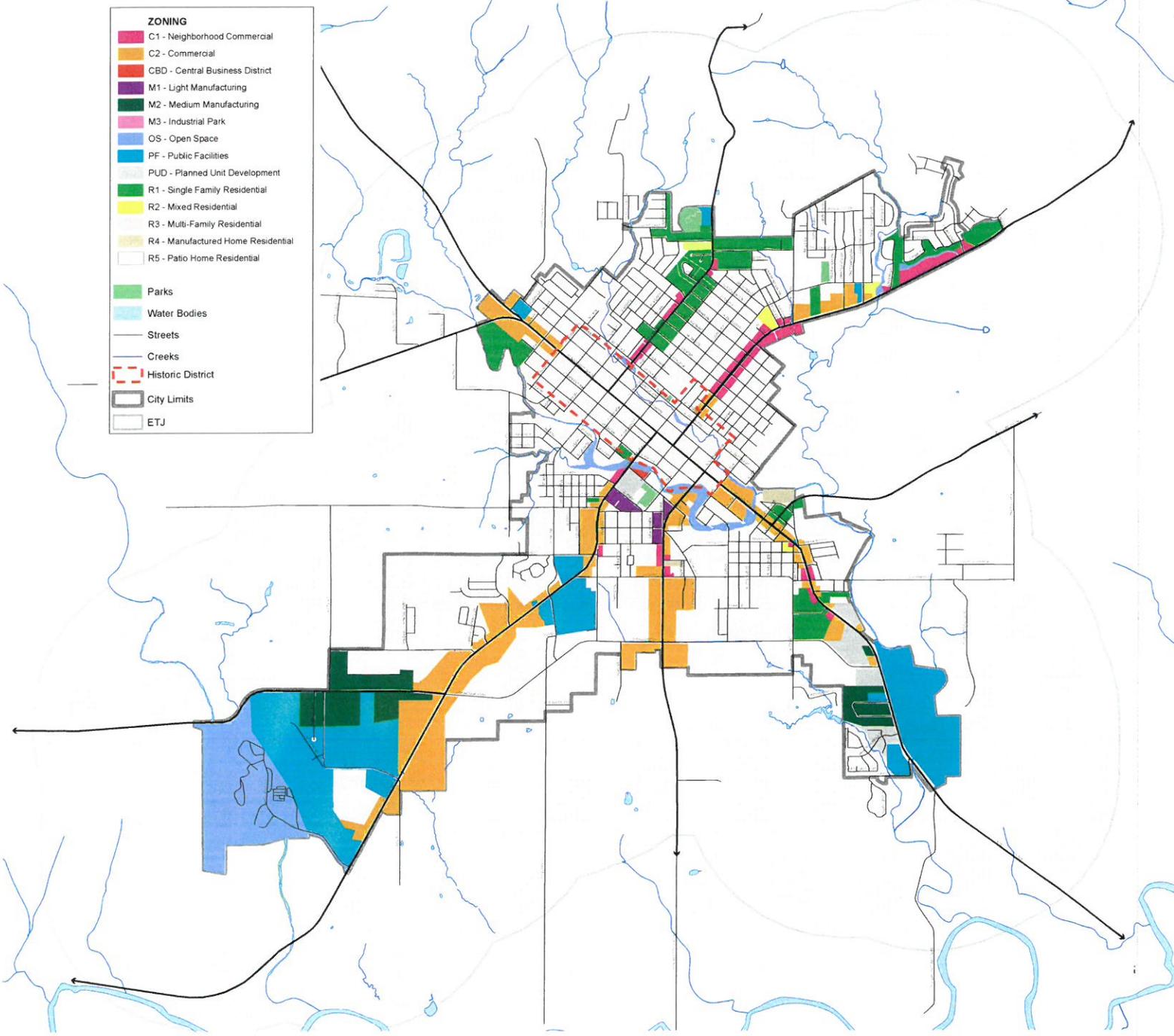


Figure 20: Entry Corridor Properties Governed by Design Standards



EXISTING CONDITIONS ANALYSIS

Design Standards

Design standards are intended to guide development to ensure it contributes to, or enhances, the existing character of an area. The areas defined in this plan currently do not have design standards, meaning there are not guidelines for the appearance of new construction or how it relates to existing development in the area. The recommendations in this plan address the concerns identified through the public engagement process and provide for design standards that reflect community goals, enhance the character of Fredericksburg, and allow for orderly development. To implement the Issues Update including the Design Standards, the City will have to adopt an Ordinance that defines the Design Standards and provides the process to apply them.

Design standards go beyond simply what is built, they also provide direction on how buildings relate to each other and other elements on or near the site. For this plan, the following will be addressed in the design guideline recommendations:

Building Design

1. Architectural Style
2. Architectural Materials
3. Architectural Color
4. Architectural Features
5. Massing & Scale
6. Signage
7. Building Height
8. Setbacks & Frontage

Site Design

9. Landscaping
10. Lighting
11. Service Areas
12. Parking & Access
13. Drainage and Stormwater
14. Streetscape

By addressing development in a comprehensive fashion, the Design Standards will serve as a tool to implement community goals, enhance the entries into Fredericksburg and provide a clear direction for builders on community expectations and standards.



EXISTING HISTORIC DISTRICT GUIDELINES

RELATED PLANS

Historic District Guidelines

Fredericksburg's identity is created by the collection of historic homes and businesses in its downtown core. This area developed over many years in a variety of styles based on the influence of immigrants and available building materials. This character has been preserved through the creation of a Nationally Registered Historic District and attending design guidelines to ensure preservation of the appearance of this area.

The City created design guidelines in 1997 to provide direction on appropriate development standards within the Historic District. These guidelines define the expectations for what new development will look like, as well as what alterations can be made to existing buildings. The guidelines are administered by the Historic Review Board, which reviews applications for new construction and alterations to buildings within the district and grants certificates of appropriateness for projects that meet the standards.

The Design Guidelines identify six distinct styles found in the Historic District. These include:

- Pioneer – split logs, rock facades, wide chinking, limestone additions, Sunday houses
- Gothic Revival – steeply pitched roofs, arches, towers
- Italianate – wide overhanging eaves, low pitched roof, grouped supports
- Folk Victorian – symmetrical façade, spindle work on supports and railings, centered bable, one story
- Bungalow – decorative beams, partial width, deep porches, exposed roof rafters, gabled roofs
- Commercial – one story, three bay façade, recessed entrance, transom windows, decorative cornice

Buildings in these styles can be found intermixed throughout the Historic District and this eclecticism contributes greatly to the attractiveness of Fredericksburg.

The Design Standards provide clear direction on planning and implementing restoration projects on existing buildings. Guidelines provide direction on proper ways to clean and repair historic structures to protect their existing materials. It also outlines options for making improvements that will complement existing materials and not cause further harm. Signage is also included to ensure signage contributes to the appearance and character of the area. Design Standards for the entry corridors will not likely need to be as exhaustive as those within the Historic District because the current character of the area and most existing construction is not historic and deserving of such consideration.

DESIGN STANDARDS RECOMMENDATIONS

Organization of Chapter

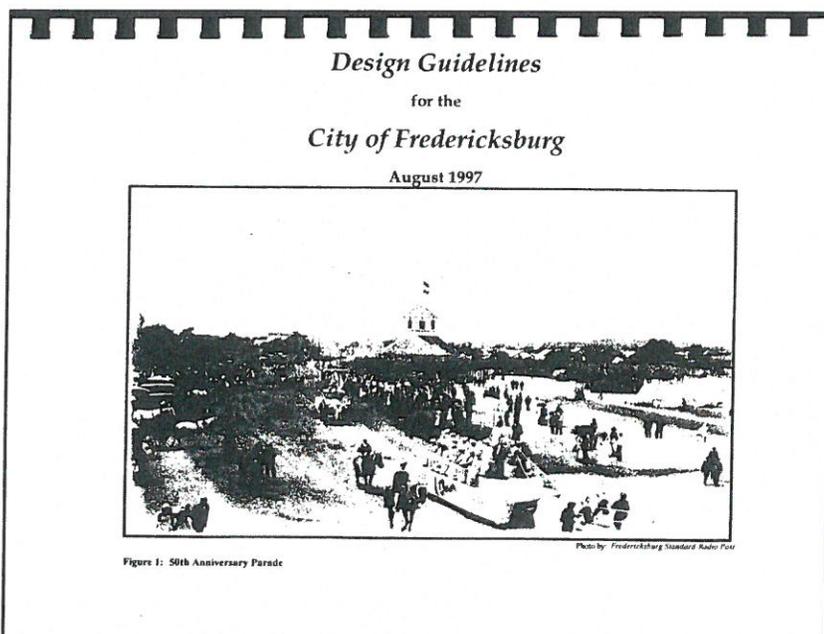
Each element of the Design Standards is organized in the same manner to provide consistency and flexibility. The following outline describes this organization and the purpose of each sub-section.

Topic- The key issue to be addressed. Examples include landscaping, materials, or signage.

Intent- This describes the primary design or functional objective for the stated Topic. Innovation and historic sensitivity is encouraged in Fredericksburg and as such carefully understanding the Intent is critical for meeting the spirit of this document while bringing forward new solutions.

Design Standards- These are requirements of the City of Fredericksburg, overseen by the Planning Commission. In order to receive approval from the Planning Commission, these standards must be met. Standards use the terms "shall" and "must" to indicate that compliance is required.

Design Guidelines- Guidelines are design strategies, features, or techniques that the Design Review Board is encouraging and that support the goals of the Comprehensive Plan. Guidelines use terms such as "may," "encouraged," "should," and "to be considered." In cases where the guidelines may be difficult to achieve, or an innovative solution may provide a better answer, the topic intent may be used to satisfy the requirements.



APPLICABILITY

WHEN DO THESE STANDARDS APPLY?

How Standards and Guidelines are Used

The Design Standards provide direction to property owners and developers when they plan improvements to properties in the entry corridors (“Figure 20: Entry Corridor Properties Governed by Design Standards” on page 68). They ensure that such alterations, repairs and new construction will help to achieve the design objectives for the area. The Design Standards also provide a basis for the City to determine the appropriateness of such improvements when they are proposed.

Use by Owners

A land owner, developer, tenant, architect or land planner should refer to these Design Standards before initiating any project.

Use by City

The City will also use the Design Standards for formal review of proposed projects. In this review, it is important to recognize that each case, a unique combination of design variable is at play and, as a result, the degree to which each relevant Design Standard is applicable may vary.

Applicability

The Design Standards shall apply to all properties directly adjacent to the entry corridors. These properties are identified on “Figure 20: Entry Corridor Properties Governed by Design Standards” on page 68. A land owner or developer must follow the Standards and Guidelines concurrent with one of the following permits:

1. Building Permit
2. Sign Permit
3. Street and Sidewalk Construction Permit
4. Conditional Use Permit
5. Site Plan Review
6. Platting
7. Placement in the Public R.O.W Permit
8. Temporary Use Permit

DESIGN STANDARDS

DESIGN STANDARDS AND GUIDELINES APPLICABILITY MATRIX								
Design Standard Category	Building Permit	Sign Permit	Street and Sidewalk Construction Permit	Conditional Use Permit	Site Plan Review	Platting	Placement in the Public R.O.W. Permit	Temporary Use Permit
Architectural Style	○	○	✗	○	○	✗	✗	○
Architectural Materials	○	○	✗	○	○	✗	○	○
Architectural Color	○	○	✗	○	○	✗	○	○
Architectural Features	○	○	✗	○	○	✗	○	○
Massing and Scale	○	✗	✗	○	○	✗	✗	○
Signage	○	○	○	○	○	✗	○	○
Building Height	○	✗	✗	○	○	✗	✗	○
Setbacks	○	✗	✗	○	○	○	○	○
Landscaping	○	○	○	○	○	○	○	○
Lighting	○	○	○	○	○	✗	○	○
Service Areas	○	○	○	○	○	○	○	○
Parking & Access	✗	○	○	○	○	○	○	○
Drainage and Stormwater	✗	✗	✗	○	○	○	○	○
Streetscape	✗	✗	✗	○	○	○	○	○

○ = Standards and Guidelines apply when relevant.*

✗ = Standards and Guidelines do not apply.

*The Standards and/or Guidelines shall apply to only the extent of construction or development under the purview of the permit, site plan, or zoning application.



DESIGN STANDARDS- BUILDING DESIGN

1. ARCHITECTURAL STYLE

Intent

Architectural style is the overall character or design of a building that makes it identifiable. The style is typically determined by the period when a building was built, and the culture that built it. The architecture in the Historic District can be defined as eclectic, with multiple techniques and styles throughout the area.

Historically, the settlers to the hills of central Texas brought their carpentry and stone mason skills to their buildings. The locally available white limestone and later brown sandstone were used with the local cedar to construct the well-crafted buildings throughout the region. The more rustic simple nature of Texas Hill Country style is also due to the lean times when the area was being settled, resulting in a simple style. The Hill Country style has a modern elegance because of its simplicity, materials and craftsmanship in construction.

The intent of the Architectural Style Standards are to:

- Create a uniform and cohesive corridor of development;
- Preserve the City's historic and cultural resources, so that they contribute to the special character and quality of Fredericksburg;
- Encourage adaptive reuse, rehabilitation, and retrofitting of historic buildings in which the original use is no longer feasible;
- Maintain high quality design and craftsmanship of all architecture along the entry corridor; and
- Extend the authentic character of Fredericksburg beyond the Historic District.

Applicability

1.0 – Architectural Styles Design Standards apply to all redevelopment in the entry corridors.



Standards

1.1 – Adhere to the Historic District Guidelines when rehabilitating designated historic landmark buildings or potential historic buildings.

1.2 – The architectural style of the entry corridor should be reflective of the Texas Hill Country aesthetic.

Guideline

1.3 – New designs should be compatible with the design traditions of the established neighborhoods and regional Texas Hill Country aesthetic. It is not the intent of these guidelines to require that new buildings copy older building styles. Therefore, use traditional building forms and broader similarities of design in order to be compatible with existing buildings in the area that reflect the traditional context.

1.4 – The use of standardized “corporate” architectural designs associated with chain or franchise buildings (prevalent with restaurants, service stations and retail stores) is strongly discouraged and alternative designs consistent with this design manual may be required.

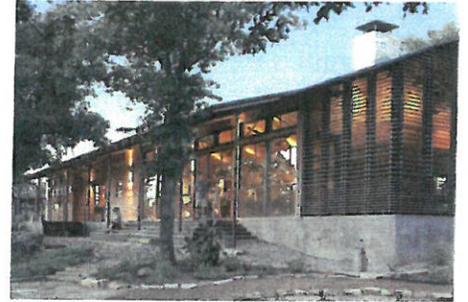
DESIGN STANDARDS- BUILDING DESIGN



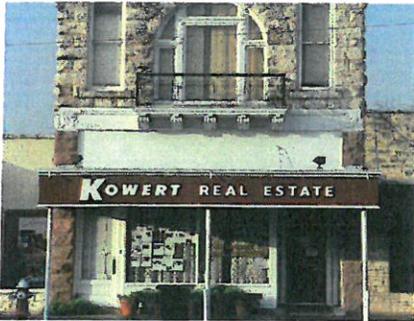
- **Pioneer** - Split logs, rock facades, wide chinking, limestone additions, Sunday houses



- **Gothic Revival** - Steeply pitched roofs, arches, towers



- **Texas Regional (Not in Historic Guidelines)** sophisticated, modern, local materials, regional design techniques, metal brackets with awnings



- **Commercial** - One to three story, three bay façade, recessed entrance, transom windows, decorative cornice



- **Italianate** - wide overhanging eaves, low pitched roof, grouped supports



- **Bungalow** - decorative beams, partial width, deep porches, exposed roof rafters, gabled roofs



- **Folk Victorian** - symmetrical façade, spindle work on supports and railings, one story



DESIGN STANDARDS- BUILDING DESIGN

2. ARCHITECTURAL MATERIALS

Intent

The materials used in construction are a primary element in the appearance of the building. Much of the newer construction along the entry corridors utilizes modern materials, including metal facades, tilt wall concrete, etc. These materials allow for more efficient and cost effective construction; however, they do not contribute to the overall character and appearance. Design guidelines for materials will address this to ensure new construction utilizes appropriate materials to enhance entryway appearance.

The intent of the Architectural Materials Standards are to:

- Adhere to the Historic District Guidelines when rehabilitating historic buildings;
- Ensure materials are fitting with the Texas Hill Country style prevalent in Fredericksburg;
- Utilize materials that have minimum environmental impacts (glare, SRI, excessive heat, etc.);
- Use materials that contribute to the visual interest of the structures; and
- Use efficient and cost effective construction.

Applicability

2.0 – Architectural Materials Design Standards apply to all redevelopment in the entry corridors.



Standards

2.1 – Buildings shall employ authentic, textured materials, compatible with the traditional Hill Country aesthetic. Highly reflective materials are unacceptable, because of their tendency to create uncomfortable glare conditions,

2.2 – Abide by Historic District Guidelines for preserving historic buildings.

2.3 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (per Historic Design Guidelines).

2.4 – Do not create a false sense of era or appearance with replacement of metal details or features that are not based upon any historical evidence (per Historic Design Guidelines).

Guidelines

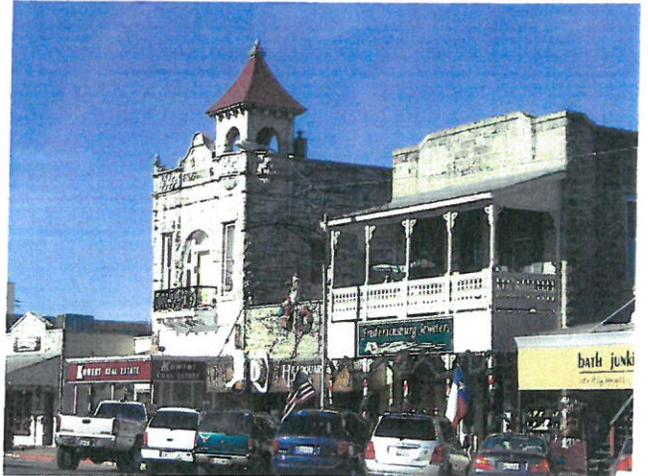
2.5 – Select materials native to the Hill Country, such as cedar, limestone and brown sandstone.

2.6 – New developments should choose materials that offer texture and avoid monotonous faces to add visual interest and reduce its apparent scale.

DESIGN STANDARDS- BUILDING DESIGN



- Building materials of stone and wood are well preserved which maintain the historic character of the city.



- Common materials create the sense of a district and identity.
- Stone is a good example of material that is prevalent in Fredericksburg.



- The outdoor covered pavilion at 4.0 Cellars is made of wood and steel and balances the harmony of the architecture with the surrounding landscape.
- Modern materials such as steel creatively used with wood creates a contemporary Texas Hill County feel.



- The use of different materials on a building can break up the visual scale of the building, allowing for a more relaxed and comfortable pedestrian experience.



DESIGN STANDARDS- BUILDING DESIGN

3. ARCHITECTURAL COLOR

Intent

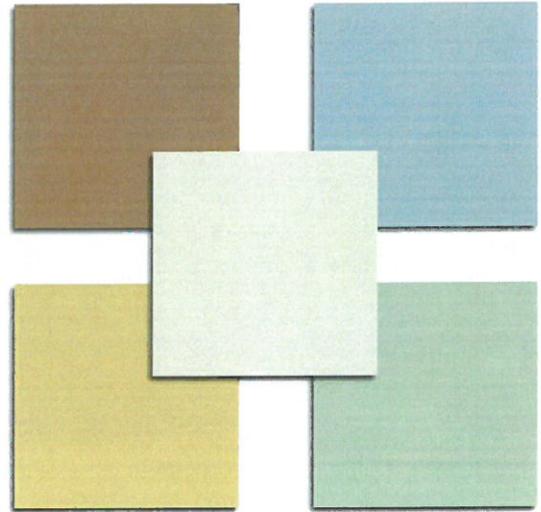
Color may seem a small element in overall community design, but it plays a significant role in appearance. Colors that would be perfectly appropriate in one community, such as the pastels found on homes and businesses in Port Aransas, would look wildly out of place in Fredericksburg. This section shouldn't limit landowners to four shades of beige; however, there should be consideration of what colors coordinate with existing development and the overall character of the community.

The intent of the Architectural Color Standards are to:

- Create a pleasing color scheme that preserves and highlights the heritage of Fredericksburg; and
- Create a robust color palette which allows enough variation to not seem repetitive, but still restrictive enough to keep outlandish color schemes from occurring.

Applicability

3.0 – Architectural Colors Design Standards apply to all redevelopment in the entry corridors.



Standards

3.1 – Choose colors used traditionally in Fredericksburg such as muted shades of greens, blues, and tans (Historic Design Guidelines).

3.2 – Use color to coordinate façade elements in an overall composition and tie all of the building elements together.

3.3 – Reserve bright colors for accents only. Limit the use of bright colors to no more than 15 percent of the overall exterior building façade.

Guidelines

3.4 – Predominate building colors should be of earth tones, but may be accented with brighter colors to provide color variation, punctuation, and eclecticism unique to Fredericksburg.

DESIGN STANDARDS- BUILDING DESIGN



- Architectural colors of light purple/gray are muted and fit nicely in the Hill Country.



- Bright, architectural colors are used with restraint and sophistication.



- The use of traditional colors against the historic limestone rock creates a visually appealing and eye-catching structure.



- The red roof is color coordinated with the signage front and provides visual interest to the building.
- Color is limited to four different colors red, black, tan, and white, with the majority of the color coming from the natural limestone material.



DESIGN STANDARDS- BUILDING DESIGN

4. ARCHITECTURAL FEATURES

Intent

Architectural features are the specific elements that create the appearance of the building. These include the windows, canopies and awnings, roof, parapets, etc. To create a consistent look throughout an area, buildings should share common features and elements. It is not that they need to be uniform on every building, rather that there is a consistency to them.

The intent of the Architectural Features Standards are to:

- Use features on buildings to help promote not only historical aesthetic value, but also create strong social settings when applicable;
- Create retail and commercial spaces that feel open with use of large windows, and architectural features which promote a “human scale;”
- Maintain a feeling of historical character in architecture throughout the city;
- Provide detailed façade treatments on any elevation that is visible from streets/corridors or from any primary elevations of adjoining buildings; and
- Avoid use of unadorned blank walls on elevations facing entry corridors and side streets.

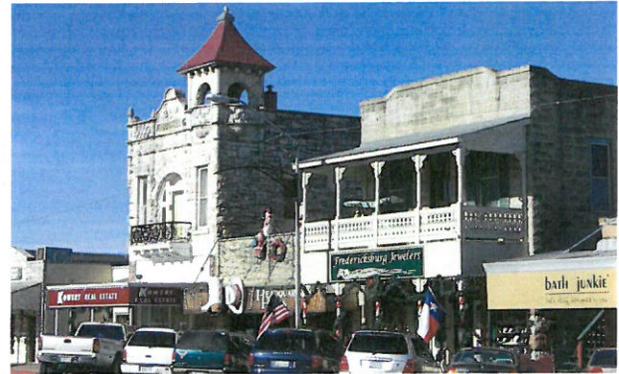
Applicability

4.0 – Architectural Features Design Standards apply to all redevelopment in the entry corridors.

Standards

4.1 – Blank or featureless walls will not be approved along parks, plazas, entry corridors or side streets.

4.2 – Design buildings with a “human scale” by using architectural enhancements. The building facade facing the parks, plazas, entry corridors or side streets shall have visible, clearly defined customer entrances that include at least three of the following elements: canopies or porticos, overhangs, recesses or projections, arcades, raised



cornice parapets over the entrance door, distinctive roof forms, arches, outdoor patios or plazas, display windows, or integral planters.

4.3 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines)

4.4 – Windows and doors shall be equally spaced and provide rhythm along the façade of the building.

4.5 – With exception of historic or potential historic landmarks, at least 40 percent of the ground floor façade facing parks, plazas, entry corridors or side streets shall be constructed of clear and non-tinted windows.

4.6 – For any multi-tenant commercial development, a covered arcade/structural canopy shall be provided along the front facade of the building. Arcades are covered walkways connected to the principal building. They should be a minimum of five feet in width and designed to provide covered areas for relief from the weather. Different arcade/structural canopy designs may be used for each individual tenant/business within a multi-tenant commercial development provided that they blend aesthetically with the front facade of the building.

Guidelines

4.7 – Choose features that fit the scale of the building and its surroundings.

4.8 – If a shed roof or flat roof design is used, add a parapet wall to screen the roof.

DESIGN STANDARDS- BUILDING DESIGN



- Window awnings and roof overhangs are not only visually appealing but also provide cover from the weather and give spaces definition and character.



- The covered arcade is provided along the front facade of the building and provides a comfortable space for relaxation.

DESIGN STANDARDS- BUILDING DESIGN

5. MASSING AND SCALE

Intent

The massing and scale of buildings helps preserve the historic and “small town” feel of the region. Residents and property owners identify with this character and would like to see it maintained, thus it is important for new development to be consistent.

The mass and scale of a development relates to the mass of the building and its scale of architectural features related to the structures size. If the mass of the building is too large, it will not properly integrate within the surrounding environment. If the scale is too large, the building will look disproportional and out of touch with standards in place within the community. Therefore the mass and scale of buildings built within the Historic District and entry corridors should encompass the ideas of size and location on lots relating to the architectural style already in place within the built environment.

The intent of the Massing and Scale Standards are to:

- Fit the mass and scale of the broader context of the landscape and surrounding development; and
- Break up larger building mass by varied façade treatments and articulated roof treatments to keep scale accurate.

Applicability

5.0 – Massing and Scale Design Standards apply to all redevelopment in the entry corridors except for single family residential.



Standards

- 5.1 – Break up the front of large retail buildings by dividing it into individual bays 25 to 40 feet wide.
- 5.2 – Use variation in materials, textures, patterns, colors, and details to break down the mass and scale of a building
- 5.3 – Building mass shall be used that is appropriate to the site. Buildings of the greatest footprint shall be located towards the center of a development where the impact on adjacent uses is the least.
- 5.4 – Each building shall have sufficient facade relief and interruption every 30 feet so as to provide visual architectural interest.

Guidelines

- 5.5 – When making transitions to lower density areas, modulate the mass of the building to relate to smaller buildings.
- 5.6 – Faux windows and similar details are not appropriate articulation.
- 5.7 – Buildings are encouraged to be contiguously arranged along the street face, and large breaks between buildings in identified development sites should be avoided.

DESIGN STANDARDS- BUILDING DESIGN



- Neighboring buildings are similar in mass and scale to maintain a visual flow along the street.
- The building scale maintains a pedestrian feel.



- By placing a setback between first and second floors, streets seem more approachable and open from the pedestrian level.



- Variation in architectural materials, textures, and patterns break down the mass and scale of the building.
- Buildings have facade relief and interruption every 30 feet to reduce monotony.



- By adding different textures and materials to different parts of the building, what is a large and expansive building to the eye looks properly sized and approachable.



DESIGN STANDARDS- BUILDING DESIGN

6. SIGNAGE

Intent

Signage is one issue that can create significant conflict between developers, business owners, and the City. This is because owners want to maximize their visibility to passersby, while the City wants to protect overall safety and appearance and not have a profusion of signs. Appropriate sign regulations balance the concerns of business owners with the public welfare concerns. Signs are effective in garnering attention, while not detracting from overall appearance. Signs should also be scaled to their environment. Signs along a highway will be different from those in a primarily pedestrian area.

The intent of the Signage Standards are to:

- Ensure preservation of historic heritage and atmosphere; and
- Improve aesthetic appeal around signage.

Applicability

6.0 – Signage Design Standards apply to all redevelopment in the entry corridors.



Standards

6.1 – A landscaped base area shall be provided for monument or ground signs appropriate to the mass and height of the sign. All areas within 5 feet of the base of any sign shall be landscaped. The landscaped area may include trees, shrubs, flowering perennials, ornamental tall grass, fountains, water features, decorative stonework, planters, sculpture and decorative paving.

Guidelines

6.2 – A minimal number of colors should be used per sign where possible. Bright colors should be reserved for accent only.

6.3 – Integrate signs into building and site design so they do not appear as an afterthought.

6.4 – Attached signs should be located above the building entrance, storefront opening, or at other locations that are compatible with the architectural features of the building

DESIGN STANDARDS- BUILDING DESIGN



- Signage is low to the ground and made of local materials such as stone.
- Signage fits within the landscape and doesn't detract from the surrounding environment.



- Signage is incorporated into building design.
- Fonts and text styles are incorporated into the color scheme and design of the building.

DESIGN STANDARDS- BUILDING DESIGN

7. BUILDING HEIGHT

Intent

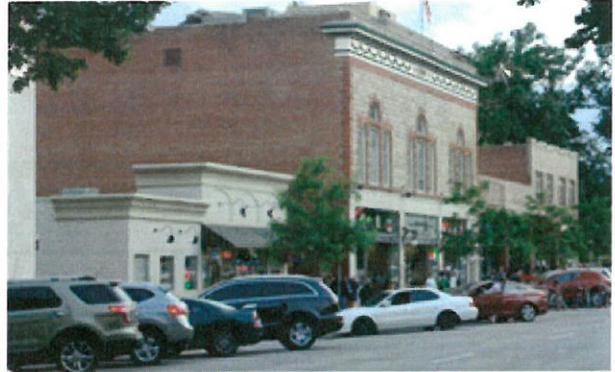
Building height is important to maintain character of a place and to improve the general quality of the building environment, pedestrian spaces and pedestrian relationships to buildings. The goal is not uniformity, rather heights should be within a range that work well together. When buildings are too tall, they can create a canyon effect, making an area feel enclosed and unpleasant. Buildings that are too short lose definition and do not contribute to the character of an area. The key is to work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency. The image shows how different heights can work together, with two story buildings (occasionally higher buildings are present at key intersections).

The intent of the Building Height Standards are to:

- Create a unique corridor and downtown feeling with consistent building heights which correspond to the historic streetscape feeling of central Fredericksburg;
- Ensure adherence to maximum building height so that the character is not lost or damaged; and
- Step roof down towards front of building to keep streetscape from becoming overbuilt and to form pedestrian gathering places.

Applicability

7.0 – Building Height Design Standards apply to all redevelopment in the entry corridors.



Standards

7.1 – Use existing height standards from the Zoning Ordinance.

Guidelines

7.2 – Work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency.

7.3 – Use building height to define neighborhood and district edges, and to provide a “human scale.”

7.4 – Floor to floor heights of a building can have an impact on the mass of the building. Typical ceilings in a residence are 8-9 feet. First floors of office buildings or retail shops can range from 10-15 feet. Upper floors that include residential or office are generally 8-12 feet in height. Actual or implied floor-to-floor heights above 15-20 feet on the exterior should be avoided, as a building may begin to lose its “human scale” appearance.

DESIGN STANDARDS- BUILDING DESIGN



- By using different materials and heights, large sized buildings can appear to be separate and smaller in scale.



- With proper setbacks and landscaping, buildings of different but similar height can easily blend together and create a lively and varied streetscape.



- By using different building heights, downtown areas can add character and sense of place.



- An example of how one, two and three story buildings can mesh well in areas that have proper landscaping, setbacks, and material use.



DESIGN STANDARDS- SITE DESIGN

8. SETBACKS & FRONTAGE

Intent

Setbacks define the relationship of a building to the street frontage, and how far the building is from the ROW or sidewalk. Along highways, it may be appropriate for buildings to be set farther back away from the roadway; while in pedestrian areas, it is preferable to have buildings up to the sidewalk. In conventional development, buildings are setback from the road behind parking lots. This ensures adequate parking and high visibility for the business; however, it does not contribute to the aesthetics of an area. Much of the development within the entryways to Fredericksburg follows this pattern.

The intent of the Setbacks and Frontage Standards are to:

- Preserve characteristics of Fredericksburg's small town downtown heritage through the use of building setback.

Applicability

8.0 – Setback Design Standards apply to all redevelopment in the entry corridors except for single family residential.



Standards

8.1 – Doors and entryways shall be constructed facing the entry corridor and any side streets. Secondary entrances may be constructed to allow convenient access from secondary streets, adjacent buildings, sidewalks or parking.

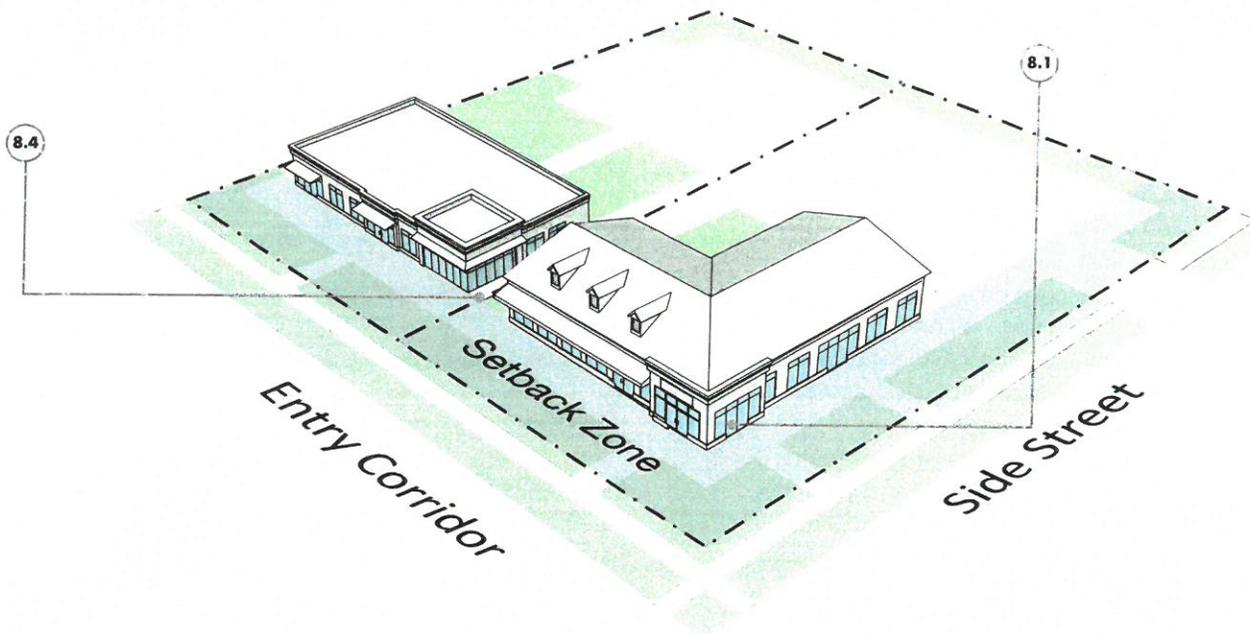
Guidelines

8.2 – The front door should connect to the sidewalk along the entry corridor.

8.3 – In areas adjacent to or near the Historic District, new buildings should match adjacent building setback in order to preserve the Historic District character and to encourage walkability.

8.4 – A contiguous building arrangement without large breaks between buildings along the street face is encouraged.

DESIGN STANDARDS- SITE DESIGN



- By encouraging building set back along entry corridors, the city will have room to provide not only landscaping but also areas of public social space along pathways and pedestrian walkways.



- Parking is not located between the building and creek
- Buildings should take advantage of adjacencies to Town Creek and Barons Creek by providing amenities between the building and the creek



DESIGN STANDARDS- SITE DESIGN

9. LANDSCAPING

Intent

Appropriate landscaping plays a significant role in the character and appearance of an area. Landscaping can be used as a buffer to disguise unappealing features, like utilities and parking. Landscaping can also enhance pedestrian areas, offering shade and a visual break from the built environment and serving as a buffer to the street. The challenge of landscaping is the on-going maintenance required to keep it attractive, as well as water usage. Low water landscaping should be utilized to ensure minimal water use and lower maintenance for landscape features. The City can work with property owners and civic organizations, such as the Garden Club, to adopt landscape features to provide on-going maintenance and care for them.

The intent of the Landscaping Standards are to:

- Create street-to-building buffering landscapes with native and drought resistant plant species for more pleasurable vehicular and pedestrian experience;
- Create a cohesive and consistent tree canopy along pedestrian pathways to create a pleasing and comfortable environment for non-vehicular traffic;
- Restore existing natural areas where possible; and
- Create public spaces and common areas that invite residents and tourists to visit with appealing and beautiful landscaping.

Applicability

9.0 – Landscaping Design Standards apply to all redevelopment in the entry corridors.

Standards

9.1 – Landscaping, including planting and trees, shall be provided as a buffer between the street and parking area.



Guidelines

9.2 – To create a cohesive tree canopy that provides for consistent shade, street trees should be planted a minimum of every 50 feet on center (centered between the curb and sidewalk). The same amount of trees may also be clustered in groups.

9.3 – Native, drought tolerant and adapted landscape species should be used to the greatest extent possible.

9.4 – A minimum of 50 percent of the plant species should be selected from the approved plant list.

9.5 – Minimize impervious coverage to reduce the need for energy and water consumption.

9.6 – Utilize parks, open spaces and natural areas as buffers between incompatible uses or as a means of maintaining natural viewsheds.

9.7 – Planting is preferable to turf within the right-of-way, including spaces between sidewalks and the street. Landscaping between the curb and sidewalk should be no taller than 24 inches tall and trees should be limbed up 7.5 feet above the sidewalk in the sight distance triangle.

9.8 – Every effort should be made to protect underground utilities such as water, sewer, phone and cable from tree or plant roots.

9.9 – Restoration of natural areas is strongly encouraged during new development and, to the extent possible, redevelopment.

9.10 – Wherever possible, parks should take advantage of existing mature vegetation by preserving it and

DESIGN STANDARDS- SITE DESIGN

incorporating it as a feature of the park to maximize use of shaded areas.

9.11 – Minimize grading and preserve existing vegetation whenever possible.

9.12 – Landscapes should be irrigated to establish planting and provide the correct water levels to support the long term growth of landscape. Irrigation systems should use efficient water methods, group planting by similar watering needs, and use moisture sensors to control the use of water.

9.13 – Root barriers should be used in planting areas between the sidewalk and street which are less than 10 feet in width.



- Native and drought tolerant plantings are encouraged.
- Planting is provided as a buffer between the sidewalk and street.



- Agaves, grasses, and cacti are appropriate plant materials that have low water requirements.



- Seasonal planting is provided between the street and the sidewalk, creating a buffer between automobile and pedestrian sidewalk, while keeping within the maximum height of 2 feet.



DESIGN STANDARDS- SITE DESIGN

Table 1: Recommended Street Trees (Planting Areas >10')

STREET TREES	
Common Name	Scientific Name
Shumard Oak	Quercus shumardii
Chinquapin Oak	Quercus muehlenbergii
Montezuma Cypress	Taxodium mucronatum
Lacey Oak	Quercus laceyi
River Birch	Betula nigra
Mexican Sycamore	Platanus mexicana

Table 2: Recommended Street Trees

SCREENING	
Common Name	Scientific Name
Red Maple	Acer rubrum
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Texas Red Oak	Quercus buckleyi
Shumard Oak	Quercus shumardii
Live Oak	Quercus virginiana
Bald Cypress	Taxodium Distichum

Table 3: Recommended Trees for Screening

SCREENING	
Common Name	Scientific Name
River Birch	Betula nigra
Bottlebrush	Callistemmon sp.
Texas Redbud	Cercis canadensis 'Texensis'
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'

Table 4: Recommended Trees for General Landscaping

TREES	
Common Name	Scientific Name
Florida Maple	Acer barbatum
Red Maple	Acer rubrum
River Birch	Betula nigra
Bottlebrush	Callistemmon
Pecan	Carya illinoensis
Texas Redbud	Cercis canadensis 'Texensis'
Texas Persimmon	Diospyros texana
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Savannah Holly	Ilex x 'Savannah'
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'
Sweetbay Magnolia	Magnolia virginiana
Slash Pine	Pinus elliottii
Loblolly Pine	Pinus taeda
Texas Pistache	Pistacia texensis
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Mexican Plum	Prunus Mexicana
Sawtooth Oak	Quercus acutissima
Bur Oak	Quercus macrocarpa
Cow Oak	Quercus michauxii
Nuttall Oak	Quercus nuttallii
Live Oak	Quercus virginiana
Eve's Necklace	Sophora affinis
Bald Cypress	Taxodium Distichum
American Elm	Ulmus Americana

Table 5: Recommended Plants for General Landscaping

GROUND COVERS	
Common Name	Scientific Name
Ajuga	Ajuga sp.
Centipedegrass	Eremochloa ophiuriodes
Homestead Verbena	Glandularia canadensis
Daylily	Hemerocallis sp.
Red Yucca	Hesperaloe parvifolia
Trailing Juniper	Juniperus sp.
Trailing Lantana	Lantana sp.
Liriope	Liriope sp.
Dwarf Nandina	Nandina sp.
Katie Ruellia	Ruellia elegans
Yucca	Yucca sp.
Rain Lily	Zephyranthes sp.
ORNAMENTAL GRASSES	
Common Name	Scientific Name
Bluestem	Andropogon sp.
Sideoats Gamma	Bouteloua curtipendula
Weeping Lovegrass	Eragrostis curvala
Purple Lovegrass	Eragrostis spectabilis
Sand Lovegrass	Eragrostis trichocolea
Fiber Optic Grass	Isolepis cernua
Purple Autumn	Miscanthus sinensis
Zebra	Miscanthus sinensis 'Zebri'
Muhly	Muehlenbergia sp.
Little Bunny Fountain	Pennisetum alopecuriodes
Fountain	Pennisetum rupepelli
Mexican Feather	Stipa tenuissima
VINES	
Common Name	Scientific Name
Crossvine	Bignonia capriolata
Trumpet Creeper	Camsis radicans
Coral Honeysuckle	Lonicera sempervirens
Evergreen Wisteria	Mellelia reticulata
Virginia Creeper	Parthenocissus quinquefolia
Lady Banks Rose	Rosa banksia
PLANTING BEDS	
Common Name	Scientific Name
Abelia	Abelia sp.
Agave	Agave sp.
Yarrow	Achillea sp.
Butterfly Bush	Buddleia davidii
Beautyberry	Callicarpa americana
Coreopsis	Coreopsis sp.
Coneflower	Echinacea sp.
Indian Blanket	Gaillardia sp.
Hummingbird Bush	Hamelia patens
Burford Holly	Ilex cornuta
Yaupon Holly	Ilex vomitoria
Dwarf Yaupon Holly	Ilex vomitoria 'nana'
Juniper	Juniperus sp.
Lantana	Lantana sp.
Texas Sage	Leucophyllum sp.
Gayfeather	Liatrus sp.
Turk's Cap	Malvaviscus arboreus
Blackfoot Daisy	Melampodium leucanthum
Wax Myrtle	Myrica cerifera
Blue Plumbago	Plumbago auriculata
Pomegranate	Punica granatum
Rosemary	Rosmarinus officianalis
Black-eyed Susan	Rudbeckia sp.
Dwarf Palmetto	Sabal minor
Mealy Blue Sage	Salvia farinacea
Autumn Sage	Salvia greggii
Mexican Sage	Salvia leucantha
TX Mountain Laurel	Sophora secundiflora
Bridal Wreath Spirea	Spirea cantoniensis
Yellow Bells	Tecoma stans
Viburnum	Viburnum sp.

DESIGN STANDARDS- SITE DESIGN



- Seasonal color is thoughtfully incorporated into planting design.



- The park takes advantage of maintaining existing trees on site.
- The park maximizes the use of shaded areas by aligning paths underneath dense tree canopy.



- The use of a low stone seat wall is creatively incorporated into the landscape to preserve an existing stand of oak trees.
- Cactus and native plants fit the planting scheme of the larger context of central Texas.



- An alley of street trees planted 50 feet on center frames the sidewalk and provides comfort to pedestrians.
- A mix of tree species offers seasonal interest along the street.



DESIGN STANDARDS- SITE DESIGN

10. LIGHTING

Intent

Lighting is necessary to make a building visible to passersby and for safety and security on site. However, lighting can also become a nuisance, as light spills onto adjacent property, distracts drivers and detracts from community appearance. Well-designed lighting focuses light where it is needed, with minimal glare and excess. Shielding and proper aiming can provide appropriate safety and security while having minimal impact on adjacent properties. Pole location, height, and design all affect how lighting will be seen, so thought should be given to all of these variables when designing a lighting system for a property.

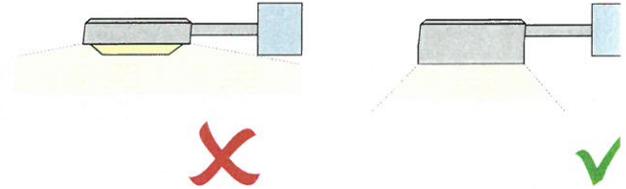
The intent of the Lighting Standards are to:

- Provide continuity and high aesthetic value through the creation of a cohesive lighting strategy; and
- Create, safe, secure places with lighting strategies while protecting the night sky and nearby residential properties.

Applicability

10.0 – Architectural Lighting Design Standards apply to all redevelopment in the entry corridors. Please also refer to ordinance 24-014.

LIGHTING SELECTION MATRIX	
Location	Fixture
Streetscape Pedestrian Lighting	Sternberg Lighting Omega Series or Approved Equal
Site Lighting	Srenberg Lighting Medterra BB or Approved Equal
Public Space Lighting	Srenberg Lighting Medterra BB or Approved Equal



Standards

10.1 – Lighting fixtures should be selected from the International Dark-Sky Association Approved Fixtures and comply with City ordinance 24-014.

Guidelines

10.2 – Lighting should be used to provide illumination for the security and safety of on-site areas such as parking, loading/unloading, pedestrian pathways and working areas. Excessive use of lighting fixtures is prohibited.

10.3 – Fixture style and location should be compatible with the building's architecture, site design and landscape design. Decorative fixtures are highly recommended and where warranted, may be required. Light fixture style should be consistent throughout the project.

10.4 – Light fixtures should be located facing away from adjacent sites (particularly residential parcels) so that the light does not spill-over onto abutting properties. Parking and building light fixtures should be cut-off luminaries that have less than 90 degree cut-off so that the light is not emitted horizontally or upward.

10.5 – Projects located near residential or open space areas should use low intensity/wattage lights and all lighting is to be extinguished or reduced in intensity 30 minutes after the close of business.

10.6 – Off-site street lighting may be required over driveways to provide safe entrances and exits.

10.7 – Decorative seasonal lighting encouraged.

DESIGN STANDARDS- SITE DESIGN



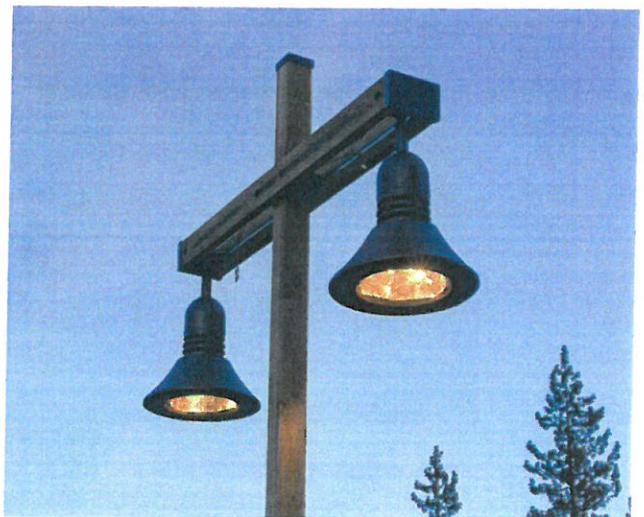
- The Sternberg Lighting Omega Series, Dark Sky light fixture is an example of an approved light fixture for Fredericksburg.



- Lighting can include planters and decorative features to fit within the context of Fredericksburg.



- The Selux Beta Lantern, Dark Sky light fixture is an example of an approved light fixture for Fredericksburg.



- Lighting can be erected within the entry corridors and along paths and sidewalks.



DESIGN STANDARDS- SITE DESIGN

11. SERVICE AREAS

Intent

Every site plan needs to account for building facilities like HVAC systems, dumpsters, drainage, etc. These are necessary features that have to be located; however, they can present a challenge to balance needed access with aesthetics. It is appropriate to place these facilities in the back of the property, shielded by the building if possible. If that is not available, due to access issues, service areas should be shielded with fencing and landscaping to maintain the overall site appearance. Good site planning will ensure that needed facilities are incorporated on site, with minimal visibility from roadways and adjacent properties.

The intent of the Service Areas Standards are to:

- Use visually screened service areas to hide unsightly private space areas; and
- Use appropriate landscaping, fencing, and/or green screens around service areas for buffering.

Applicability

11.0 – Service Areas Design Standards apply to all redevelopment in the entry corridors.



Standards

11.1 – Loading/unloading areas shall be clearly identified by installing no parking signs and/ or striping of the space. The areas must be located in the rear or the sides of the building and shielded so that they are not visible from the street. The size and number of the loading/ unloading areas must be consistent with the requirements of the Zoning Ordinance.

Guidelines

11.2 – All trash, recycling and utilities facilities should be visually and acoustically screened from pedestrian rights of way.

11.3 – Screening should be achieved through the installation of a wall or fence six foot in height or a height sufficient to obscure the area or equipment, whichever is less.

11.4 – Screening may be provided by using a semi-opaque fence, solid vegetative surface or combination of both.

11.5 – The height of screening plants should be based on typical plant size within five growing seasons.

11.6 – All roof-top equipment should be screened from entry corridors, side streets, plazas and parks.

11.7 – It is encouraged to provide a separate waste and recycling unit to encourage environmental sustainability and support efforts to reduce, reuse, and recycle in Fredericksburg. The City of Fredericksburg Recycling Center provides recycling and safe disposal options. Fredericksburg Shines has compiled a list of items that can be recycled along with the location where that recycling occurs.

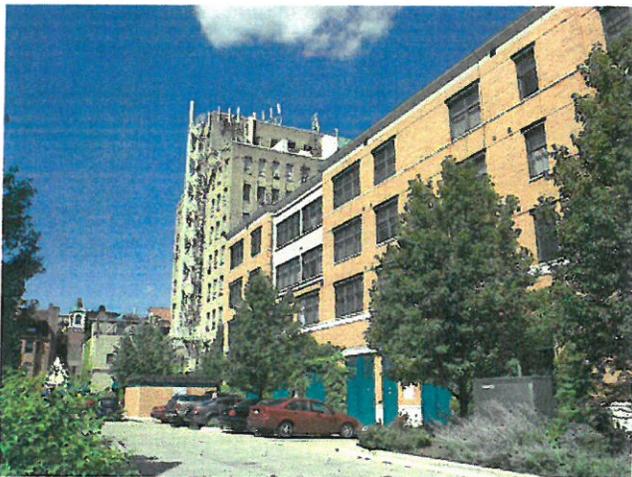
DESIGN STANDARDS- SITE DESIGN



- The use of wood softens the visual effect of the waste receptacle.
- The waste receptacle visually blends into the surrounding public space, and the wood material matches the adjacent bench.



- Waste receptacles are screened with vegetation.
- Waste is separated into trash and recycling units.



- Service areas are located to the rear of the site.
- Trees and landscaping screen views to dumpsters and service areas.



- Compost areas are hidden from view and designed in an esthetically pleasing manner.

DESIGN STANDARDS- SITE DESIGN

12. PARKING & ACCESS

Intent

Parking uses a significant portion of most conventional development. Developers typically have to provide sufficient parking for infrequent, high volume days like the day after Thanksgiving. This, combined with a desire for visibility and access, means most parking lots are put in front of the building. Adequate landscaping and buffering can improve the appearance of parking lots; however, having parking to the front detracts from pedestrian connectivity and appeal. Having parking to the rear of the property would allow the building to front onto the roadway. It would also allow for consolidation of driveways and access points. This can be a tremendous benefit for traffic flow, to reduce curb cuts and points of conflict along roadways.

The intent of the Parking and Access Standards are to:

- Conceal and beautify parking areas, such as parking located in the rear or side of buildings;
- Create parking spaces that flow smoothly and create logical connections between parking spot and destination; and
- Use landscaping to buffer parking lots from adjacent uses.

Applicability

12.0 – Parking Design Standards apply to all new development in the entry corridors.

Standards

12.1 – When a property abuts a creek, a 10 foot landscaped buffer shall be provided between the parking lot and the creek, where applicable. Utilize rain gardens and/or plant species that filter toxins between the parking lot and the creek.

12.2 – All parking shall comply with the most current American with Disabilities Act (ADA) standards and regulations.



12.3 – Whenever parking areas/drive aisles are connected to adjacent sites, the circulation must provide for similar direction of travel (both vehicular and pedestrian) and parking stalls to reduce conflict at points of connection.

12.4 – Pedestrian walkways connecting to adjacent development shall be provided.

12.5 – A minimum of a 4" diameter tree per 8 parking spaces shall be planted in planting beds located in the corners of parking lots and 'islands.'

12.6 – Continuous, 5' sidewalks must be provided along the full length of the building featuring customer entrances and along any façade facing public parking areas.

Guidelines

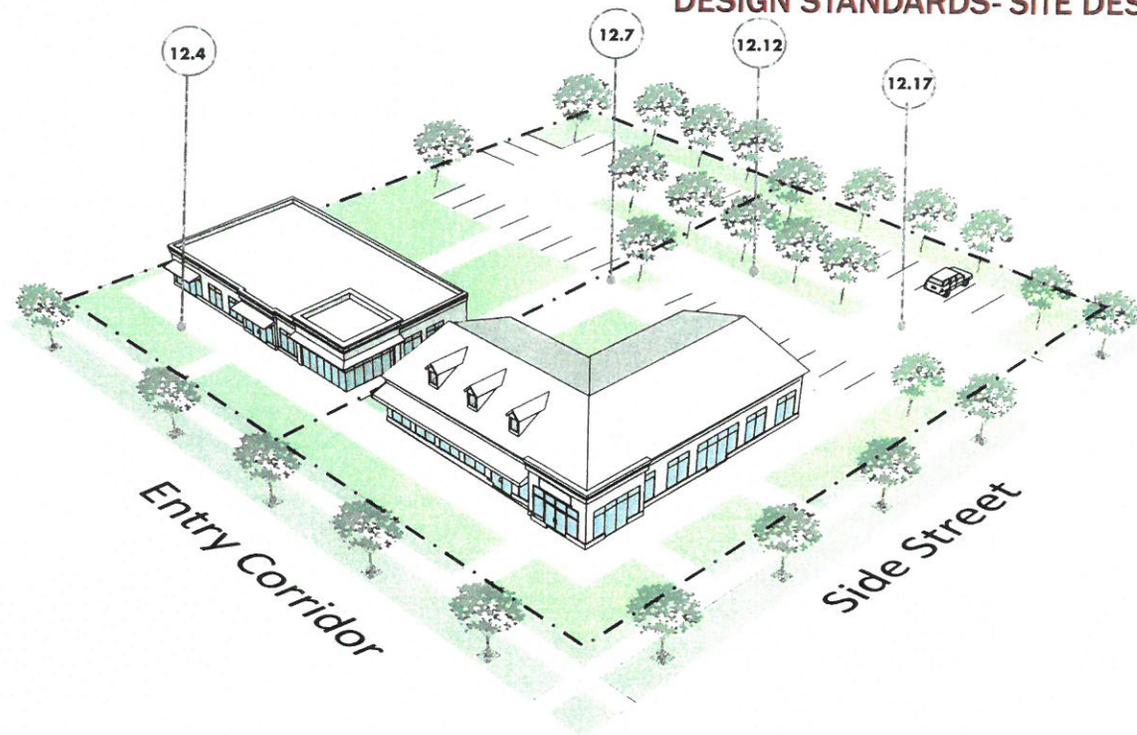
12.7 – Parking should be located behind buildings or on the side.

12.8 – Bicycle parking facilities should be provided at all new development that occurs on any street intersection. The design, color, and materials must coordinate with other site elements and must be well-lit for night time uses.

12.9 – Parking areas abutting properties residentially used or designated should be separated by a landscape buffer a minimum of 10 feet in width. In addition to landscaping, perimeter earth berms are recommended as an effective way to reduce the visual impact of surface parking lots.

12.10 – At least one drive aisle should be designed to provide sufficient emergency vehicle access and maneuverability.

DESIGN STANDARDS- SITE DESIGN



12.11 – Establishments that typically require or generate frequent passenger loading and unloading should provide specifically designated loading/unloading stopping bays. Direct ingress and egress should be provided so that vehicles are not directed into the on-site drive aisles.

12.12 – Parking lots should be located and designed with stormwater Best Management Practices to capture, treat and infiltrate storm water.

12.13 – The on-site circulation should be logical and provide convenient, safe and direct flow of pedestrians and vehicles.

12.14 – New surface parking areas are discouraged within view of US 290, US 87, SH 16, and FM 965. New parking areas should be situated behind buildings and screened from street views.

12.15 – Parking aisles should be arranged to direct pedestrians parallel to moving cars thereby minimizing the need for pedestrians to cross parking aisles and landscape areas. As an alternative, separated pedestrian walkways should be incorporated in the parking lot design.

12.16 – Detached parking structures should be architecturally compatible with their setting or be screened by other buildings or by landscaping. If a detached parking structure abuts a street or major pedestrian path, ground floor design should incorporate a façade with storefronts, display windows, bay divisions, and other pedestrian oriented features.

12.17 – Shared driveways are encouraged.



- Planting buffer is placed around parking.



DESIGN STANDARDS- SITE DESIGN

13. DRAINAGE AND STORMWATER

Intent

Development leads to increased stormwater runoff. Some communities manage drainage for larger areas, so developers put in facilities to convey water off the property to these larger drainage utilities. Other times, each property has to create on site facilities to manage stormwater. A fairly new direction in stormwater management is called low impact design. This utilizes natural features, such as rain gardens and swales, along with technology fixes like rainwater harvesting and pervious pavement, to manage stormwater. This type of development can be a lower maintenance and more aesthetic option for future development. It is important for stormwater to be managed in such a way to protect public health and safety.

The intent of the Drainage and Stormwater Standards are to:

- Create aesthetically pleasing detention and stormwater infrastructure;
- Use Best Management Practices to mitigate flooding and runoff backup;
- Capitalize upon the use of detention features to double as recreational elements where feasible;
- Use Low Impact Development (LID) techniques when possible; and
- Buffer detention ponds with native landscaping.

Applicability

13.0 – Drainage and Stormwater Design Standards apply to all redevelopment in the entry corridors. All designs should be compliant with current standards and requirements for stormwater detention, Code of Ordinances, Article XIII.



Standards

Not applicable.

Guidelines

13.1 – LID techniques such as rain barrels, cisterns, rain gardens, naturalized landscaping, porous pavement and roof gardens are encouraged.

13.2 – When possible, site stormwater management facilities in parks and open space if there is a benefit to the surrounding area and/or water quality is demonstrated.

13.3 – Existing drainage patterns and flows on site should be preserved to the greatest extent possible.

13.4 – Decorative or aesthetically pleasing stormwater mechanisms should be incorporated into stormwater designs to the greatest extent possible.

DESIGN STANDARDS- SITE DESIGN



- Bio-filtration areas slow stormwater runoff and absorb pollutants to encourage increased water quality.



- Decorative storm grates provide visual interest to otherwise unappealing design features.



- A rain water cistern captures water for re-use in the landscape.
- The materials on the rain water cistern match the architecture of the building and double as signage for the park.



- LID techniques such as rain gardens are aesthetically pleasing and contribute to an increase in water quality and reduce peak flows of stormwater runoff.
- Rain gardens are valuable Best Management Practices that mitigate flooding and stormwater runoff.



DESIGN STANDARDS- SITE DESIGN

14. STREETScape

Intent

Most of the streets being included for the entryways are state highways. This means that TxDOT has jurisdiction over the design of the streetscape and any elements to be included in them. The City has a productive relationship with TxDOT staff and can work with them to incorporate improvements to the streetscape over time as projects and upgrades are made to roads in the entryways.

The intent of the Streetscape Standards are to:

- Create a connected sidewalk system throughout the city to ensure safety and connectivity between destinations;
- Increase the mobility to persons walking throughout the city into all areas;
- Create a continuous street tree canopy and landscaping along roadways to create more visually pleasing thoroughfares and pedestrian pathways;
- Use ADA compliant ramp and pedestrian facilities throughout the network to ensure ease of movement; and
- Ensure that the ground floor creates comfort and interest for pedestrian use.

Applicability

14.0 – Streetscape Design Standards apply to all redevelopment in the entry corridors.

Standards

14.1 – Sidewalks along the street right of way must be a minimum of 5 feet wide.



Guidelines

14.2 – Sidewalks and pedestrian pathways should safely connect from the street to commercial buildings, surrounding residential areas, and parks and open spaces.

14.3 – Seating is encouraged in front of businesses, in public spaces and other instances where appropriate.

14.4 – All pedestrian areas should comply with the most current American with Disabilities Act (ADA) standards and regulations. Particular attention should be given to ramps, accessible paths of travel, level landings and handrails.

14.5 – Create a quality built environment with the inclusion of amenities such as street furnishing, plantings, art works, and water features to enhance the places that people will walk, gather, or recreate.

14.6 – Developments adjacent to multi-use trails should provide a direct connection from the trail to the development's internal pedestrian circulation system.

14.7 – Streetscape furnishing should be made of high quality materials and be coordinated with the architecture of the building.

14.8 – To create a cohesive tree canopy for consistent shade, street trees should be planted a minimum of every 50 feet on center (centered between the curb and sidewalk). The same amount of trees may also be clustered in groups.

DESIGN STANDARDS- SITE DESIGN



- A continuous canopy of street trees provides visual interest along the road.



- Benches, landscaping, street trees and seating provide a comfortable pedestrian environment.



- Street trees are provided along the street.
- Ample shade and seating are provided for a comfortable pedestrian environment.



- Streetscape furnishings are made of high quality materials and create a brand and identity.



IMPLEMENTATION

IMPLEMENTATION

Responsibility for the Design Standards will be with the Planning Commission. They will be tasked with incorporating the plan recommendations into the City's Code of Ordinances. They will also serve as the design review board, once the new standards are adopted. In this role, they will be responsible for ensuring the standards are being met as new development and renovations occur in the entry corridors.

2014 Crawfish Festival, City of Fredericksburg



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ACKNOWLEDGEMENTS

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Jerry Luckenbach
Gary Neffendorf
Graham Pearson
Bobbie Watson
Chief of Police Steve Wetz

B. Planning and Zoning Commission

Janice Menking, Chairman
Brenda Segner, Vice-Chairman
Todd Willingham
Chris Kaiser
Charlie Kiehne
Bill Pipkin
Daryl Whitworth
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C. Technical Advisory Committee

Kent Myers, City Manager
Clinton Bailey, Director of Public Works and Utilities
Jimmy Alexander, Director of Parks and Recreation
Brian Jordan, Director of Development Services Howard Lyons, TxDOT
Doyle Moellering, TxDOT
Donnie Schuch, Gillespie County Commissioner

D. Citizen Advisory Committee

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Mary Martinich, Design Workshop
Rachel Tepper, Design Workshop
Mike Piano, Design Workshop
Luke Cowsar, Design Workshop
David Kneuper, River City Engineering
Chris Holtkamp, Holtkamp Planning





APPENDIX

EXISTING DESIGN STANDARDS AND GUIDELINES



Lady Bird
Johnson
Municipal Park

EXISTING DESIGN GUIDELINES AND STANDARDS

	1997 HISTORICAL DESIGN GUIDELINES	2014 SUBDIVISION ORDINANCE	CODE OF ORDINANCES
Architectural Styles	<ol style="list-style-type: none"> 1. Architectural style in one word: Eclecticism. 2. Bring construction techniques from immigrants' homeland, adapt techniques to local climate and resources, and then add prominent decorative features. 3. Detailing styles are primarily Queen Anne, Victorian, or Classical Revival characteristics. 4. Style categories: Pioneer, Gothic Revival, Italianate, Queen Anne, Folk Victorian, Art Moderne, Bungalow, Commercial. 	Based on architectural style and other criteria, the city designates the Historic District, historic landmark and preservation priority rating. Building's general design, arrangement, texture, color, material and structure should consider conformity to the general character of the particular historic area involved.	Zoning Ordinance: N/A
Architectural Features	<ol style="list-style-type: none"> 1. Awnings. It can be operable or inoperable, should be visual attractive, fit the scale of building, use appropriate materials and color, easy to uninstall, and keep message simple. 2. Structural system and HVAC. Keep new amenities hidden, or well incorporated in the building with least alternation of the original building. 3. Doors. Retain, preserve and maintain the original door, make it unobtrusive to the visual appearance of the building, keep the historical integrity of the building. 4. Roofs. Preserve the original roof form and materials, design according to historical documentation. 5. Windows. Use same or similar materials, design and hardware to make new windows compatible with the old. 	Building's general design, arrangement, texture, color, material and structure should consider conformity to the general character of the particular historic area involved.	<p>Zoning Ordinance:</p> <p>Fences: Maximum height for the front yard fence is [four feet] (4'). This includes any gates, arbors, entrances or other structures built into the fence.</p>
Architectural Materials	<ol style="list-style-type: none"> 1. Glass. There are two forms of glass: decorative and structural, beveled glass is the most common one in Historic District. 2. Masonry. The majority of the buildings are constructed of rock walls. Essential elements: walls, brackets, door and window pediments, steps, columns, joint and brick unit size, bonding patterns, railings, cornices, coatings and colors. 4. Wood. Wood is used as structure, exterior construction, or functional or ornamental details such as doors, window jambs, molding, shutters and pediments. 5. For architectural materials, use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. 	Building's general design, arrangement, texture, color, material and structure should consider conformity to the general character of the particular historic area involved.	Zoning Ordinance: N/A

EXISTING DESIGN GUIDELINES AND STANDARDS

	1997 HISTORICAL DESIGN GUIDELINES	2014 SUBDIVISION ORDINANCE	CODE OF ORDINANCES
Signage	<ol style="list-style-type: none"> 1. Signage should be compatible with historical character by color, composition, lettering, materials and size. 2. Signage height is visible to pedestrians without obscuring the visibility of historical features. 3. Place signs in areas that accentuate architectural features of building without diminishing or damaging the detail of building. 4. Limit number of signs, make them durable. 	<ol style="list-style-type: none"> 1. Street signs shall be furnished and installed by the Developer for all intersections within or abutting the Subdivision. 2. Such signs shall be of a type approved by the City and include the block number. 3. Street signs shall be installed in accordance with the prescribed type currently in use by the Manual on Uniform Traffic Control Devices. 4. By districts, there are different requirement of signs, such as residential signs, wall signs, ground signs, banners, projecting signs, canopy signs, and freestanding signs. 	<p>Sec. 29-4. Permit required.</p> <p>Sec. 29-5. Signs exempted from certain regulations.</p> <p>Sec. 29-6. Prohibited signs.</p> <p>Sec. 29-7. Permanent signs permitted by district.</p>
Building height	1 or 2-story	<ol style="list-style-type: none"> 1. Building height varies from one to five stories for different zones. 2. Height limitations are established to ensure that buildings and structures shall not exceed heights generally compatible with purposes of the district and other uses therein, and shall not unnecessarily impact upon the privacy, views, or desirability of development of adjoining sites. 	Determined by Zoning Category – all districts have Maximum building height requirements.
Massing and Scale			



EXISTING DESIGN GUIDELINES AND STANDARDS

	1997 HISTORICAL DESIGN GUIDELINES	2014 SUBDIVISION ORDINANCE	CODE OF ORDINANCES
Setbacks	No requirement.	Approach and departure areas on both sides of a gated entrance must provide adequate setbacks and proper alignment to allow free and unimpeded passage of emergency vehicles through the entrance area.a	<p>Determined by Zoning Category – all districts have Minimum Setback requirements</p> <p>Front yard setback is determined by the recorded lot orientation, not by address or orientation of structure.</p> <p>Front Yard (FY) Street Side Yard (SSY) Interior Side Yard (ISY) Rear Yard (RY)</p> <p>C1: FY(25ft), SSY(25ft), ISY(5ft (10ft when adjacent to R1 or R5), RY(10ft) C2: FY(15ft), SSY(15ft), ISY(0ft* 10ft when adjacent to R1 or R5), RY(10ft) CBD: FY(0ft), SSY(0ft), ISY(0ft* 10ft when adjacent to R1 or R5), RY(0ft) M1: FY(10ft), SSY(10ft), ISY(10ft*), RY(10ft*) *25ft when adjacent to R1 or R5 M2: FY(10ft), SSY(10ft), ISY(10ft*), RY(10ft*) *25ft when adjacent to R1 or R5 M3: FY(25ft), SSY(25ft), ISY(10ft*), RY(10ft*) *25ft when adjacent to R1 or R5 PF: FY(Same as Most Restrictive Districts Adjacent to PF) SSY(Same as Most Restrictive Districts Adjacent to PF) ISY(O*) RY(O*) *5 feet when adjacent to a residential zone on side10 feet when adjacent to a residential zone on rear. R1: FY(25ft), SSY(15ft), ISY(5ft), RY(10ft) R2: FY(15ft), SSY(15ft), ISY(5ft), RY(10ft) R3: FY(25ft), SSY(15ft), ISY(5ft), RY(10ft) R3: FY(20ft), SSY(15ft), ISY(5ft), RY(10ft) R4: R3: FY(20ft), SSY(10ft), RY(10ft) R5: FY(15ft), SSY(15ft), ISY(10ft), RY(10ft)</p>

EXISTING DESIGN GUIDELINES AND STANDARDS

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<p>Landscaping</p> <ol style="list-style-type: none"> 1. Use landscaping as a buffer between parking lots and streets or buildings. 2. Use landscaping in residences, highlight important features and obscure less attractive ones. 3. Use potted plants and flowers to accentuate buildings. 4. Design landscape simply; make them compatible with the character of the neighborhood. 	<ol style="list-style-type: none"> 1. All landscaping shall be installed in a good workmanship-like manner and according to accepted good planting procedures with specific quality of plant materials. 2. All elements of landscaping, except plant materials other than hedges, shall be installed so as to conform to all other applicable ordinances and city codes. 3. Landscaped areas require protection from vehicular encroachment. 	<p>Vegetation on or within the Right-of Way, overhanging the paved street area, shall be maintained at a vertical clearance of fourteen (14) feet.</p> <p>Trees. Trees shall be species having an average mature spread of crown of at least (15) feet and having a trunk(s) which can be maintained in a clean condition over five (5) feet of clear wood.</p> <p>Trees having an average mature spread crown less than fifteen (15) feet may be substituted by grouping the same so as to create the equivalent of a fifteen (15) foot crown spread. Tree species shall be a minimum of one and one-half (1½) inch diameter.</p> <p>Landscaping Adjacent to Public Right-of Way.</p> <ul style="list-style-type: none"> • Minimum of 5 ft. wide strip adjacent to Right-of-Way boundary with a hedge wall or other durable landscape barrier of at least 2 ft. height, plus one (1) tree per each 50 ft. of street frontage. • All other areas between Right-of-Way and off-street vehicular use area shall be grass or ground cover. <p>Perimeter Landscaping Related to Abutting Properties.</p> <ul style="list-style-type: none"> • A hedge or fence per specifications is required when abutting property is zoned for non-business use, and one (1) tree per 75 LF required. • A hedge or fence is not required when abutting property is zoned for business use, but one (1) tree per 125 LF required. <p>Parking Area Interior Landscaping.</p> <ul style="list-style-type: none"> • 10 sq. ft. per each interior parking space: 10 x 18 = 180 SF. • Other vehicular use area (20,000 total paved area) - (32 spaces x 400) = 8,000 less exclusion (5,000SF) = 3,000 SF ;div; 100 = 30 SF >> 180 SF + 30 SF = 210 SF Total. • Minimum landscaped area of 50 sq. ft. with one (1) tree • Minimum number of trees = 1 per 100 sq. ft. of interior area (210 ;div; 100 = 2 Trees). <p>Tree Protection: No person or entity shall remove, contribute to the removal or endanger any tree having a trunk circumference of thirty inches (30") or more, measured four (4) feet above natural grade level which is situated within the boundaries of the area to which the landscape requirements apply as set out in Section 7900 above, without a tree removal permit from the Director of Planning and Building.</p>



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Lighting	No requirement.	<ol style="list-style-type: none"> 1. Street lighting shall conform to the latest edition of the Illuminating Engineering Society Handbook. 2. Round tapered standards with bracket arms shall be used and lighting levels, as recommended, shall be provided for very light traffic in residential areas, medium traffic on Collector Streets, and heavy traffic on Arterial Streets. 3. The location of street lights shall follow the location criteria below. <ol style="list-style-type: none"> a. Street lights shall be placed at street intersections. b. Street lights shall be placed at the end of cul-de-sacs streets. c. Street lights shall be placed at bridges. d. Street lights shall be placed on street curves of 30 degrees or greater. 4. Full cut-off lights and fixtures shall be used and are subject to the approval of the Director of Public Works and Utilities. 	<p>Sec. 7.860. Design Standards.</p> <p>Lights provided to illuminate any parking facility or paved area shall, to the maximum extent feasible, be designed to reflect away from any residential use.</p>
Service areas	Locate service areas in the rear of the site.	Land must be served adequately by essential public facilities, including water facilities, wastewater facilities, roadway and pedestrian facilities, and drainage facilities.	<p>Sec. 7.860. Design Standards. Refuse Collection and Storage.</p> <p>All businesses shall provide suitable trash and refuse storage areas which are designed and constructed to prevent view from the street and to prevent refuse from being displaced about the site, into adjacent properties or public right-of-way and to permit safe, easy removal of refuse by truck or hand.</p>

EXISTING DESIGN GUIDELINES AND STANDARDS

1997 HISTORICAL DESIGN GUIDELINES	2014 SUBDIVISION ORDINANCE	CODE OF ORDINANCES
<p>Access and Parking</p> <ol style="list-style-type: none"> 1. Locate off-street parking to the rear of the site. 2. Break large parking lots into smaller components to reduce the visual impact of large paved area. 3. Place new parking in areas least impact the street traffic flow. 4. Landscaping parking areas with medians or open spaces to maintain the character of the Historic District. 5. Design adequate water runoff to avoid erosion. 	<ol style="list-style-type: none"> 1. Off-street parking facilities shall be provided for any new building or enlargement of an existing building. Each standard parking space shall consist of a rectangular area not less than 8.5 wide and 18.5 feet long. Each parking space shall have adequate drives, aisles, and turning and maneuvering areas for access and usability, and shall at all times have access to a public street or alley. 2. Driveway design has two categories. State maintained roadways should follow Texas Department of Transportation Access Management Manual. City maintained roadways should follow the Table Dimensions for Driveways along City Maintained Roadways. Driveway throat width varies from 10 to 48 feet for different street classification. 	<p>Each standard parking space shall consist of a rectangular area not less than 8.5 wide and 18.5 feet long. Each compact parking space shall consist of a rectangular area not less than 7.5 feet wide and 15.0 feet long. Each space shall have a vertical clearance of not less than 7.5 feet. Each space shall be independently accessible.</p> <p>Each parking space designated for use by the handicapped shall consist of a rectangular area not less than 12.5 feet wide and 18.5 feet long, shall have a vertical clearance not less than 7.5 feet, shall be located in an area not exceeding a two percent (2%) slope, and shall be located near and convenient to a level or ramp entrance accessible to handicapped persons. Parking spaces for the handicapped shall be signed and restricted for use by the handicapped only.</p> <p>Each parking space shall have adequate drives, aisles, and turning and maneuvering areas for access and usability, and shall at all times have access to a public street or alley</p>



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Drainage & stormwater	No requirement.	<ol style="list-style-type: none"> 1. Drainage systems, including all conveyances, inlets, conduits, structures, basins, or outlets used to drain storm water, must be designed and constructed to promote the health, safety, and welfare of the property owner and the public. 2. Adequate provision must be made for the acceptance, collection, conveyance, detention, and discharge of storm water runoff drainage onto, through and originating within the Subdivision. 3. Surface runoff from residential lots shall cross no more than one additional lot before being directed toward the street or a dedicated drainage easement or public Right-of-Way. 4. When the flow reaches the second lot, side lot swales shall be in place to direct the flows to the street or to a public Right-of-Way or dedicated drainage easement within the rear yard. 5. Furthermore, no more than one lot may drain to a second lot before the flow is directed to the public Right-of-Way or dedicated drainage easement. 6. Where lot to lot drainage occurs, the lot lines shall be aligned and a minimum of a 10' drainage easement shall be provided. 	Parking lot storm drainage shall be designed so as to direct water from paved areas to the landscaped areas to allow absorption into the permeable ground prior to discharge into the Public Street or storm drainage system. This should be accomplished in a manner not likely to result in erosion.
Streetscape	No requirement.	All dedicated streets shall conform to the Comprehensive Plan/Transportation Plan and the following Table 9: Minimum Street Design Criteria.	

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Sidewalks	<p>Sidewalk General Construction</p> <ol style="list-style-type: none">1. Sidewalks shall be constructed by Class "A" concrete and shall have a width of not less than five (5) feet and a minimum thickness of four (4) inches.2. Sidewalks adjacent to screening walls shall be 5 feet in width and shall abut the wall, eliminating the landscape area found along the wall, thereby reducing maintenance.3. Sidewalks shall be constructed one foot (1') from the property line within the street or Arterial Street Right-of-Way and shall extend along the street frontage including the side of corner lots and block ends.4. Construction of sidewalks adjacent to curbs will be considered where driveway entrances are constructed from the rear of lots on each side of the street for the full length of the block or where Mountable Curbs are installed. In these instances, the sidewalks shall be five feet (5') wide.5. Sidewalk construction may be delayed until development of lots, but in locations not adjacent to lots and across bridges and culverts, the sidewalk shall be constructed with the other improvements to the Subdivision.	

