CITY OF FREDERICKSBURG
HISTORIC REVIEW BOARD
Tuesday, December 9, 2014
City Hall
Conference Room
126 W. Main St.
5:30 P.M.

1. Call to Order

2. Approve Minutes of November 2014 Regular Meeting *Pp 1 - 4*

APPLICATIONS

3. Application #14-96 by Gary Williams to demolish garage and construct approximately 657 square foot addition to residence at 508 W. Creek *Pp 5 - 11*

4. Application #14-102 by Steve Thomas on behalf of John and Susie Heyer to construct a two phase addition totaling approximately 2358 square feet on property located at 206 E. Centre Street *Pp 12 - 22*

5. Application #14-103 by Eric Mustard of Mustard Design on behalf of Ashton and Danielle Saunders at 607 W. San Antonio to add roof awnings over entry and front windows, remove shutters, center entry door and add transom *Pp 23 - 28*

6. Consider making a recommendation on the Design Standards and Guidelines for Entry Corridors from the proposed Comprehensive Plan Issues Update *Pp 29 - 58*

DISCUSSIONS

7. Update on Demo by Neglect property at 102 E. Main

SIGN OFF APPLICATIONS

8. #14-94 – Paint exterior – 318 E. Austin (Grove House)
9. #14-95 – Repaint window trim and paint new entry door – 305 N. Llano (Harmon)
10. #14-97 – Construct fence – 302 E. Ufer (City of Fbg)
11. #14-98 – Construct fence – 206 N. Bowie (Stotz)
12. #14-99 – Construct pool – 209 N. Bowie (Stephens)
13. #14-100 – Add 2 car garage to front of existing 2-story garage/apt – 510 N. Adams (Mud Boot)
14. #14-101 – Paint front door – 610 S. Washington (Threadgill)

ADJOURN

DRAFT

STATE OF TEXAS
COUNTY OF GILLESPIE
CITY OF FREDERICKSBURG

HISTORIC REVIEW BOARD
November 18, 2014
5:30 PM

On this 18th day of November, 2014 the Historic Review Board convened in regular session at the regular meeting place thereof, with the following members present to constitute a quorum:

SHARON JOSEPH
CHARLES SCHMIDT
ERIC PARKER
DAVID BULLION
MIKE PENICK
JOHN MURAGLIA
LARRY JACKSON

ABSENT: KAREN OESTREICH
STAN KLEIN

ALSO PRESENT: BRIAN JORDAN – Director of Development Services
KYLE STAUDT - Building Official
TAMMIE LOTH – Development Coordinator

Sharon Joseph called the meeting to order at 5:30 PM.

MINUTES

Charles Schmidt moved to approve the minutes from the October 2014 regular meeting. Mike Penick seconded the motion. All voted in favor and the motion carried.

APPLICATIONS

Application #14-93 by Andy Bray on behalf of Security State Bank & Trust to make the following changes to property located at 118 S. Crockett: 1) Remove turned columns and gingerbread at existing porch 2) Add two new entry elements at the north and south elevations to include new stone entries, stained cedar columns, and a cedar and steel truss 3) Replace turned columns at south entry with stained cedar columns 4) Closely match window styles and metal roof with new construction 5) Add new motor bank canopy that will match the existing canopy with stone columns – Andy Bray and Whitney Koch of Mustard Design presented the application and noted the improvement are minimal, except for the addition of a drive-through. Mr. Bray noted they are proposing a 6-lane motor bank drive through with a hip roof cover that will be connected to the existing building. Mr. Bray stated a standing seam metal roof will be used to match the existing. Mr. Bray noted the location of the drive through was chosen because it works well with the site and does not require any additional curb cuts. Mr. Bray noted the other improvements are on the entrances and stated the existing

porch on the south elevation runs the entire length of the building and is not appropriate for a bank so they would like to clean it up. Mr. Bray proposed creating a stone entry piece with a gable roof that will leave the porch on the left as is, except cedar columns will be used instead of the existing turn post columns. Mr. Bray continued the right hand side of the porch will be removed and a portion of the stone will be returned to stucco to break up some of the mass. Mr. Bray noted the sidewalk will remain where it is and the main entry will be delineated. Sharon Joseph asked if the windows shown on the side of the entry door are truly open and Mr. Bray noted they would be to allow the porch to pass through and also keep the mass of the stone diminished. Mr. Bray noted they are proposing a gable piece with stone to cover the double doors on the north elevation and to install windows to signify the entry on that side. Mike Penick asked if the shed portion was existing and Mr. Bray noted it was and added they are going to start the gable piece at the top of the existing shed to tie back into the building. John Muraglia asked if the roof height was staying the same and Mr. Bray noted it was. Ms. Joseph questioned the limestone will be changed to stucco on a portion of the Crockett Street elevation and Mr. Bray noted it would. David Bullion asked if the columns will be 6x6 chamfered and Mr. Bray noted he has not designed that detail, but they can use chamfered columns. Ms. Joseph added she was glad the gingerbread was coming off the building.

Mike Penick moved to approve Application #14-93 and Eric Parker seconded the motion. All voted in favor and the motion carried.

Consider making a recommendation on the Design Standards and Guidelines for Entry Corridors from the proposed Comprehensive Plan Issues Update – Brian Jordan, Director of Development Services, noted the City Council has directed this Board to make recommendations regarding the proposed design guidelines. Mr. Jordan noted the Board seemed pleased with the architectural elements during the last discussion. Mr. Jordan stated there was a comment about the requirement that parking be located in the rear and noted the Planning and Zoning Commission also questioned this requirement. Mike Penick commented when a development is brought to the street and parking is in the back, access will be directed to the rear of the building. Mr. Penick noted concern that defeats the purpose of having a front entrance and the front façade could be diminished and more concentration be placed on the back façade. Mr. Jordan stated the design of the building is still intended to be at the street and a front façade will still need to be constructed. Mr. Jordan noted vehicular customers will enter through the back, but the design of the building is intended to be fronting the street. Mr. Jordan noted this requirement could be quite a stretch, but the thought process is that most of the buildings in the Historic District face close to the street and that is part of the pedestrian scale which encourages walkability. Mr. Jordan noted this requirement may not be realistic all the way out to the city limits line where there is more parking located in front of buildings.

Mr. Jordan then explained there are several ordinances in place that cover many of the guidelines and the bulk of the Historic Review Board concern is on the architectural elements, the massing and scale, and parking. Eric Parker asked how the standard of adhering to the Historic District Guidelines when rehabilitating historic buildings would be enforced when the buildings outside the district aren't rated. Mr. Jordan commented some of them are rated and Mr. Parker noted those would already be covered under the Historic Preservation Ordinance and Mr. Jordan confirmed they would. There followed discussion on protecting and rehabilitating buildings that are not landmarks. Mr. Jordan noted that is probably not a substantial amount of

properties, but the standard could be pushed to a guideline so if there is a building that was missed on the survey or is being looked at as a landmark the guideline could be applied. Mr. Jordan then noted it may be better to eliminate that section or note the intent is if the building is not currently a landmark, but has the potential to be in the next five to seven years, the guideline should apply. The Board agreed everyone needs to be looking for properties that should be landmarks and are not rated as such.

Mr. Jordan commented the other section that was referenced in the prior discussion was setbacks and frontage. Mr. Jordan explained different zoning districts have varying setbacks and the guidelines suggest the maximum setback for a building be 25 feet. Mr. Jordan noted he believes the guideline is intended to give developers some flexibility. Mr. Penick noted if a plan is logical but doesn't fit within the maximum 25 foot setback listed in the guideline, something may be built that doesn't make complete sense. Mr. Penick added having buildings set back a maximum of 25 feet doesn't mean the building will be attractive. Mr. Jordan noted that is where the combination of standards and guidelines are intended to give Staff the direction to try to work with designers so they have enough flexibility to satisfy their client and the City can also achieve the appeal they are trying to create.

There were concerns everyone does not have full understanding of all the standards and guidelines and it was suggested no action be taken at this meeting and members of the Board were asked to consider the information and come to the next meeting prepared to make a recommendation.

DISCUSSIONS

Update on Demo by Neglect property at 105 N. Acorn – Kyle Staudt, Building Official, noted the owners have responded to the letter he mailed and read their response letter stating they have started the process of repairing the structure.

Update on Demo by Neglect property at 102 E. Main - Kyle Staudt, Building Official, stated the owners have not been in contact with him, but a contractor did come into the office to inquire about painting the wall. Mr. Staudt noted he will get in touch with the contractor to let him know more work is required to stabilize the wall than just fresh paint.

Update on Christian Methodist Episcopal Church at 600 E. Main – Brian Jordan, Director of Development Services, stated a surprise visitor appeared at City Hall asking about repairing the church and he was present at the meeting to speak to the Board. Mr. Jordan introduced Gary Hunter, an heir to the church, and his fiancé, Tammy. Mr. Jordan noted he and Sharon Joseph had met with the mayor to discuss how to preserve the church and one of their tasks was to find some heirs to the church and get a 501C3 established so they would be able to accept donations. Mr. Hunter noted his roots run very deep in Fredericksburg and his mother's main concern when she got sick was that something be done with the church. Mr. Hunter informed City Staff and the Board he spoke to Paul Phillips, another heir that has shown interest in repairing the church and been to a Historic Review Board meeting, and he asked for his help in drawing up a 501C3. Mr. Hunter noted the 501C3 has been established for the church. Mr. Hunter stated he came to town to do some work on the church but was informed he needed to speak to City Staff before any work was done and that is the point he is at. Mr. Hunter noted the church foundation

has been shored up, but as water seeps underneath the building the foundation will be undermined. Mr. Hunter stated he wants to follow all guidelines but he definitely wants to get the church repaired to carry out his mother's wishes. Mr. Hunter commented after his mother's death he found family photos that were taken outside of the church and he now understands the significance of the building and wants to get it restored. Mr. Jordan asked Mr. Hunter if his intent was to actually restore the building to its original shape and if he plans to use it for events or occupancy. Mr. Hunter stated he would like to get it restored so visitors are able to tour the church. The Board and City Staff directed him to develop a plan of action for restoring the building and bring that plan to the Board for approval. Mr. Jordan added photos would be helpful in determining the details. Mr. Hunter commented the church now has a website and is located on social media and visitors are submitting photos to the website and funds are being donated. Mr. Jordan informed Mr. Hunter the City has funds budgeted for Historic Preservation and he would like to visit with the City Manager about having the 501C3 request some of those funds for work on the church. City Staff also committed to getting Mr. Hunter some contact information for individuals that could be beneficial in getting the project started.

ADJOURN

With nothing further to come before the Board, Larry Jackson moved to adjourn. Eric Parker seconded the motion. All voted in favor and the meeting was adjourned at 6:24 p.m.

PASSED AND APPROVED this the 9th day of December, 2014.

SHELLEY BRITTON, CITY SECRETARY

SHARON JOSEPH, CHAIRMAN

Historic Review Board
Application Information

Application Number:	14-96
Date:	December 5, 2014
Address:	508 W. Creek
Owner:	Gary Williams
Applicant:	Gary Williams
Rating:	Low
Proposed Modifications:	See attached
Neighborhood Characteristics:	The subject property is in the Historic District.
Staff Comments:	The scope of the project justifies Board review.

General Notes:

The mandatory functions of the Board include the following:

(1) Removal, addition or modification of architectural detail. The distinguishing historic qualities or character of a building, structure, or site and its environment shall not be destroyed. Removal or modification of any historic material or distinctive architectural features may be accomplished upon issue of certificate of appropriateness; however, this should be avoided when possible. Architectural features include but are not limited to exterior wall materials, windows, railings, decorative woodwork, masonry, or stone elements.
(2) Paint color and application. Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.
(3) New construction in historic districts. The board will review all new construction plans within Historic Districts in order to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion, design harmony and setback.

The advisory functions of the Board include the following:

(1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
(2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
(3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
(4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
(5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
(6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
(7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

Preservation Priority Rating. Three-tier rating system used in the 2002 *Fredericksburg Historic Resource Survey* to evaluate all properties within, and adjoining to, the City's Historic District. Ratings are based upon current determinations of architectural value and integrity and, if known, historical and cultural value, and may be altered from time to time as additional information is discovered or circumstances change.

HIGH rating. The most significant properties identified in the 2002 *Fredericksburg Historic Resource Survey*. These properties are considered to be outstanding, unique, or good examples of architecture, engineering, or design. Some are unique to the Fredericksburg area and are indicative of German-Texan vernacular forms and/or building techniques. Others are noteworthy examples of 19th and early 20th century architectural types, styles, and forms, erected using local building materials and construction technologies. Properties designated with a high rating are to be the most protected from alteration and demolition.

MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

LOW rating. Properties that minimally enhance the district's ability to convey a sense of time and place. These properties may be typical examples of more recent, common local building forms, architectural styles, or plan types; be examples of distinctive building forms, architectural styles, or plan types that have been significantly altered; lack the necessary age to meet the usual fifty (50) year threshold for possible National Register of Historic Places listing and do not appear to meet the National Register of Historic Places standard for exceptional significance for properties less than fifty (50) years of age, but which nevertheless may have relative value within the Historic District, meriting preservation. Properties or improvements with a low rating may be considered for relocation or demolition upon a determination by the Historic Review Board that the same can be accomplished with little or no consequence to the historical, cultural, architectural, or archeological character of the district or property.

14-96

Application for Certificate of Appropriateness

Application Date: 11/13/14 Application Complete: _____

Property Address: 508 W. CREEK ST.

Owner: GARY & LISA Williams Phone No. 214-336-6468

Address: 508 W. CREEK ST

Applicant: GARY Williams Phone No. 214-336-6468

Address: _____ Fax No. _____

Description of External Alteration/Repair or Demolition: DEMOLITION OF GARAGE BUILDING

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site: BUILDING A (1) ONE BEDROOM (1) BATH ADDITION, MATCHING, TRIM, SHINGLE SIDING, WINDOWS & ROOF MATERIALS & COLOR OF EXISTING HOUSE

Any circumstances or conditions concerning the property which may affect compliance with the ordinance: NO

☒ Drawing ☐ Sketch Date Submitted: 11/13/14 ☐ Historic Photograph

Desired Starting Date: 12/1/14 Desired Completion Date: 6/1/14

SURVEY RATING: ☐High ☐Medium ☐Low ☐None

☐RTHL: Estimated Date of Construction _____

APPLICANT SIGNATURE: Gary M. Williams

The Applicant *certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property*

_____ Date _____ ☐*Insignificant* ☐*Significant*

Building Official's Determination *(Max 7 days)*

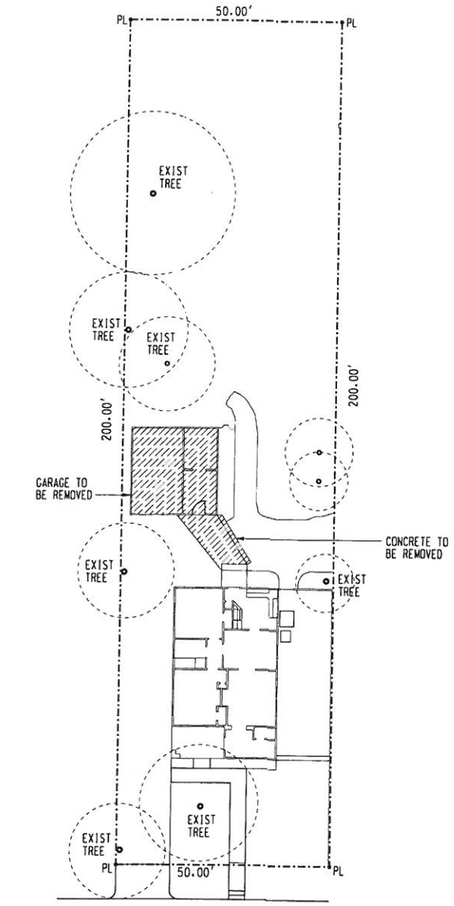
_____ Date _____ ☐*Insignificant* ☐*Significant*

Chairman's Determination *(Max 7 days)*

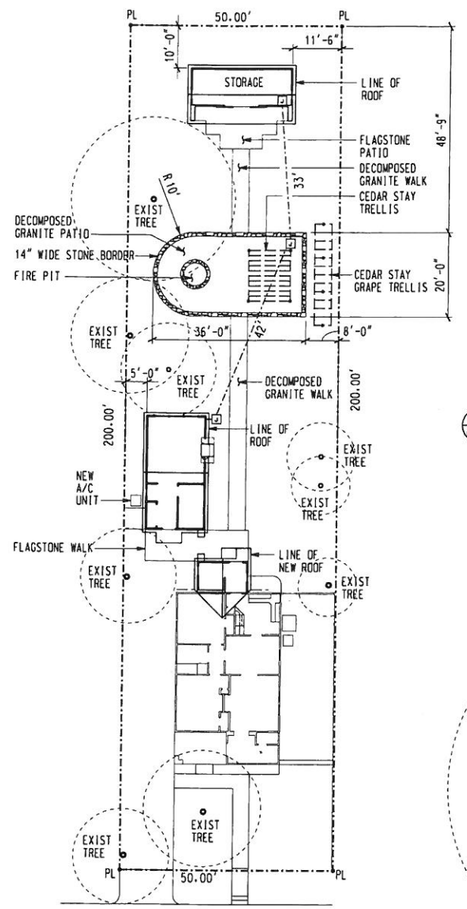
Meeting Date (40 days max. after complete application) _____ Notice to Applicant: _____

APPLICATION FEE:-*$10.00 plus ☐Board Review*; CERTIFICATE OF APPROPRIATENESS-*$20.00*

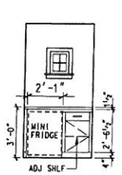
RECEIVED
NOV 14 2014



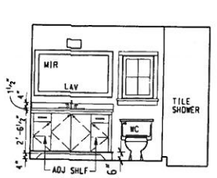
EXISTING SITE PLAN (1 / A1.0) REF
1/16 = 1'-0"



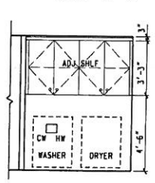
NEW SITE PLAN (2 / A1.0) REF A2.0 A3.0
1/16 = 1'-0"



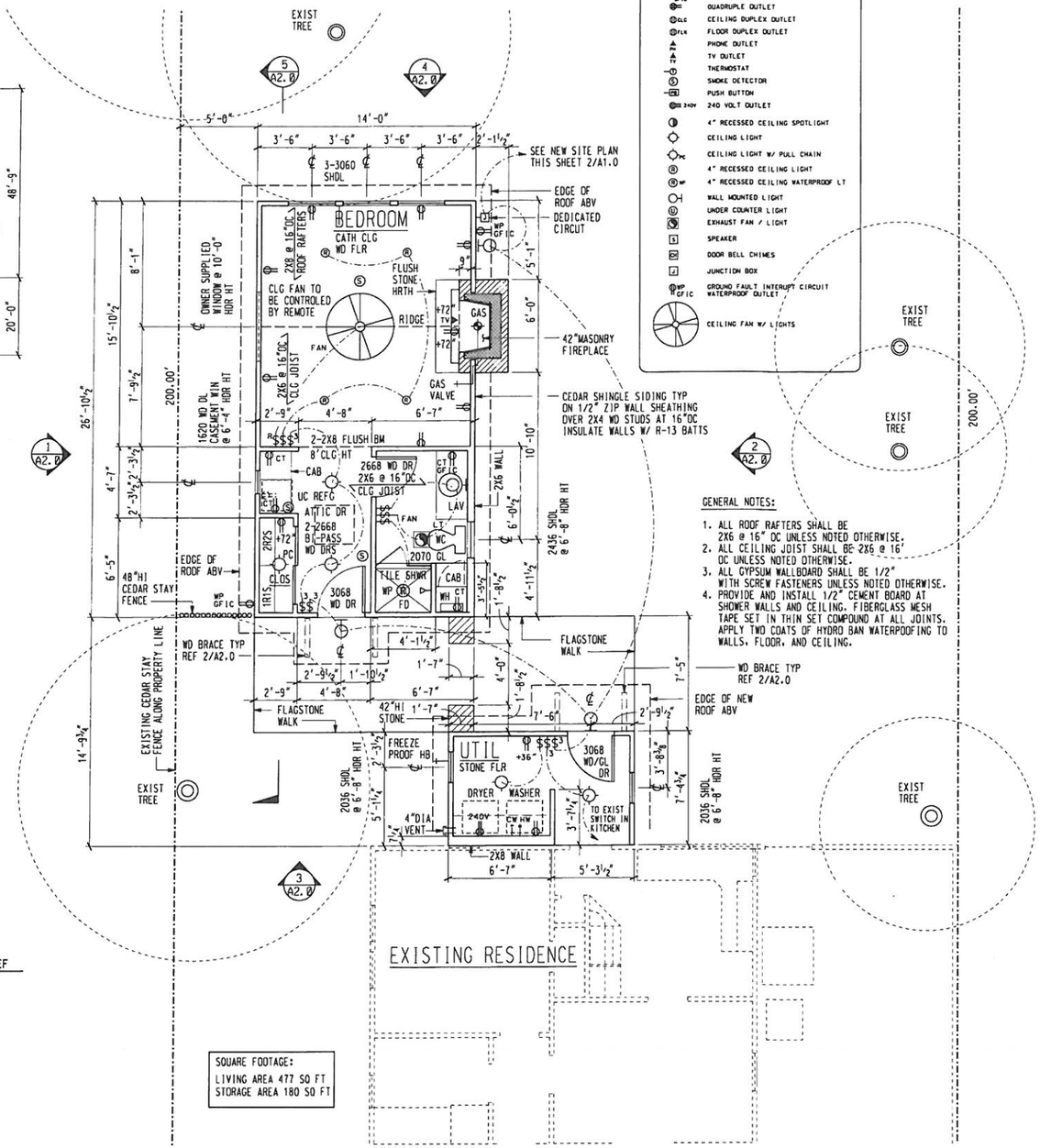
KITCHENETTE (4 / A1.0) REF
1/4" = 1'-0"



GUEST BATH (5 / A1.0) REF
1/4" = 1'-0"



UTILITY (6 / A1.0) REF
1/4" = 1'-0"



NEW FLOOR PLAN (3 / A1.0) REF A2.0 A3.0
1/4" = 1'-0"

SQUARE FOOTAGE:
LIVING AREA 477 SQ FT
STORAGE AREA 180 SQ FT

ELECTRICAL LEGEND

- SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- RHEOSTAT
- DUPLEX OUTLET
- DUPLEX OUTLET HT ABV FLOOR FINISH
- COUNTER TOP DUPLEX OUTLET
- GROUND FAULT INTERUPT CIRCUIT
- QUADRUPLE OUTLET
- CEILING DUPLEX OUTLET
- FLOOR DUPLEX OUTLET
- PHONE OUTLET
- TV OUTLET
- THERMOSTAT
- SMOKE DETECTOR
- PUSH BUTTON
- 240 VOLT OUTLET
- 4" RECESSED CEILING SPOTLIGHT
- CEILING LIGHT
- CEILING LIGHT W/ PULL CHAIN
- 4" RECESSED CEILING LIGHT
- 4" RECESSED CEILING WATERPROOF LT
- WALL MOUNTED LIGHT
- UNDER COUNTER LIGHT
- EXHAUST FAN / LIGHT
- SPEAKER
- DOOR BELL CHIMES
- JUNCTION BOX
- GROUND FAULT INTERUPT CIRCUIT WATERPROOF OUTLET
- CEILING FAN W/ LIGHTS

GENERAL NOTES:

1. ALL ROOF RAFTERS SHALL BE 2X6 @ 16" OC UNLESS NOTED OTHERWISE.
2. ALL CEILING JOIST SHALL BE 2X6 @ 16' OC UNLESS NOTED OTHERWISE.
3. ALL GYPSUM WALLBOARD SHALL BE 1/2" WITH SCREW FASTENERS UNLESS NOTED OTHERWISE.
4. PROVIDE AND INSTALL 1/2" CEMENT BOARD AT SHOWER WALLS AND CEILING. FIBERGLASS MESH TAPE SET IN THIN SET COMPOUND AT ALL JOINTS. APPLY TWO COATS OF HYDRO BAN WATERPOOFING TO WALLS, FLOOR, AND CEILING.

NO	REVISION	RVSD BY	ISSUED DATE

PROJECT: 508

CHECKED BY: GMW
DATE: 11/11/14

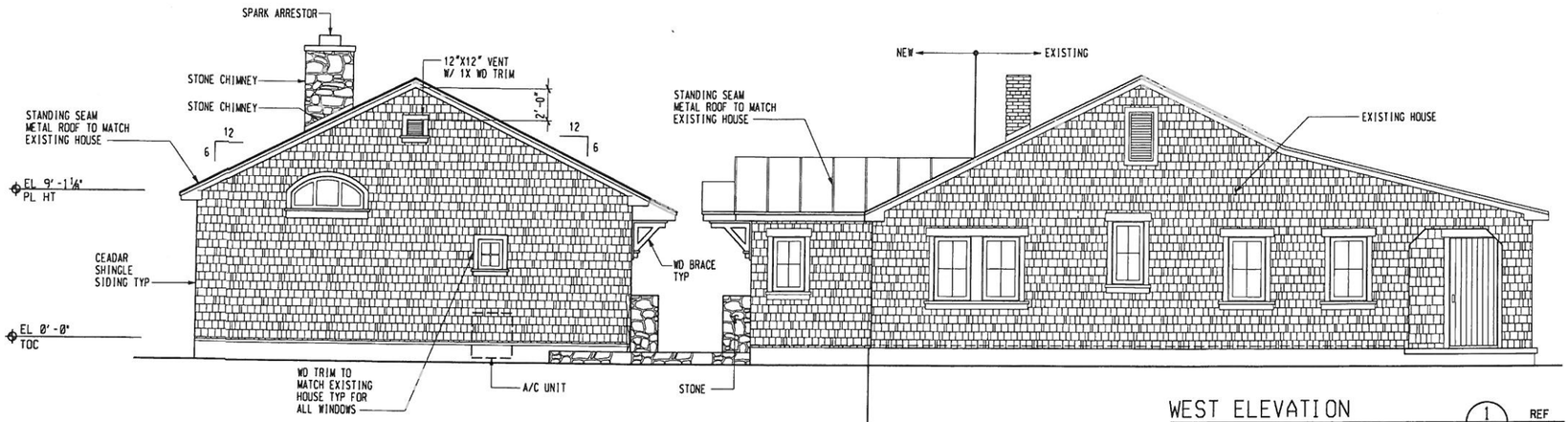
WILLIAMS RESIDENCE

GARY MORGAN WILLIAMS / ARCHITECT
508 WEST CREEK STREET FREDERICKSBURG TEXAS 78624 214-336-6468 gmwarchitect@hotmail.com

REGISTERED ARCHITECT STATE OF TEXAS
11/11/2014

SHEET:
A1.0

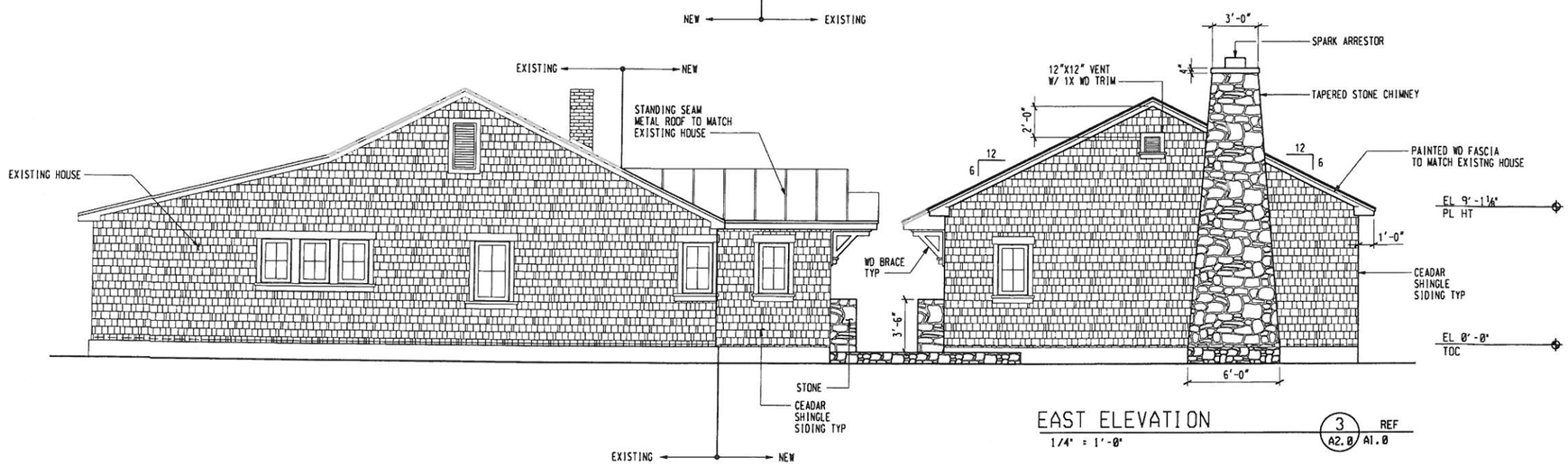
8



WEST ELEVATION

1/4" = 1'-0"

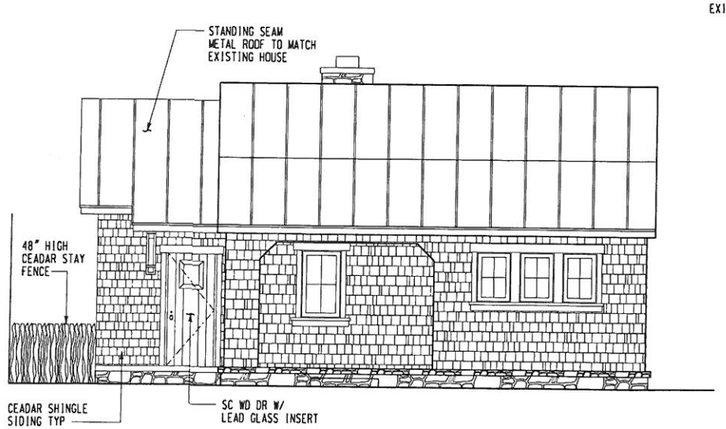
1 A2.0 REF A1.0



EAST ELEVATION

1/4" = 1'-0"

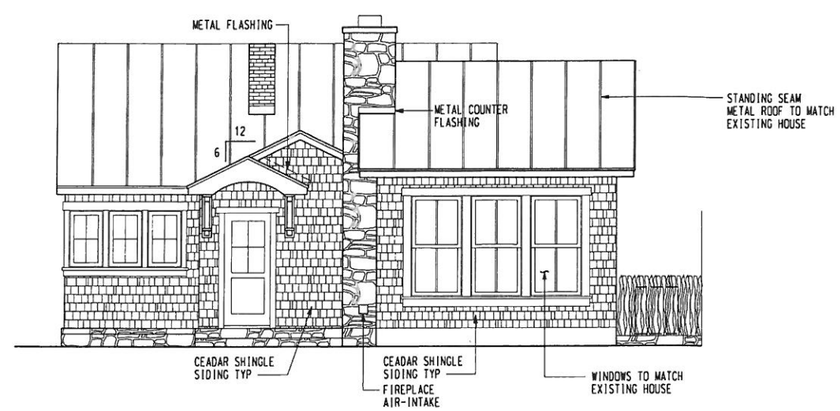
3 A2.0 REF A1.0



SOUTH ELEVATION

1/4" = 1'-0"

2 A2.0 REF A1.0



NORTH ELEVATION

1/4" = 1'-0"

4 A2.0 REF A1.0

4' 2' 0 4' 8'

1/4" = 1'-0"

NO	REVISION	RVSD BY	ISSUED DATE

PROJECT: 508

CHECKED BY: GMW

DATE: 11/11/14

508 WILLIAMS CREEK RESIDENCE

508 WEST CREEK STREET

GARY MORGAN WILLIAMS / ARCHITECT

508 WEST CREEK STREET FREDERICKSBURG TEXAS 78624 214-336-6468 gmw@architect.com

FOR REGULATORY APPROVAL PERMITTING AND CONSTRUCTION

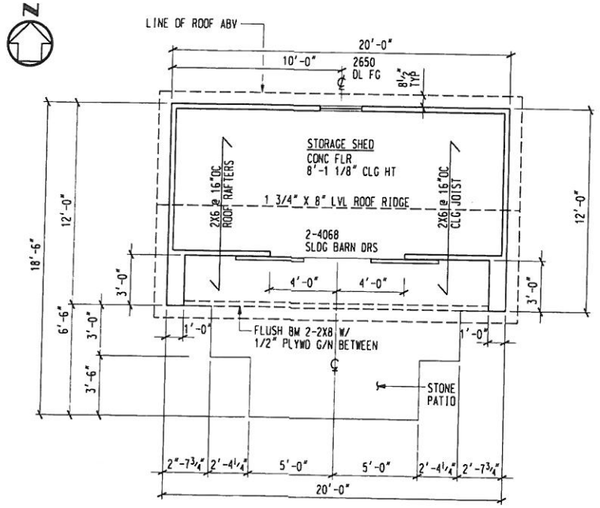
REGISTERED ARCHITECT GARY MORGAN WILLIAMS 14873 STATE OF TEXAS

11/11/2014

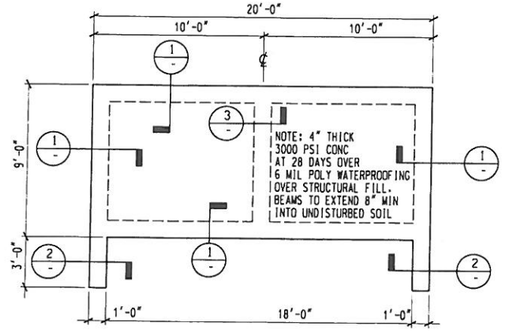
SHEET:

A2.0

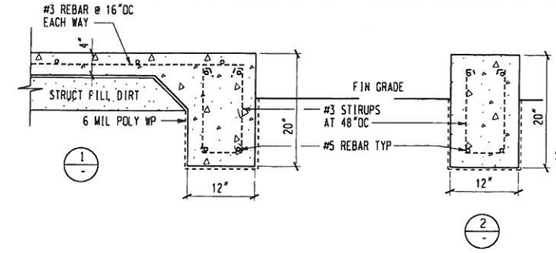
9

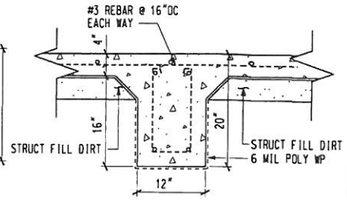


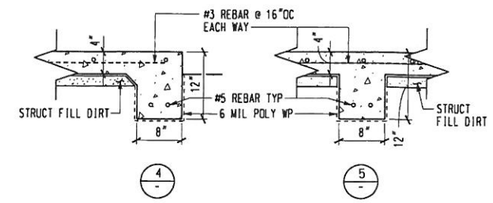
STORAGE PLAN 1/4" = 1'-0" (1 / A3.0) REF

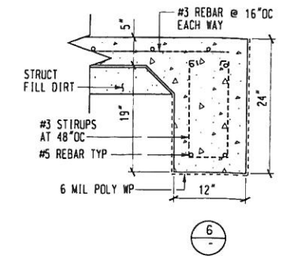


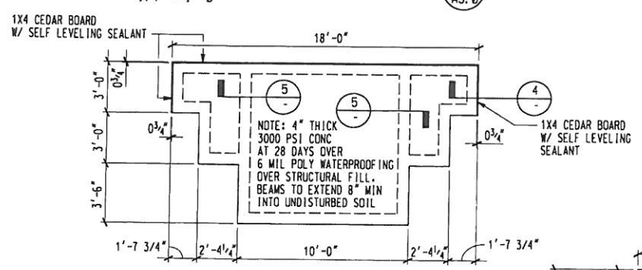
FOUNDATION PLAN-STORAGE 1/4" = 1'-0" (2 / A3.0) REF



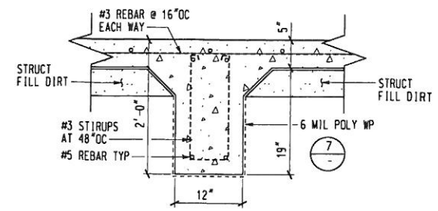


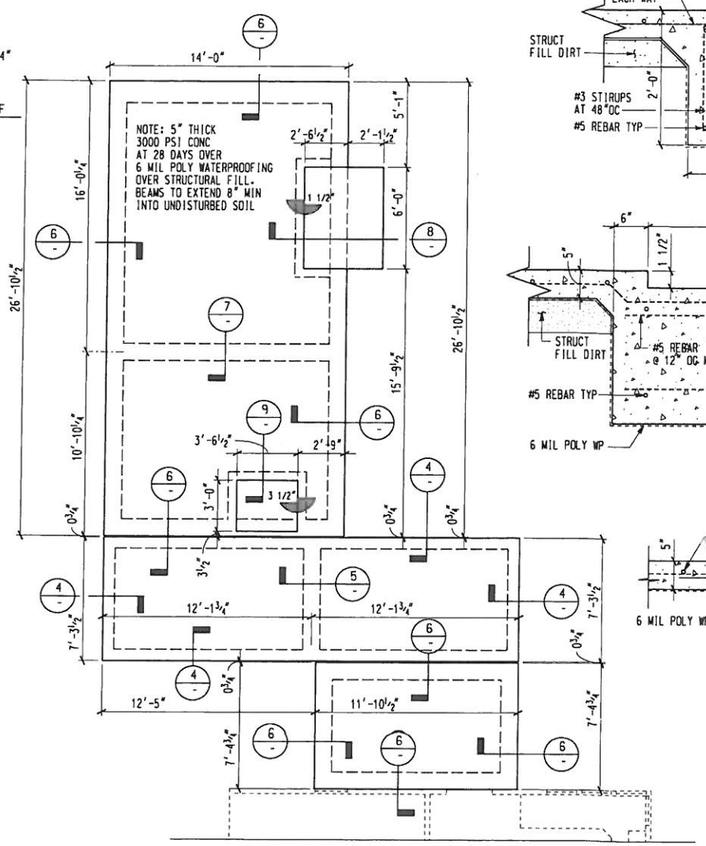


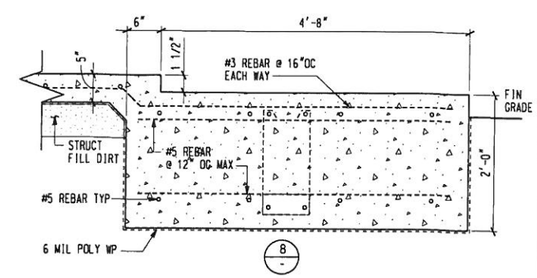


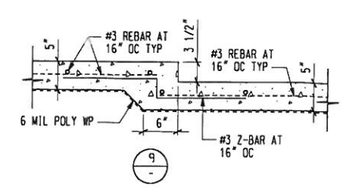


FOUNDATION PLAN-PATIO 1/4" = 1'-0" (3 / A3.0) REF

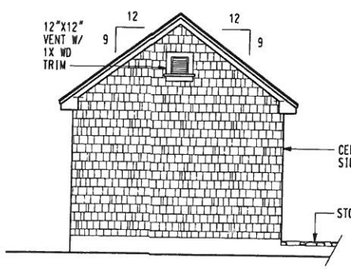




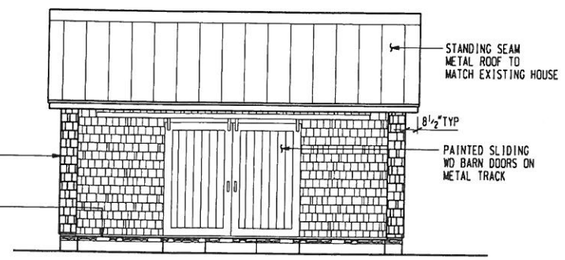




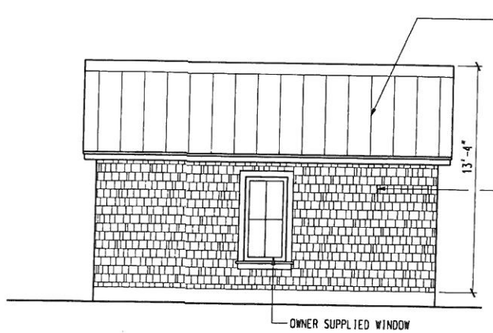
NOTE:
FOR ALL FOUNDATION DETAILS
1" = 1'-0"



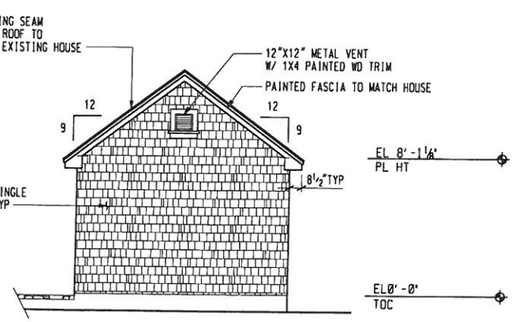
WEST ELEVATION-STORAGE 1/4" = 1'-0" (4 / A3.0) REF



SOUTH ELEVATION-STORAGE 1/4" = 1'-0" (5 / A3.0) REF



NORTH ELEVATION-STORAGE 1/4" = 1'-0" (6 / A3.0) REF



EAST ELEVATION-STORAGE 1/4" = 1'-0" (7 / A3.0) REF

FOUNDATION PLAN - HOUSE 1/4" = 1'-0" (8 / A3.0) REF

1/4" = 1'-0"

1" = 1'-0"

NO	REVISION	RVSD BY	ISSUED DATE	PROJECT: 508

CHECKED BY: GMW
DATE: 11/11/14

WILLIAMS RESIDENCE

GARY MORGAN WILLIAMS / ARCHITECT
508 WEST CREEK STREET FREDERICKSBURG TEXAS 78624 214-336-6468 gmwarchitect@aol.com

REGISTERED ARCHITECT GARY MORGAN WILLIAMS STATE OF TEXAS 14479
11/11/2014

SHEET:
A3.0

Inventory of Properties

505 W. Creek

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	717
Address	505 W. Creek
Date	1900
Stylistic Influence	vernacular
GCAD Hyperlink	R13903
Owner	AVERY, JAMES
Historic District	Yes Historic District
Assessment	Example of a distinctive building type or architectural style that has suffered severe alterations or deterioration, resulting in a loss of historical integrity.
Notes	All original windows replaced, exterior walls reclad w/asbestos shingles and stone, and front porch enclosed.

1983 Historic Resources Survey

Previous Site No.	717
Previous Ranking	3
Previous Photo References	
Roll	13
Frame	37

506 W. Creek

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	486
Address	506 W. Creek
Date	1915
Stylistic Influence	Craftsman
GCAD Hyperlink	R20965
Owner	KRAUSKOPF, PATRICIA ETAL
Historic District	Yes Historic District
Assessment	Example of a distinctive building plan that has undergone alterations or deterioration.
Notes	Exterior walls reclad with asbestos shingles, some windows replaced with aluminum sash units, glass block added around primary entrance, original porch location changed (per Sanborn maps).

1983 Historic Resources Survey

Previous Site No.	260
Previous Ranking	4
Previous Photo References	
Roll	27
Frame	25

507 W. Creek

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	716
Address	507 W. Creek
Date	1930
Stylistic Influence	
GCAD Hyperlink	R26082
Owner	SCHNERR, BILLY MARVIN & PARKER, DORIS JEAN
Historic District	Yes Historic District
Assessment	Example of a distinctive building type or architectural style that has suffered severe alterations or deterioration, resulting in a loss of historical integrity.
Notes	Exterior walls reclad with brick.

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

508 W. Creek

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	485
Address	508 W. Creek
Date	1955
Stylistic Influence	
GCAD Hyperlink	R29045
Owner	PARKER, JAMES CRAIG & MARGARET A
Historic District	Yes Historic District
Assessment	Example of a more recent common local building form, architectural style or plan type with no known historical associations. Resource has undergone alterations.
Notes	Original exterior materials covered with asbestos shingles and original porch posts replaced.

1983 Historic Resources Survey

Previous Site No.	261
Previous Ranking	4
Previous Photo References	
Roll	27
Frame	27

Historic Review Board
Application Information

Application Number:	14-102
Date:	December 5, 2014
Address:	206 E. Centre
Owner:	John and Susie Hever
Applicant:	Steve Thomas
Rating:	High
Proposed Modifications:	See attached
Neighborhood Characteristics:	The subject property is in the Historic District.
Staff Comments:	The scope of the project justifies Board review.

General Notes:

The mandatory functions of the Board include the following:

(1) Removal, addition or modification of architectural detail. The distinguishing historic qualities or character of a building, structure, or site and its environment shall not be destroyed. Removal or modification of any historic material or distinctive architectural features may be accomplished upon issue of certificate of appropriateness; however, this should be avoided when possible. Architectural features include but are not limited to exterior wall materials, windows, railings, decorative woodwork, masonry, or stone elements.
(2) Paint color and application. Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.
(3) New construction in historic districts. The board will review all new construction plans within Historic Districts in order to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion, design harmony and setback.

The advisory functions of the Board include the following:

(1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
(2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
(3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
(4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
(5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
(6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
(7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

Preservation Priority Rating. Three-tier rating system used in the 2002 *Fredericksburg Historic Resource Survey* to evaluate all properties within, and adjoining to, the City's Historic District. Ratings are based upon current determinations of architectural value and integrity and, if known, historical and cultural value, and may be altered from time to time as additional information is discovered or circumstances change.

HIGH rating. The most significant properties identified in the 2002 *Fredericksburg Historic Resource Survey*. These properties are considered to be outstanding, unique, or good examples of architecture, engineering, or design. Some are unique to the Fredericksburg area and are indicative of German-Texan vernacular forms and/or building techniques. Others are noteworthy examples of 19th and early 20th century architectural types, styles, and forms, erected using local building materials and construction technologies. Properties designated with a high rating are to be the most protected from alteration and demolition.

MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

LOW rating. Properties that minimally enhance the district's ability to convey a sense of time and place. These properties may be typical examples of more recent, common local building forms, architectural styles, or plan types; be examples of distinctive building forms, architectural styles, or plan types that have been significantly altered; lack the necessary age to meet the usual fifty (50) year threshold for possible National Register of Historic Places listing and do not appear to meet the National Register of Historic Places standard for exceptional significance for properties less than fifty (50) years of age, but which nevertheless may have relative value within the Historic District, meriting preservation. Properties or improvements with a low rating may be considered for relocation or demolition upon a determination by the Historic Review Board that the same can be accomplished with little or no consequence to the historical, cultural, architectural, or archeological character of the district or property.

14-102

Application for Certificate of Appropriateness

Application Date: 11-24-14 Application Complete: 11-24-14

Property Address: 206 EAST CENTRE STREET

Owner: JOHN AND SUSIE HEVER Phone No. 830-868-9137

Address: 1398 FIELDSTONE RIDGE, JOHNSON CITY, TEXAS 78636

Applicant: STEVE THOMAS, AIA Phone No. 830-997-0383

Address: 300 C WEST MAIN ST, FBG, TX 78624 Fax No. 830-990-9272

Description of External Alteration/Repair or Demolition: ADDITIONS TO A 1895 LOW STYLE VICTORIAN (QUEEN ANNE) DONE IN TWO PHASE AND ALMOST DOUBLING THE SQUARE FOOTAGE.

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site: SIMILAR MATERIALS, SCALE, AND CHARACTER

NOT IN THE HISTORIC DISTRICT

Any circumstances or conditions concerning the property which may affect compliance with the ordinance:

NONE

☑ Drawing ☐ Sketch Date Submitted: 11-24-14 ☐ Historic Photograph

Desired Starting Date: 1-27-15 Desired Completion Date: 7-30-15

SURVEY RATING: ☒ High ☐ Medium ☐ Low ☐ None

☐ RTHD: Estimated Date of Construction

APPLICANT SIGNATURE: Steve Thomas

The Applicant *certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property*

Building Official's Determination Date 11/25/14 *(Max 7 days)* ☐ *Insignificant* ■ *Significant*

Chairman's Determination Date 11/25/14 *(Max 7 days)* ☐ *Insignificant* ■ *Significant*

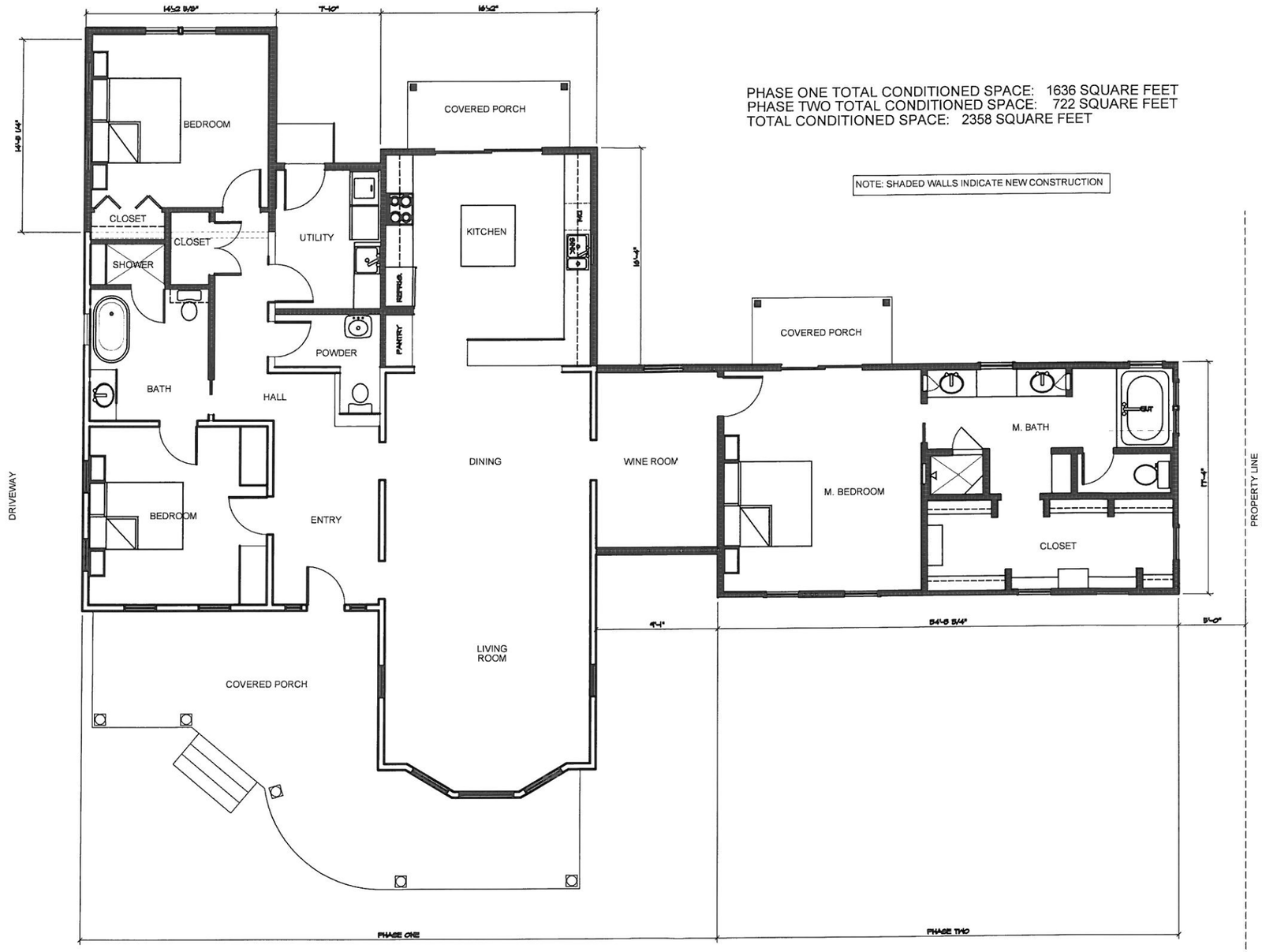
Meeting Date (40 days max. after complete application) Notice to Applicant:

APPLICATION FEE: *-$10.00 plus ☐ Board Review*; CERTIFICATE OF APPROPRIATENESS-*$40.00*

RECEIVED NOV 24 2014

PHASE ONE TOTAL CONDITIONED SPACE: 1636 SQUARE FEET
PHASE TWO TOTAL CONDITIONED SPACE: 722 SQUARE FEET
TOTAL CONDITIONED SPACE: 2358 SQUARE FEET

NOTE: SHADED WALLS INDICATE NEW CONSTRUCTION



FLOOR PLAN - G

1/4" = 1' - 0"

PRELIMINARY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. STEVEN N. THOMAS, AIA #13710

STEHLING ·KLEIN ·THOMAS ·ARCHITECTS, P.L.L.C.
STEVE THOMAS, AIA - PROJECT ARCHITECT
300 C WEST MAIN STREET, FREDERICKSBURG, TEXAS 78624
PHONE: 830-997-0383 FAX: 830-990-9272

RESIDENCE ADDITION AND REMODELING FOR

JOHN & SUSIE HEVER

206 EAST CENTRE FREDERICKSBURG, TEXAS

DATE 11-19-14
PROJECT NUMBER 14-03
REVISION

FLOOR PLAN

A-2

SOUTH (STREET) ELEVATION

1/4" = 1' - 0"

WEST (SIDE) ELEVATION

1/4" = 1' - 0"

16

STEHLING · KLEIN · THOMAS · ARCHITECTS, P.L.L.C.
STEVE THOMAS, AIA - PROJECT ARCHITECT
300 C WEST MAIN STREET, FREDERICKSBURG, TEXAS 78624
PHONE: 830-997-0383 FAX: 830-990-9272

RESIDENCE ADDITION AND REMODELING FOR
JOHN & SUSIE HEVER
206 EAST CENTRE FREDERICKBURG, TEXAS

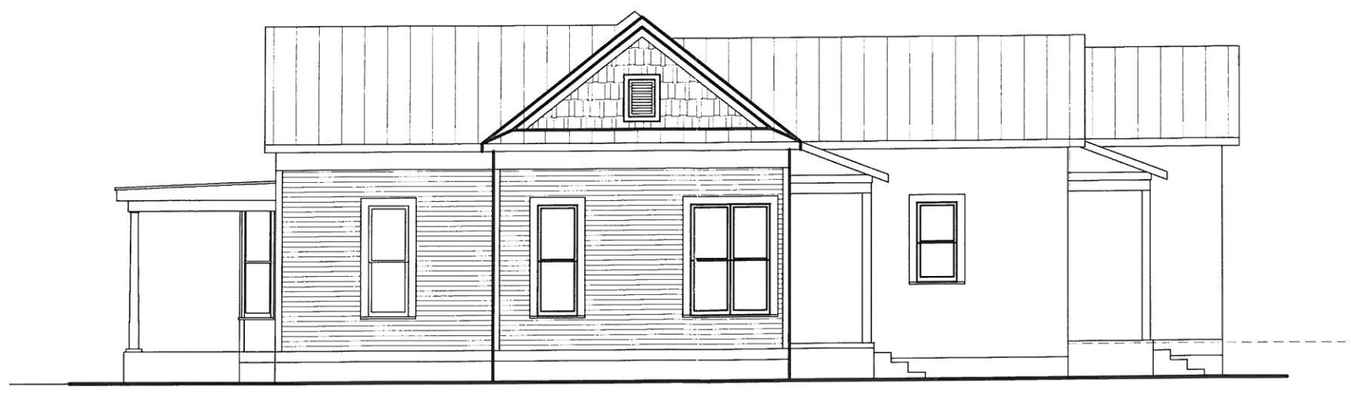
DATE 11-19-14
PROJECT NUMBER 14-05
REVISION

FLOOR PLAN

A-3

NORTH (BACK) ELEVATION

1/4" = 1' - 0"



EAST (SIDE) ELEVATION

1/4" = 1' - 0"

17

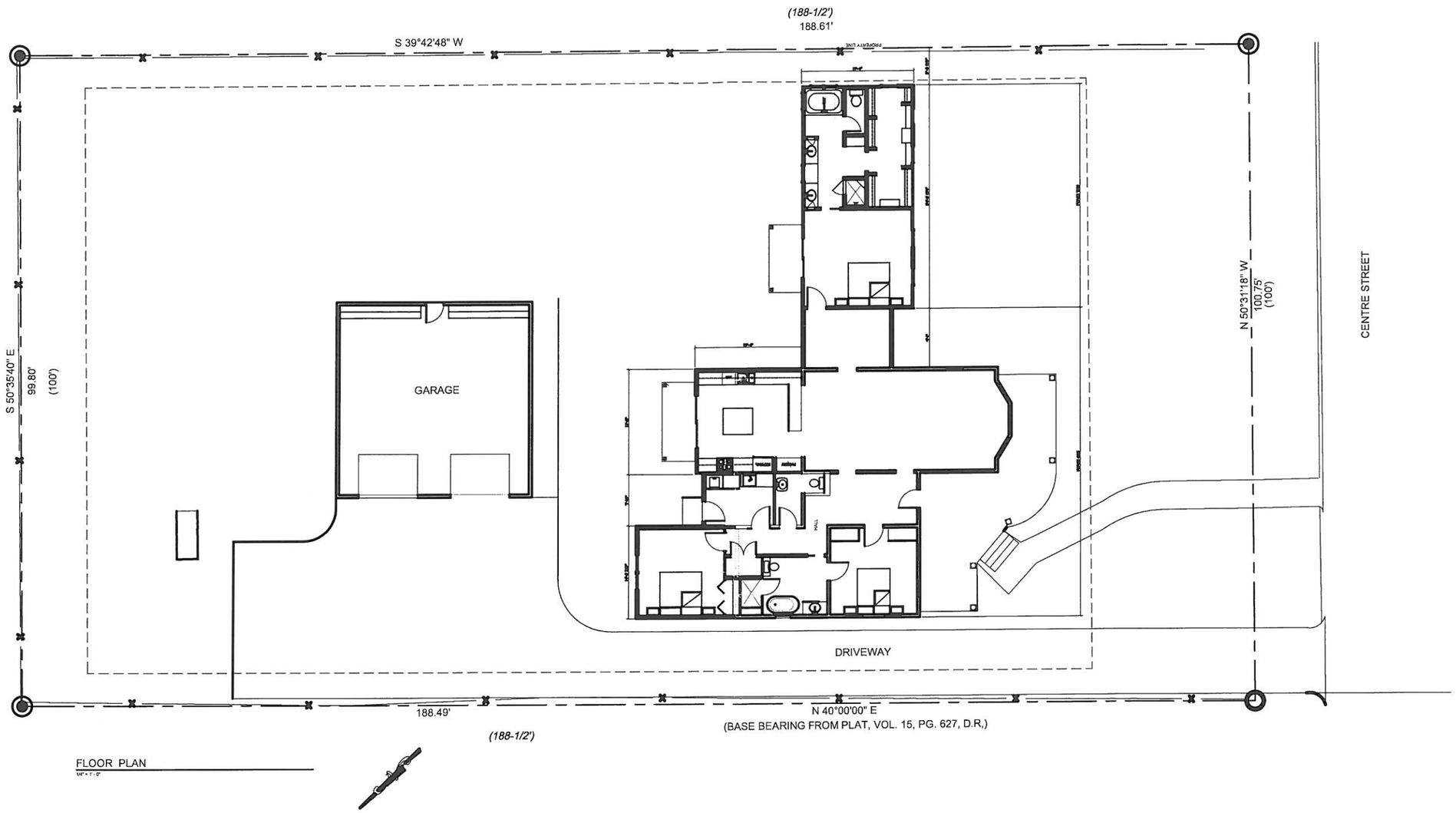
STEHLING · KLEIN · THOMAS · ARCHITECTS, P.L.L.C.
STEVE THOMAS, AIA - PROJECT ARCHITECT
300 C WEST MAIN STREET, FREDERICKSBURG, TEXAS 78624
PHONE: 830-997-0383 FAX: 830-990-9272

RESIDENCE ADDITION AND REMODELING FOR
JOHN & SUSIE HEVER
206 EAST CENTRE FREDERICKBURG, TEXAS

DATE 11-19-14
PROJECT NUMBER 14-05
REVISION

FLOOR PLAN

A-4



FLOOR PLAN

PRELIMINARY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. STEVEN N. THOMAS, AIA #13710

18

STEHLING · KLEIN · THOMAS · ARCHITECTS, P.L.L.C.
STEVE THOMAS, AIA - PROJECT ARCHITECT
300 C WEST MAIN STREET, FREDERICKSBURG, TEXAS 78624
PHONE: 830-997-0383 FAX: 830-990-9272

RESIDENCE ADDITION AND REMODELING FOR

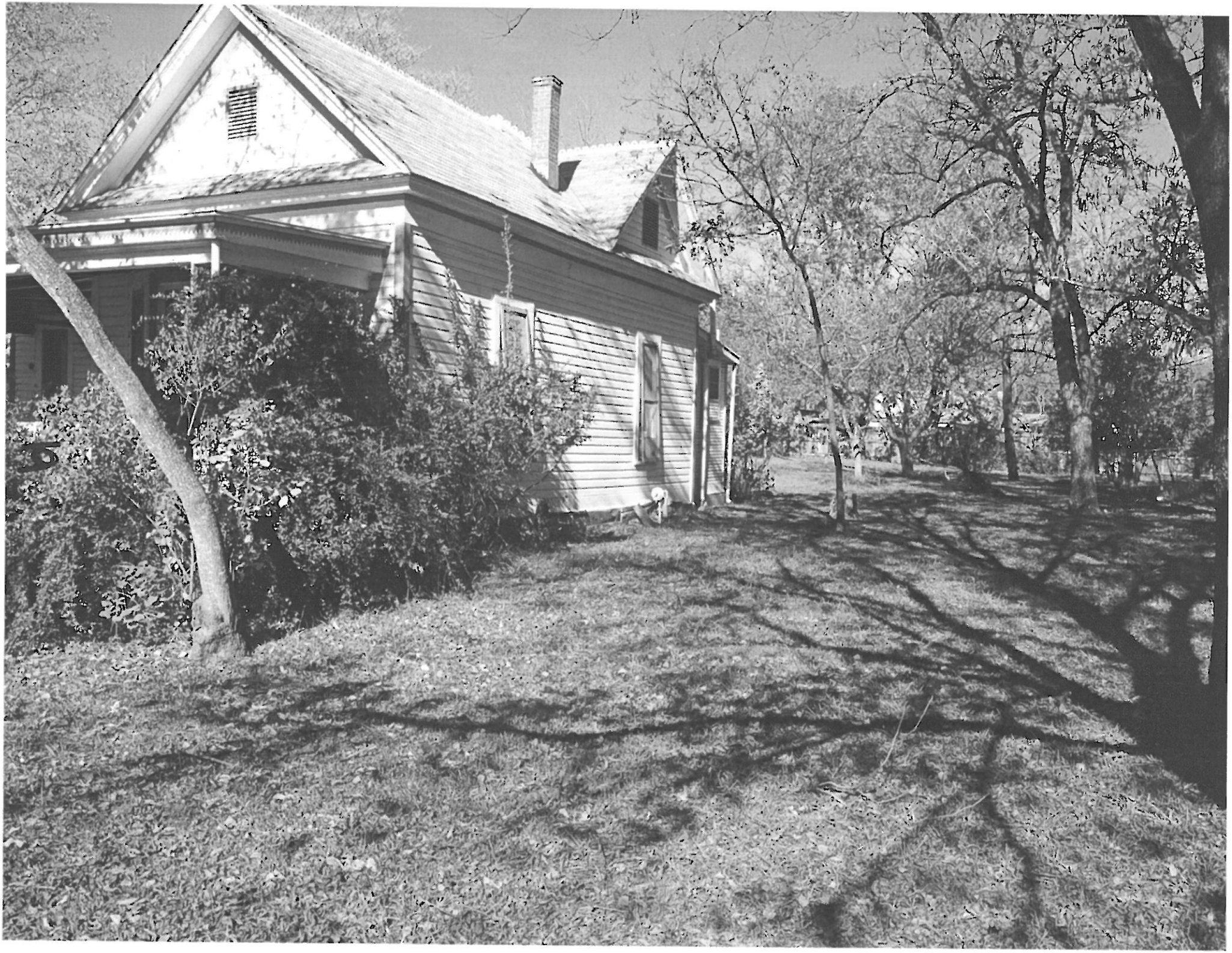
CUTTING EDGE PROPERTY

206 EAST CENTRE FREDERICKSBURG, TEXAS

DATE 11-19-14
PROJECT NUMBER 13-01
REVISION

FLOOR PLAN

A-1



206 E. Centre

2002-05 Re-evaluation

☑ High ☐ Medium ☐ Low

Site ID No.	930
Address	206 E. Centre
Date	1895
Stylistic Influence	Queen Anne
GCAD Hyperlink	R22092
Owner	KIZER, ELSIE E
Historic District	No Local Landmark
Assessment	An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations.
Notes	Porch support replaced and flooring removed.

1983 Historic Resources Survey

Previous Site No.	147
Previous Ranking	2
Previous Photo References	
Roll	2
Frame	36

208 E. Centre

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	1120
Address	208 E. Centre
Date	1900
Stylistic Influence	Folk Victorian
GCAD Hyperlink	R28938
Owner	DODD, DONALD B & JOLENE
Historic District	No Outside Historic District
Assessment	Example of a distinctive building type or architectural style that has suffered severe alterations or deterioration, resulting in a loss of historical integrity.
Notes	stone foundation skinting added; original porch replaced; plywood panel exterior cladding added; large side addition constucted c. 1980

1983 Historic Resources Survey

Previous Site No.	148
Previous Ranking	3
Previous Photo References	
Roll	2
Frame	35

212 E. Centre

2002-05 Re-evaluation

☐ High ☑ Medium ☐ Low

Site ID No.	1122
Address	212 E. Centre
Date	1910
Stylistic Influence	Vernacular
GCAD Hyperlink	R21416
Owner	ROSEBERRY, WILLARD L & JULIET
Historic District	No Outside Historic District
Assessment	An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations. Despite alterations or deterioration, resource retains much of its original form and character. Resource is an excellent example of its type.
Notes	porch on rear; two outbuildings; rear addition; original porch floor replced w/concrete deck

1983 Historic Resources Survey

Previous Site No.	150
Previous Ranking	3
Previous Photo References	
Roll	2
Frame	34

310 E. Centre

2002-05 Re-evaluation

☐ High ☑ Medium ☐ Low

Site ID No.	1124
Address	310 E. Centre
Date	1930
Stylistic Influence	Craftsman
GCAD Hyperlink	R28605
Owner	PURSE, WILLIAM L & MARTHA
Historic District	No Outside Historic District
Assessment	Example of a common building form, architectural style, or plan type that has suffered minor or no alterations. Resource is a good example of its type.
Notes	

1983 Historic Resources Survey

Previous Site No.	151
Previous Ranking	3
Previous Photo References	
Roll	2
Frame	33

404 E. Centre

2002-05 Re-evaluation

☐ High ☑ Medium ☐ Low

Site ID No.	1125
Address	404 E. Centre
Date	1920
Stylistic Influence	Craftsman
GCAD Hyperlink	R18913
Owner	WALLACE, JAMES M & L JEANNE
Historic District	No Outside Historic District
Assessment	Example of a common building form, architectural style, or plan type that has suffered minor or no alterations. Resource is a good example of its type.
Notes	

1983 Historic Resources Survey

Previous Site No.	152
Previous Ranking	3
Previous Photo References	
Roll	2
Frame	32

Historic Review Board
Application Information

Application Number:	14-103
Date:	December 5, 2014
Address:	607 W. San Antonio
Owner:	Ashton and Danielle Saunders
Applicant:	Eric Mustard
Rating:	Medium
Proposed Modifications:	See attached
Neighborhood Characteristics:	The subject property is in the Historic District.
Staff Comments:	The scope of the project justifies Board review.

General Notes:

The mandatory functions of the Board include the following:

(1) Removal, addition or modification of architectural detail. The distinguishing historic qualities or character of a building, structure, or site and its environment shall not be destroyed. Removal or modification of any historic material or distinctive architectural features may be accomplished upon issue of certificate of appropriateness; however, this should be avoided when possible. Architectural features include but are not limited to exterior wall materials, windows, railings, decorative woodwork, masonry, or stone elements.
(2) Paint color and application. Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.
(3) New construction in historic districts. The board will review all new construction plans within Historic Districts in order to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion, design harmony and setback.

The advisory functions of the Board include the following:

(1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
(2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
(3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
(4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
(5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
(6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
(7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

Preservation Priority Rating. Three-tier rating system used in the 2002 *Fredericksburg Historic Resource Survey* to evaluate all properties within, and adjoining to, the City's Historic District. Ratings are based upon current determinations of architectural value and integrity and, if known, historical and cultural value, and may be altered from time to time as additional information is discovered or circumstances change.

HIGH rating. The most significant properties identified in the 2002 *Fredericksburg Historic Resource Survey*. These properties are considered to be outstanding, unique, or good examples of architecture, engineering, or design. Some are unique to the Fredericksburg area and are indicative of German-Texan vernacular forms and/or building techniques. Others are noteworthy examples of 19th and early 20th century architectural types, styles, and forms, erected using local building materials and construction technologies. Properties designated with a high rating are to be the most protected from alteration and demolition.

MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

LOW rating. Properties that minimally enhance the district's ability to convey a sense of time and place. These properties may be typical examples of more recent, common local building forms, architectural styles, or plan types; be examples of distinctive building forms, architectural styles, or plan types that have been significantly altered; lack the necessary age to meet the usual fifty (50) year threshold for possible National Register of Historic Places listing and do not appear to meet the National Register of Historic Places standard for exceptional significance for properties less than fifty (50) years of age, but which nevertheless may have relative value within the Historic District, meriting preservation. Properties or improvements with a low rating may be considered for relocation or demolition upon a determination by the Historic Review Board that the same can be accomplished with little or no consequence to the historical, cultural, architectural, or archeological character of the district or property.

14-103

Application for Certificate of Appropriateness

Application Date: 11/24/14 Application Complete: _____

Property Address: 607 W. SAN ANTONIO ST.

Owner: ASHTON & DANIELLE SAUNDERS Phone No. 917-455-1725

Address: 2605 FRA MAURO CT. LEAGUE CITY, TX 77573

Applicant: ERIC MUSTARD/MUSTARD DESIGN Phone No. 830-997-7024

Address: 150 E MAIN #201 FBG TX 78624 Fax No. 830-990-8424

Description of External Alteration/Repair or Demolition: ADDITION OF ROOF AWNINGS OVER ENTRY & FRONT WINDOWS - REMOVE SHUTTERS CENTER ENTRY DOOR, ADD TRANSOM

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site: SHUTTERS DO NOT MAKE SENSE ON PAIRED WINDOWS. ENTRY DOOR SHOULD BE CENTERED ON SYMMETRICAL FACADE. AWNINGS GIVE DEFINITION TO ENTRY & WDWS.

Any circumstances or conditions concerning the property which may affect compliance with the ordinance: _____

☑ Drawing ☐ Sketch Date Submitted: 11/24/14 ☐ Historic Photograph

Desired Starting Date: 1/1/15 Desired Completion Date: 6/1/15

SURVEY RATING: ☐High ☑Medium ☐Low ☐None

☐ RTHL; Estimated Date of Construction _____

APPLICANT SIGNATURE: [signature]

The Applicant *certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property*

[signature] Date 11/25/14 ☐*Insignificant* ■*Significant*

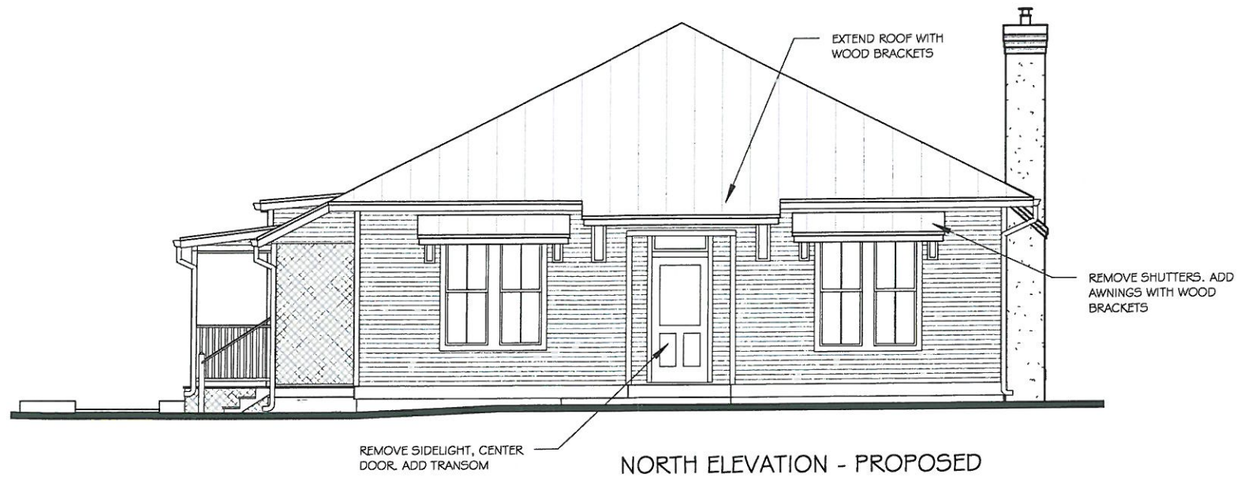
Building Official's Determination *(Max 7 days)*

[signature] Date 11/25/14 ☐*Insignificant* ■*Significant*

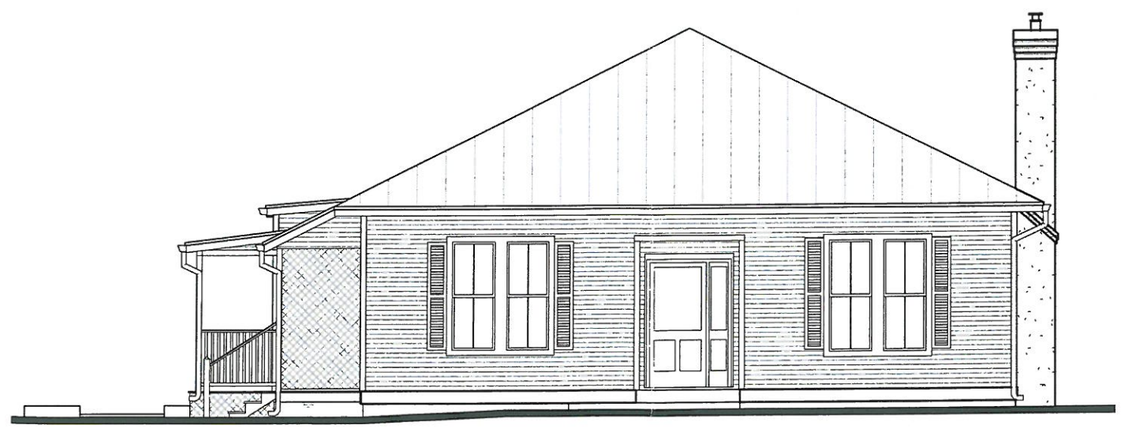
Chairman's Determination *(Max 7 days)*

Meeting Date (40 days max. after complete application) _____ Notice to Applicant: _____

APPLICATION FEE:-*$10.00 plus ☐ Board Review*; CERTIFICATE OF APPROPRIATENESS-*$40.00*



NORTH ELEVATION - PROPOSED



NORTH ELEVATION - EXISTING

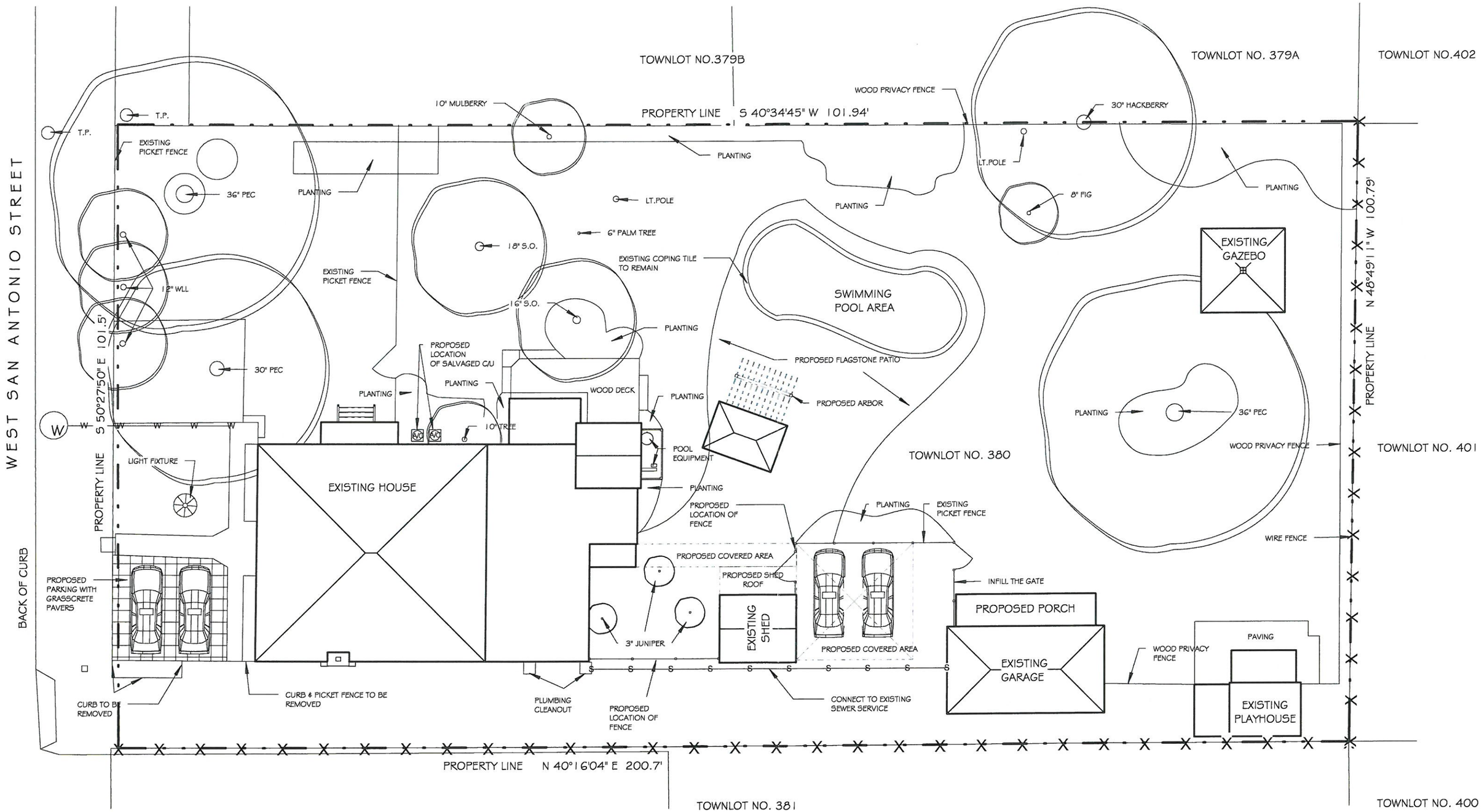
A NEW RESIDENCE FOR:

MR. & MRS. SAUNDERS

mustard DESIGN

ELEVATION

11/24/14



A NEW RESIDENCE FOR:

MR. & MRS. SAUNDERS

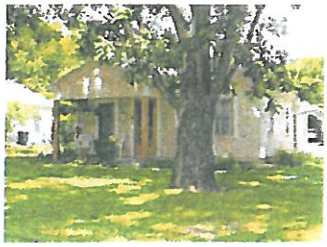
mustard DESIGN

SITE PLAN

27

11/24/14

606 W. San Antonio



Site ID No.	305
Address	606 W. San Antonio
Date	1920
Stylistic Influence	
GCAD Hyperlink	R70794
Owner	MEURER, JOE P ETAL % CHRISTINE & JULIA MEURER
Historic District	Yes Historic District
Assessment	Example of a distinctive building type or architectural style that has undergone alterations or deterioration.
Notes	Building's exterior walls have been reclad with asbestos shingles.

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

2002-05 Re-evaluation

☐ High ☑ Medium ☐ Low

607 W. San Antonio

Site ID No.	188
Address	607 W. San Antonio
Date	1910
Stylistic Influence	
GCAD Hyperlink	R2274
Owner	KAISER, PATTI D
Historic District	Yes Historic District
Assessment	An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations.
Notes	

1983 Historic Resources Survey

Previous Site No.	709
Previous Ranking	3
Previous Photo References	
Roll	20
Frame	17

2002-05 Re-evaluation

☐ High ☑ Medium ☐ Low

608 W. San Antonio

Site ID No.	304
Address	608 W. San Antonio
Date	1920
Stylistic Influence	
GCAD Hyperlink	R27915
Owner	WALLACE, GRACE LORAINE
Historic District	Yes Historic District
Assessment	Example of a distinctive building type or architectural style that has undergone alterations or deterioration.
Notes	Asbestos shingles added to gable end.

1983 Historic Resources Survey

Previous Site No.	708
Previous Ranking	4
Previous Photo References	
Roll	31
Frame	32

2002-05 Re-evaluation

☐ High ☑ Medium ☐ Low

609 W. San Antonio

Site ID No.	187
Address	609 W. San Antonio
Date	1980
Stylistic Influence	
GCAD Hyperlink	R28166
Owner	WEBER, EDGAR S
Historic District	Yes Historic District
Assessment	The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority.
Notes	

1983 Historic Resources Survey

Previous Site No.	710
Previous Ranking	3
Previous Photo References	
Roll	20
Frame	18

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

1. ARCHITECTURAL STYLE

Intent

Architectural style is the overall character or design of a building that makes it identifiable. The style is typically determined by the period when a building was built, and the culture that built it. The architecture in the Historic District can be defined as eclectic, with multiple techniques and styles throughout the area.

Historically, the settlers to the hills of central Texas brought their carpentry and stone mason skills to their buildings. The locally available white limestone and later brown sandstone were used with the local cedar to construct the well-crafted buildings throughout the region. The more rustic simple nature of Texas Hill Country style is also due to the lean times when the area was being settled, resulting in a simple style. The Hill Country style has a modern elegance because of its simplicity, materials and craftsmanship in construction.

The intent of the Architectural Style Standards are to:

- Create a uniform and cohesive corridor of development;
- Preserve the City's historic and cultural resources, so that they contribute to the special character and quality of Fredericksburg;
- Protect historic resources; and
- Encourage adaptive reuse, rehabilitation, and retrofitting of historic buildings in which the original use is no longer feasible.

Applicability

1.0 – Architectural Styles Design Standards apply to all redevelopment in the entry corridors.

Standards

1.1 – Adhere to the Historic District Guidelines when rehabilitating historic buildings.

1.2 – If the building is not a Pioneer, Gothic, Texas Regional, Commercial, Italianate, Bungalow, or Folk Victorian style, then it must conform to the design principles of one of these styles.

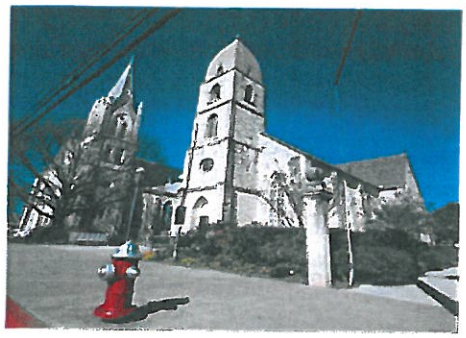
Guidelines

1.3 – The architectural style of the entry corridor should be reflective of the Texas Hill Country aesthetic.

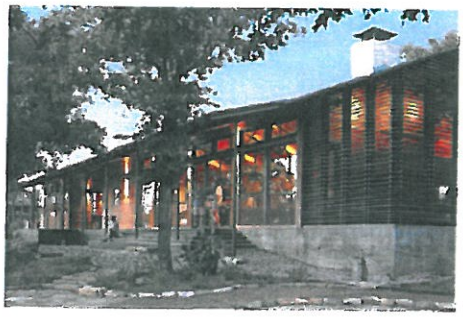
1.4 – New designs should be compatible with the design traditions of the established neighborhoods and regional Texas Hill Country aesthetic. It is not the intent of these guidelines to require that new buildings copy older building styles. Therefore, use traditional building forms and broader similarities of design in order to be compatible with existing buildings in the area that reflect the traditional context.

1.5 – The use of standardized "corporate" architectural designs associated with chain or franchise buildings (prevalent with restaurants, service stations and retail stores) is strongly discouraged and alternative designs consistent with this design manual may be required.

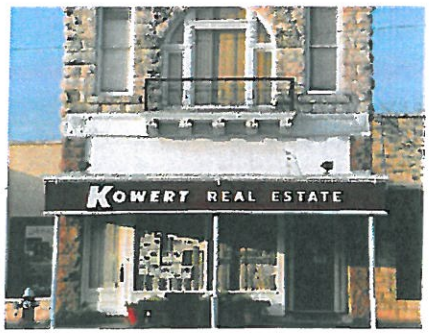
- **Pioneer** - Split logs, rock facades, wide chinking, limestone additions, Sunday houses



- **Gothic Revival** - Steeply pitched roofs, arches, towers



- **Texas Regional (Not in Historic Guidelines)** - sophisticated, modern, local materials, regional design techniques, metal brackets with awnings



- **Commercial** - One to three story, three bay façade, recessed entrance, transom windows, decorative cornice

- **Italianate** - wide overhanging eaves, low pitched roof, grouped supports

- **Bungalow** - decorative beams, partial width, deep porches, exposed roof rafters, gabled roofs

- **Folk Victorian** - symmetrical façade, spindle work on supports and railings, one story

2. ARCHITECTURAL MATERIALS

Intent

The materials used in construction are a primary element in the appearance of the building. Much of the newer construction along the entry corridors utilizes modern materials, including metal facades, tilt wall concrete, etc. These materials allow for more efficient and cost effective construction; however, they do not contribute to the overall character and appearance. Design guidelines for materials will address this to ensure new construction utilizes appropriate materials to enhance entryway appearance.

The intent of the Architectural Materials Standards are to:

- Adhere to the Historic District Guidelines when rehabilitating historic buildings;
- Ensure materials are fitting with the Texas Hill Country style prevalent in Fredericksburg;
- Utilize materials that have minimum environmental impacts (glare, SRI, excessive heat, etc.);
- Use materials that contribute to the visual interest of the structures; and
- Use efficient and cost effective construction.

Applicability

2.0 – Architectural Materials Design Standards apply to all redevelopment in the entry corridors.

Standards

2.1 – Buildings shall employ authentic, textured materials, compatible with the traditional Hill Country aesthetic. Highly reflective materials are unacceptable, because of their tendency to create uncomfortable glare conditions.

2.2 – Use cedar, limestone and brown sandstone.

2.3 – Abide by Historic District Guidelines for preserving historic buildings.

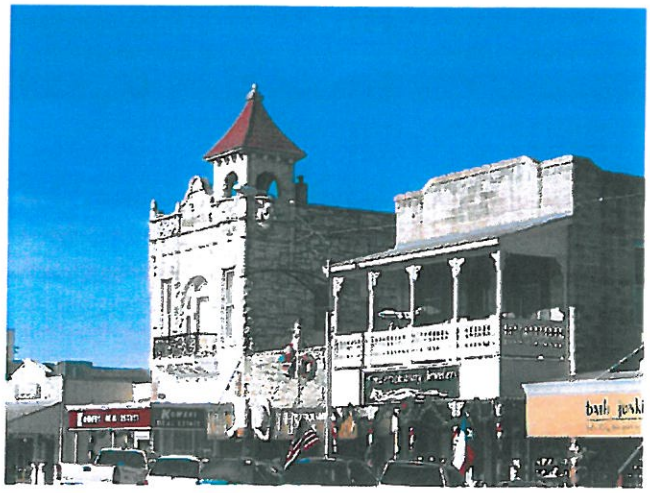
2.4 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines).

2.5 – Do not create a false sense of era or appearance with replacement of metal details or features that are not based upon any historical evidence (Historic Design Guidelines).

Guidelines

2.6 – New developments should choose materials that offer texture and avoid monotonous faces to add visual interest and reduce its apparent scale.

- Building materials are well preserved to maintain the historical nature of the City.



- Common materials create the sense of a district and identity.

- The historical building facade promotes the historical characteristics of the City through the use of stone and wood.

- The use of different materials on a building can break up the visual scale of the building, allowing for a more relaxed and comfortable pedestrian experience.

3. ARCHITECTURAL COLOR

Intent

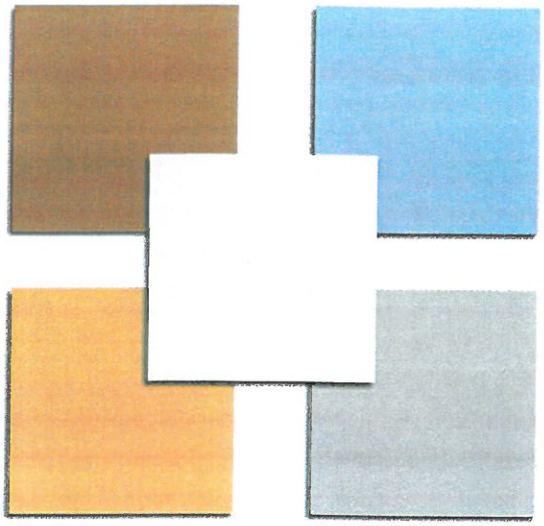
Color may seem a small element in overall community design, but it plays a significant role in appearance. Colors that would be perfectly appropriate in one community, such as the pastels found on homes and businesses in Port Aransas, would look wildly out of place in Fredericksburg. This section shouldn't limit landowners to four shades of beige; however, there should be consideration of what colors coordinate with existing development and the overall character of the community.

The intent of the Architectural Color Standards are to:

- Create a pleasing color scheme that preserves and highlights the heritage of Fredericksburg; and
- Create a robust but form-fitting color palate which allows enough variation to not seem repetitive, but still restrictive enough to keep outlandish color scheme from occurring.

Applicability

3.0 – Architectural Colors Design Standards apply to all redevelopment in the entry corridors.



Standards

3.1 – Choose colors used traditionally in Fredericksburg such as muted shades of greens, blues, and tans (Historic Design Guidelines).

3.2 – Use color to coordinate façade elements in an overall composition and tie all of the building elements together.

3.3 – Reserve bright colors for accents only. Limit the use of bright colors to no more than 30 percent of the overall exterior building façade.

Guidelines

3.4 – Predominate building colors shall be of earth tones, but may be accented with brighter colors to provide color variation, punctuation, and eclecticism unique to Fredericksburg.

- Architectural colors are muted and fit nicely in the Hill Country.

- Bright, architectural colors are used with restrain and sophistication.

- The use of traditional colors against the historic limestone rock creates a visually appealing and eye-catching structure.

- Landscaping provides a sense of scale and color to the front of a building.

4. ARCHITECTURAL FEATURES

Intent

Architectural features are the specific elements that create the appearance of the building. These include the windows, canopies and awnings, roof, parapets, etc. To create a consistent look throughout an area, buildings should share common features and elements. It is not that they need to be uniform on every building, rather that there is a consistency to them.

The intent of the Architectural Features Standards are to:

- Use listed features on buildings to help promote not only historical aesthetic value, but also create strong social settings when applicable;
- Create retail and commercial spaces that feel open with use of large windows, and architectural features which promote a "human scale;"
- Maintain a feeling of historical character in architecture throughout the city;
- Provide detailed façade treatments on any elevation that is visible from streets/corridors or from any primary elevations of adjoining buildings; and
- Avoid use of unadorned blank walls on elevations facing entry corridors and side streets.

Applicability

4.0 – Architectural Features Design Standards apply to all redevelopment in the entry corridors.

Standards

4.1 – Blank or featureless walls will not be approved along parks, plazas, entry corridors or side streets.

4.2 – Design buildings with a "human scale" by using architectural enhancements. The building facade facing the parks, plazas, entry corridors or side streets shall have visible, clearly defined customer entrances that include at least three of the following elements: canopies or porticos, overhangs, recesses or projections, arcades, raised cornice parapets over the entrance door, distinctive roof forms, arches, outdoor patios or plazas, display windows, or integral planters.

4.3 – Choose features that fit the scale of the building and its surroundings.

4.4 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines)

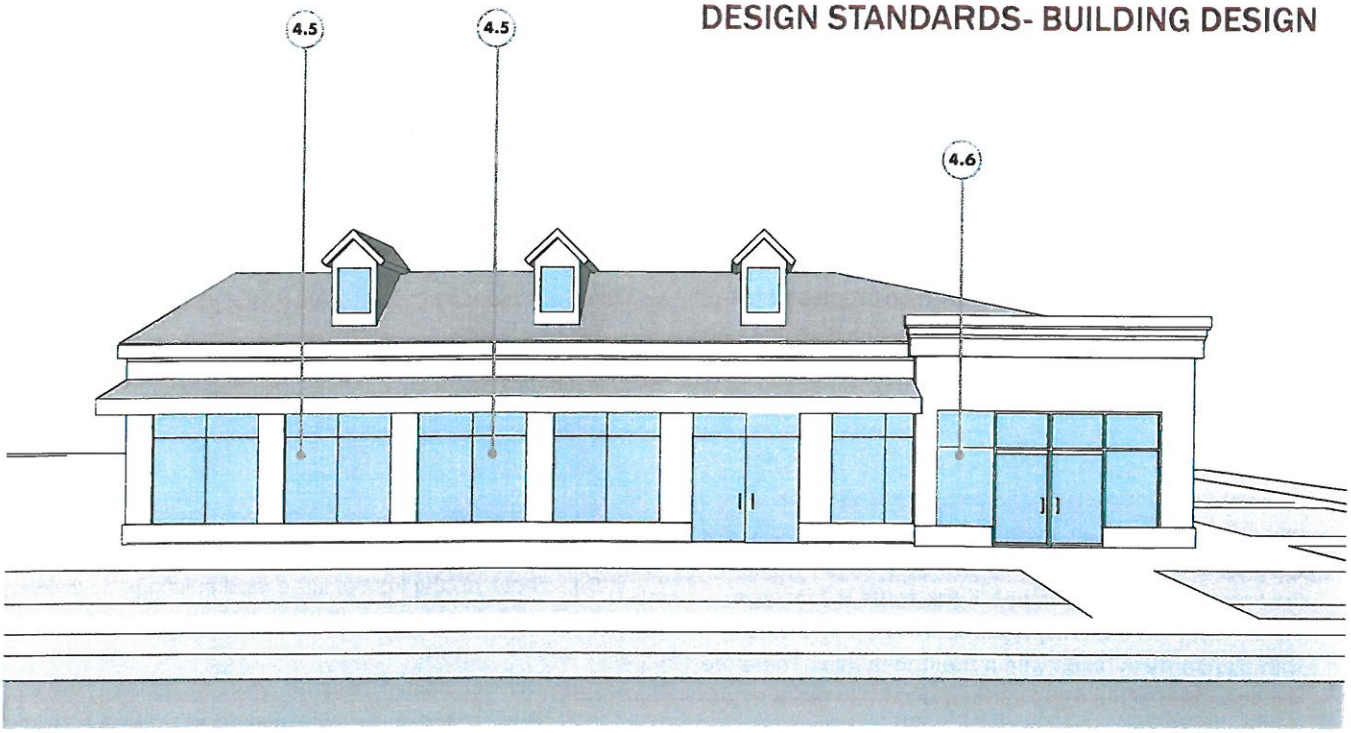
4.5 – Windows and doors shall be equally spaced and provide rhythm along the façade of the building.

4.6 – At least 40 percent of the ground floor façade facing parks, plazas, entry corridors or side streets shall be constructed of clear and non-tinted windows.

4.7 – For any multi-tenant commercial development, a covered arcade/structural canopy shall be provided along the front facade of the building. Arcades are covered walkways connected to the principal building. They should be a minimum of five feet in width and designed to provide covered areas for relief from the weather. Different arcade/structural canopy designs may be used for each individual tenant/business within a multi-tenant commercial development provided that they blend aesthetically with the front facade of the building.

Guidelines

4.8 – If a shed roof or flat roof design is used, add a parapet wall to screen the roof.



- Window awnings and roof overhangs are not only visually appealing but also provide cover from the weather and give spaces definition and character

- Plazas are an incredibly useful and visible public space, allowing for social and recreational programs to take place within their borders.

5. MASSING AND SCALE

Intent

The massing and scale of buildings helps preserve the historic and "small town" feel of the region. Residents and property owners identify with this character and would like to see it maintained, thus it is important for new development to be consistent.

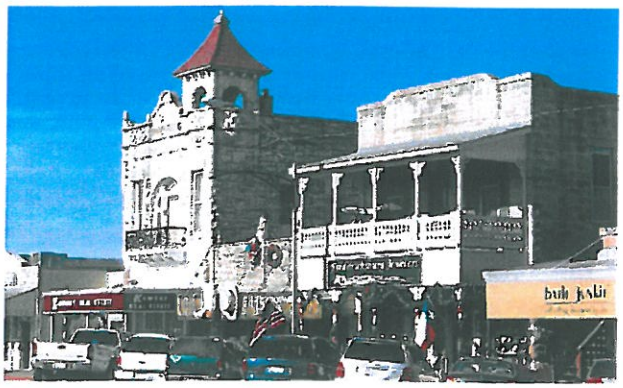
The mass and scale of a development relates to the mass of the building and its scale of architectural features related to the structures size. If the mass of the building is too large, it will not properly integrate within the surrounding environment. If the scale is too large, the building will look disproportional and out of touch with standards in place within the community. Therefore the mass and scale of buildings built within the Historic District and entry corridors should encompass the ideas of size and location on lots relating to the architectural style already in place within the built environment.

The intent of the Massing and Scale Standards are to:

- Fit the mass and scale of the broader context of the landscape and surrounding development; and
- Break up larger building mass by varied façade treatments and articulated roof treatments to keep scale accurate.

Applicability

5.0 – Massing and Scale Design Standards apply to all redevelopment in the entry corridors except for single family residential.



Standards

5.1 – Break up the front of large retail buildings by dividing it into individual bays 25 to 40 feet wide.

5.2 – Use variation in materials, textures, patterns, colors, and details to break down the mass and scale of a building

5.3 – When making transitions to lower density areas, modulate the mass of the building to relate to smaller buildings. Heights can be greater if the mass is modulated and other scale techniques are adopted. Reduce height near lower density uses.

5.4 – Building mass shall be used that is appropriate to the site. Buildings of the greatest footprint, when possible, should be located towards the center of a development where the impact on adjacent uses is the least.

5.5 – Each building shall have sufficient facade relief and interruption every 30 feet so as to provide visual architectural interest.

Guidelines

5.6 – Fake window and similar details are not appropriate articulation.

5.7 – Buildings are encouraged to be contiguously arranged along the street face, and large breaks between buildings in identified development sites should be avoided.

- Neighboring buildings are similar in mass and scale to maintain a visual flow along the street.
- The building scale maintains a pedestrian feel.

- By placing a setback between first and second floors, streets seem more approachable and open from the pedestrian level.

- Courtyards create both private and public social spaces which can be used for a variety of activities.

- By adding different textures and materials to different parts of the building, what is a large and expansive building to the eye looks properly sized and approachable.

6. SIGNAGE

Intent

Signage is one issue that can create significant conflict between developers, business owners, and the City. This is because owners want to maximize their visibility to passersby, while the City wants to protect overall safety and appearance and not have a profusion of signs. Appropriate sign regulations balance the concerns of business owners with the public welfare concerns. Signs are effective in garnering attention, while not detracting from overall appearance or distracting passersby. Signs should also be scaled to their environment. Signs along a highway will be different from those in a primarily pedestrian area. This picture shows a sign appropriate for a high speed thoroughfare. It is large, but in muted colors, made to look like it is made of wood, and appropriate for the business being advertised.

The intent of the Signage Standards are to:

- Ensure preservation of historic heritage and atmosphere; and
- Improve aesthetic appeal around signage.

Applicability

6.0 – Signage Design Standards apply to all redevelopment in the entry corridors.

Standards

6.1 – Reflective, fluorescent, neon and flashing signs shall not be allowed.

6.2 – Limit the height of free standing signs to 5 feet (Signage Ordinance)

6.3 – A landscaped base area shall be provided for monument or ground signs appropriate to the mass and height of the sign. All areas within 5 feet of the base of any sign shall be landscaped. The landscaped area may include trees, shrubs, flowering perennials, ornamental tall grass, fountains, water features, decorative stonework, planters, sculpture and decorative paving.

6.4 – Integrate signs into building and site design so they do not appear as an afterthought.

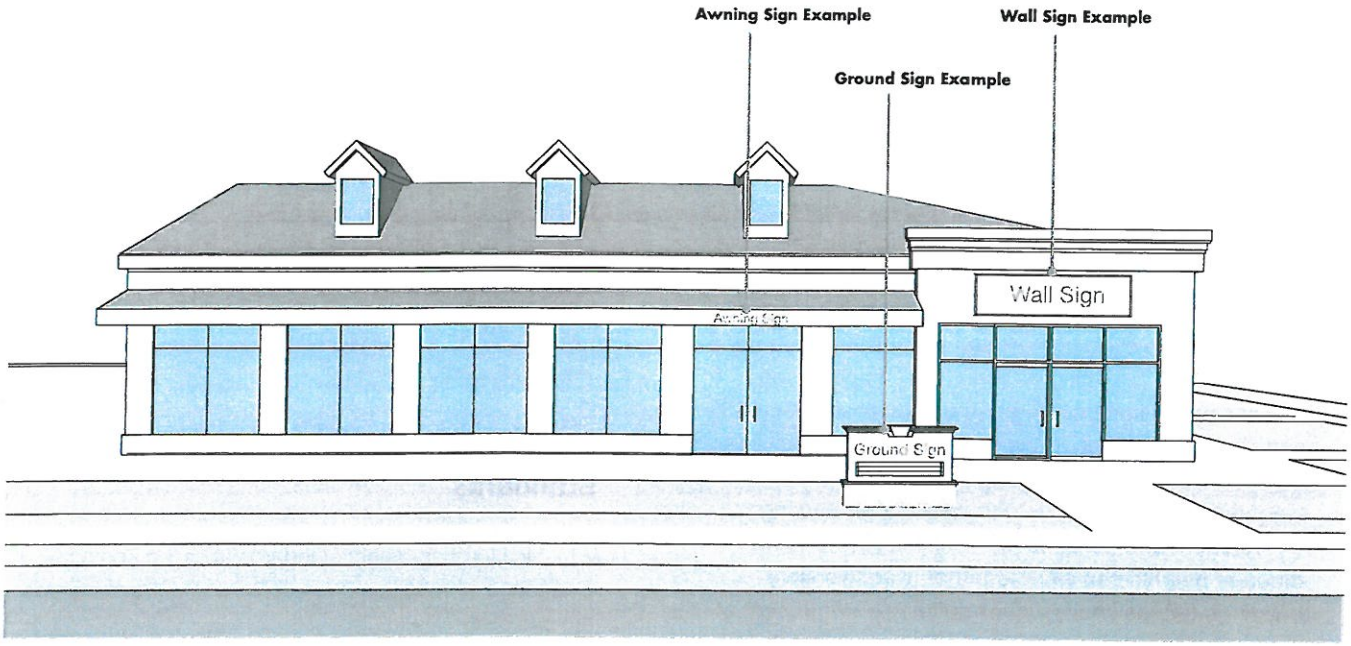
6.5 – Attached signs shall be located above the building entrance, storefront opening, or at other locations that are compatible with the architectural features of the building.

6.6 – Prohibit the use of billboard, illuminated or excessive signage throughout the entry corridors.

Guidelines

6.7 – A minimal number of colors should be used per sign where possible. Bright colors should be reserved for accent only.

6.8 – Exterior neon lighting is to be discouraged.



- Signage is low to the ground and made of local materials such as stone.
- Signage fits within the landscape and doesn't detract from the surrounding environment.

- Signage is incorporated into building design.
- Fonts and text styles are incorporated into the color scheme and design of the building.

7. BUILDING HEIGHT

Intent

Building height is important to maintain character of a place and to improve the general quality of the building environment, pedestrian spaces and pedestrian relationships to buildings. The goal is not uniformity, rather heights should be within a range that work well together. When buildings are too tall, they can create a canyon effect, making an area feel enclosed and unpleasant. Buildings that are too short lose definition and do not contribute to the character of an area. The key is to work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency. The image shows how different heights can work together, with two story buildings (occasionally higher buildings are present at key intersections).

The intent of the Building Height Standards are to:

- Create a unique corridor and downtown feeling with consistent building heights which correspond to the historic streetscape feeling of central Fredericksburg;
- Ensure adherence to maximum building height so that the character is not lost or damaged; and
- Step roof down towards front of building to keep streetscape from becoming overbuilt and to form pedestrian gathering places.

Applicability

7.0 – Building Height Design Standards apply to all redevelopment in the entry corridors.

Standards

7.1 – Use existing height standards from the Zoning Ordinance as a base, and indicate where the standards are different.

7.2 – Three (3) Stories (38 ft) max in commercial districts (C-1, C-2, CBD, M-1, M-2, M-3 zones).

7.3 – Four (4) stories (50ft) for public facilities.

7.4 – Work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency.

Guidelines

7.5 – Use building height to define neighborhood and district edges, and to provide a "human scale."

7.6 – Floor to floor heights of a building can have an impact on the mass of the building. Typical ceilings in a residence are 8-9 feet. First floors of office buildings or retail shops can range from 10-15 feet. Upper floors that include residential or office are generally 8-12 feet in height. Actual or implied floor-to-floor heights above 15-20 feet on the exterior should be avoided, as a building may begin to lose its "human scale" appearance.

- By using different materials and heights, large sized buildings can appear to be separate and smaller in scale.

- With proper setbacks and landscaping, buildings of different but similar height can easily blend together and create a lively and varied streetscape.

- By using different building heights, downtown areas can add character and sense of place.

- An example of how one, two and three story buildings can mesh well in areas that have proper landscaping, setbacks, and material use.

42

8. SETBACKS & FRONTAGE

Intent

Setbacks define the relationship of a building to the street frontage, and how far the building is from the ROW or sidewalk. Along highways, it may be appropriate for buildings to be set farther back away from the roadway; while in pedestrian areas, it is preferable to have buildings up to the sidewalk. In conventional development, buildings are setback from the road behind parking lots. This ensures adequate parking and high visibility for the business; however, it does not contribute to the aesthetics of an area. Much of the development within the entryways to Fredericksburg follows this pattern.

The intent of the Setbacks and Frontage Standards are to:

- Preserve characteristics of Fredericksburg's small town downtown heritage through the use of building setback.

Applicability

8.0 – Setback Design Standards apply to all redevelopment in the entry corridors except for single family residential.

Standards

8.1 – Setbacks shall be a maximum of 25 feet except for single family residential.

8.2 – No parking lots shall be constructed on the corner of a street.

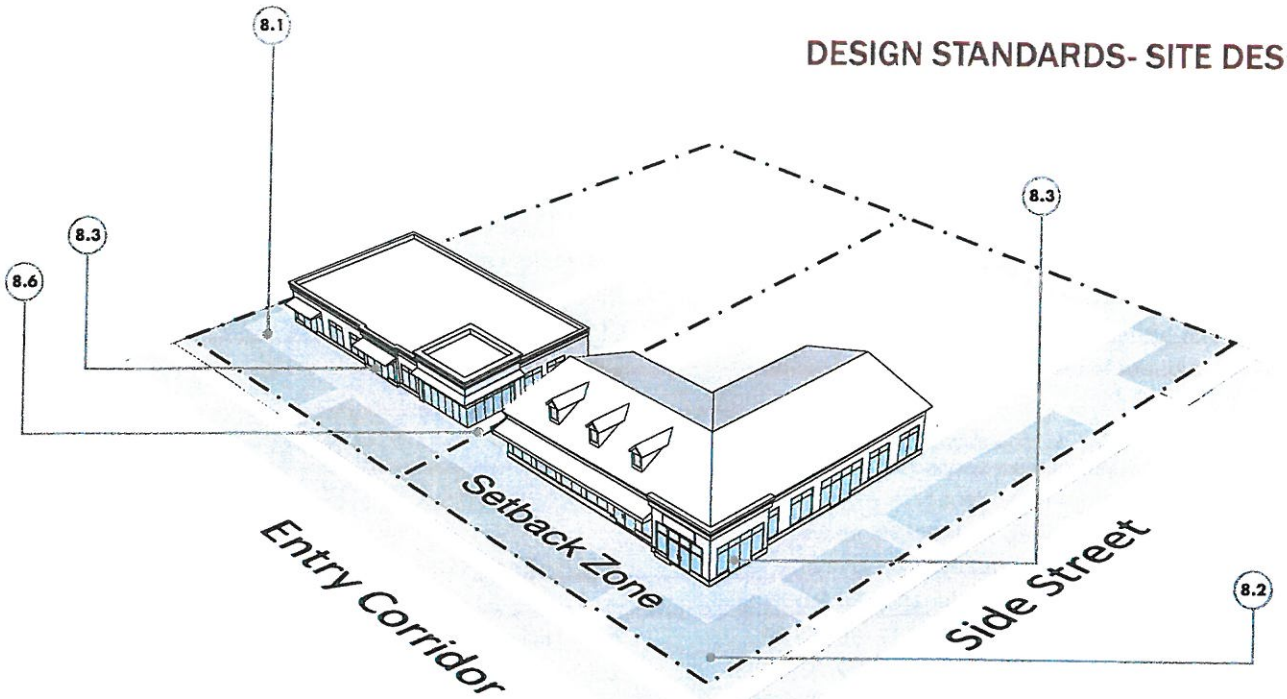
8.3 – Doors and entryways shall be constructed facing the entry corridor and any side streets. Secondary entrances may be constructed to allow convenient access from secondary streets, adjacent buildings, sidewalks, or parking.

8.4 – The front door must connect to the sidewalk along the entry corridor.

8.5 – In areas adjacent to or near the Historic District, new buildings shall match adjacent building setback in order to preserve the Historic District character and to encourage walkability.

Guidelines

8.6 – A contiguous building arrangement without large breaks between buildings along the street face is encouraged.



- By encouraging building set back along entry corridors, the city will have room to provide not only landscaping but also areas of public social space along pathways and pedestrian walkways.

- Buildings along Town's Creek or Barons Creek have a pedestrian oriented frontage along the creek
- Parking is not located between the building and creek
- Buildings should take advantage of adjacencies to Town Creek and Barons Creek by providing amenities between the building and the creek

44

9. LANDSCAPING

Intent

Appropriate landscaping plays a significant role in the character and appearance of an area. Landscaping can be used as a buffer to disguise unappealing features, like utilities and parking. Landscaping can also enhance pedestrian areas, offering shade and a visual break from the built environment and serving as a buffer to the street. The challenge of landscaping is the on-going maintenance required to keep it attractive, as well as water usage. Xeriscaping should be utilized to ensure minimal water use and lower maintenance for landscape features. The City can work with property owners and civic organizations, such as the Garden Club, to adopt landscape features to provide on-going maintenance and care for them.

The intent of the Landscaping Standards are to:

- Create street-to-building buffering landscapes with native and drought resistant plant species for more pleasurable vehicular and pedestrian experience;
- Create a cohesive and consistent tree canopy along pedestrian pathways to create a pleasing and comfortable environment for non-vehicular traffic;
- Restore existing natural areas where possible; and
- Create public spaces and common areas that invite residents and tourists to visit with appealing and beautiful landscaping.

Applicability

9.0 – Landscaping Design Standards apply to all redevelopment in the entry corridors.

Standards

9.1 – Landscaping, including planting and trees, shall be provided as a buffer between the street and parking area.

9.2 – To create a cohesive tree canopy that provides for consistent shade, street trees shall be planted a minimum of every 30 feet on center (centered between the curb and sidewalk).

Guidelines

9.3 – Native, drought tolerant and adapted landscape species should be used to the greatest extent possible.

9.4 – A minimum of 50 percent of the plant species should be selected from the approved plant list.

9.5 – Minimize impervious coverage to reduce the need for energy and water consumption.

9.6 – Utilize parks, open spaces and natural areas as buffers between incompatible uses or as a means of maintaining natural viewsheds.

9.7 – Planting is preferable to turf within the right-of-way, including spaces between sidewalks and the street. Landscaping between the curb and sidewalk should be no taller 24" tall and adhere to the clear sight distance triangle.

9.8 – Every effort should be made to protect underground utilities such as water, sewer, phone and cable from tree or plant roots.

9.9 – Restoration of natural areas is strongly encouraged during new development and, to the extent possible, redevelopment.

9.10 – Wherever possible, parks should take advantage of existing mature vegetation by preserving it and incorporating it as a feature of the park to maximize use of shaded areas.

9.11 – Minimize grading and preserve existing vegetation whenever possible.

9.12 – Landscapes should be irrigated to establish planting and provide the correct water levels to support the long term growth of landscape. Irrigation systems must use efficient water methods, group planting into similar hydro-zones, and use moisture sensors to control the use of water.

9.13 – Root barriers should be used in planting areas between the sidewalk and street which are less than 10 feet in width.

- Drought tolerant plantings such as bulbine and silver pony foot are encouraged.
- Planting is provided as a buffer between the sidewalk and street.

- Agaves, grasses, and cacti are appropriate plant materials that have low water requirements.

- Seasonal planting is provided between the street and the sidewalk, creating a buffer between automobile and pedestrian sidewalk, while keeping within the maximum height of 2 feet.

DESIGN STANDARDS- SITE DESIGN

Table 1: *Recommended Street Trees (Planting Areas >10')*

STREET TREES	
Common Name	Scientific Name
Shumard Oak	Quercus shumardii
Chinquapin Oak	Quercus muehlenbergii
Live Oak	Quercus virginiana
Montezuma Cypress	Taxodium mucronatum
Lacey Oak	Quercus laceyi
River Birch	Betula nigra
Mexican Sycamore	Platanus mexicana

Table 2: *Recommended Trees*

SCREENING	
Common Name	Scientific Name
Red Maple	Acer rubrum
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Live Oak	Quercus virginiana
Bald Cypress	Taxodium Distichum

Table 3: *Recommended Trees for Screening*

SCREENING	
Common Name	Scientific Name
River Birch	Betula nigra
Bottlebrush	Callistemmon sp.
Texas Redbud	Cercis canadensis 'Texensis'
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'

Table 4: *Recommended Trees for General Landscaping*

TREES	
Common Name	Scientific Name
Florida Maple	Acer barbatum
Red Maple	Acer rubrum
River Birch	Betula nigra
Bottlebrush	Callistemmon
Pecan	Carya illinoinensis
Texas Redbud	Cercis canadensis 'Texensis'
Texas Persimmon	Diospyros texana
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Savannah Holly	Ilex x 'Savannah'
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'
Sweetbay Magnolia	Magnolia virginiana
Slash Pine	Pinus elliottii
Loblolly Pine	Pinus taeda
Texas Pistache	Pistacia texensis
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Mexican Plum	Prunus Mexicana
Sawtooth Oak	Quercus acutissima
Bur Oak	Quercus macrocarpa
Cow Oak	Quercus michauxii
Nuttall Oak	Quercus nuttallii
Live Oak	Quercus virginiana
Eve's Necklace	Sophora affinis
Bald Cypress	Taxodium Distichum
American Elm	Ulmus Americana

Table 5: *Recommended Plants for General Landscaping*

GROUND COVERS	
Common Name	Scientific Name
Ajuga	Ajuga sp.
Centipedegrass	Eremochloa ophiuriodes
Homestead Verbena	Glandularia canadensis
Daylily	Hemerocallis sp.
Red Yucca	Hesperaloe parvifolia
Trailing Juniper	Juniperus sp.
Trailing Lantana	Lantana sp.
Liriope	Liriope sp.
Dwarf Nandina	Nandina sp.
Katie Ruellia	Ruellia elegans
Yucca	Yucca sp.
Rain Lily	Zephyranthes sp.
ORNAMENTAL GRASSES	
Common Name	Scientific Name
Bluestem	Andropogon sp.
Sideoats Gamma	Bouteloua curtipendula
Weeping Lovegrass	Eragrostis curvala
Purple Lovegrass	Eragrostis spectabilis
Sand Lovegrass	Eragrostis trichocolea
Fiber Optic Grass	Isolepis cernua
Purple Autumn	Miscanthus sinesis
Zebra	Miscanthus sinesis 'Zebri'
Muhly	Muehlenbergia sp.
Little Bunny Fountain	Pennisetum alopecuriodes
Fountain	Pennisetum rueppellii
Mexican Feather	Stipa tenuissima
VINES	
Common Name	Scientific Name
Crossvine	Bignonia capriolata
Trumpet Creeper	Camsis radicans
Coral Honeysuckle	Lonicera sempervirens
Evergreen Wisteria	Melletia reticulata
Virginia Creeper	Parthenocissus quinquefolia
Lady Banks Rose	Rosa banksia
PLANTING BEDS	
Common Name	Scientific Name
Abelia	Abelia sp.
Agave	Agave sp.
Yarrow	Achillea sp.
Butterfly Bush	Buddlea davidii
Beautyberry	Callicarpa americana
Coreopsis	Coreopsis sp.
Coneflower	Echinacea sp.
Indian Blanket	Gaillardia sp.
Hummingbird Bush	Hamelia patens
Burford Holly	Ilex cornuta
Yaupon Holly	Ilex vomitoria
Dwarf Yaupon Holly	Ilex vomitoria 'nana'
Juniper	Juniperus sp.
Lantana	Lantana sp.
Texas Sage	Leucophyllum sp.
Gayfeather	Liatrus sp.
Turk's Cap	Malvaviscus arboreus
Blackfoot Daisy	Melampodium leucanthum
Wax Myrtle	Myrica cerifera
Blue Plumbago	Plumbago auriculata
Pomegranate	Punica granatum
Rosemary	Rosmarinus officianalis
Black-eyed Susan	Rudbeckia sp.
Dwarf Palmetto	Sabal minor
Mealy Blue Sage	Salvia farinacea
Autumn Sage	Salvia greggii
Mexican Sage	Salvia leucantha
TX Mountain Laurel	Sophora secundiflora
Bridal Wreath Spirea	Spirea cantoniensis
Yellow Bells	Tecoma stans
Viburnum	Viburnum sp.

- Seasonal color is thoughtfully incorporated into planting design.

- The park takes advantage of maintaining existing trees on site.
- The park maximizes the use of shaded areas by aligning trails underneath dense tree canopy.

- The use of a low stone seat wall is creatively incorporated into the landscape to preserve an existing stand of oak trees.
- Cactus and native plants fit the planting scheme of the larger context of central Texas.

- An allee of street trees planted a minimum of 30 feet on center frames the sidewalk and provides comfort to pedestrians.
- A mix of tree species offers seasonal interest along the street.

48

10. LIGHTING

Intent

Lighting is necessary to make a building visible to passersby and for safety and security on site. However, lighting can also become a nuisance, as light spills onto adjacent property, distracts drivers, and detracts from community appearance. Well-designed lighting focuses light where it is needed, with minimal glare and excess. Shielding and proper aiming can provide appropriate safety and security while having minimal impact on adjacent properties. Pole location, height, and design all affect how lighting will be seen, so thought should be given to all of these variables when designing a lighting system for a property.

The intent of the Lighting Standards are to:

- Provide continuity and high aesthetic value through the creation of a cohesive lighting strategy; and
- Create, safe, secure places with lighting strategies while protecting the night sky and nearby residential properties.

Applicability

Architectural Lighting Design Standards apply to all redevelopment in the entry corridors.

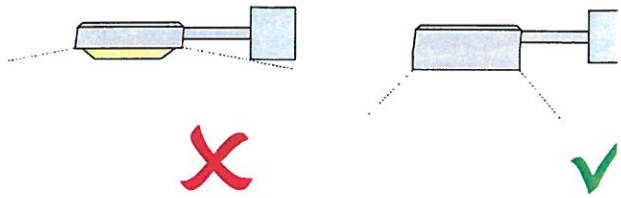
Standards

10.0 – Lighting fixtures should be selected from the International Dark-Sky Association Approved Fixtures.

Guidelines

10.1 – Lighting should be used to provide illumination for the security and safety of on-site areas such as parking, loading/unloading, pedestrian pathways and working areas. Excessive use of lighting fixtures is prohibited.

10.2 – Fixture style and location must be compatible with the building's architecture, site design and landscape design. Decorative fixtures are highly recommended and where warranted, may be required. Light fixture style is to be consistent throughout the project.



10.3 – Light fixtures shall be located facing away from adjacent sites (particularly residential parcels) so that the light does not spill-over onto abutting properties. Parking and building light fixtures must be cut-off luminaries that have less than 90 degree cut-off so that the light is not emitted horizontally or upward.

10.4 – Projects located near residential or open space areas shall use low intensity/wattage lights and all lighting is to be extinguished or reduced in intensity 30 minutes after the close of business.

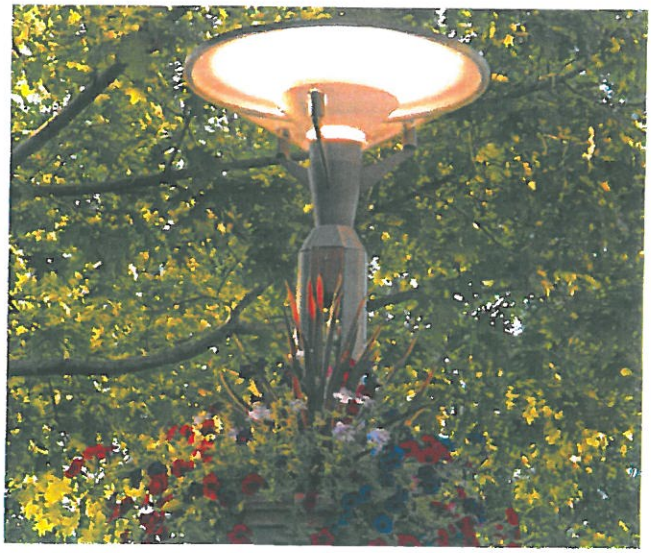
10.5 – Off-site street lighting may be required over driveways to provide safe entrances and exits.

10.6 – Decorative seasonal lighting encouraged.

LIGHTING SELECTION MATRIX

Location	Fixture
Streetscape Pedestrian Lighting	Sternberg Lighting Omega Series
Site Lighting	Strenberg Lighting Medterra BB
Public Space Lighting	Strenberg Lighting Medterra BB

- This Dark Sky light fixture is an example of an approved light fixture for Fredericksburg.
- Sternberg Lighting Omega Series



- Lighting can include planters and decorative features to fit within the context of Fredericksburg

- This Dark Sky light fixture is an example of an approved light fixture for Fredericksburg.
- Sternberg Lighting Mediterra BB

- Lighting can be erected within the entry corridors and along path and trails.

11. SERVICE AREAS

Intent

Every site plan needs to account for building facilities like HVAC systems, dumpsters, drainage, etc. These are necessary features that have to be located; however, they can present a challenge to balance needed access with aesthetics. It is appropriate to place these facilities in the back of the property, shielded by the building if possible. If that is not available, due to access issues, service areas should be shielded with fencing and landscaping to maintain the overall site appearance. Good site planning will ensure that needed facilities are incorporated on site, with minimal visibility from roadways and adjacent properties.

The intent of the Service Areas Standards are to:

- Use visually screened service areas to hide unsightly private space areas; and
- Use appropriate landscaping, fencing, and/or green screens around service areas for buffering.

Applicability

11.0 – Service Areas Design Standards apply to all redevelopment in the entry corridors.

Standards

11.1 – Loading/unloading areas shall be clearly identified by installing no parking signs and/ or striping of the space. The areas must be located in the rear or the sides of the building and shielded so that they are not visible from the street. The size and number of the loading/ unloading areas must be consistent with the requirements of the Zoning Ordinance.

Guidelines

11.2 – All trash, recycling and utilities facilities must be visually and acoustically screened from pedestrian rights of way.

11.3 – Screening shall be achieved through the installation of a wall or fence six foot in height or a height sufficient to obscure the area or equipment, whichever is less.

11.4 – Screening may be provided by using a semi-opaque fence, solid vegetative surface or combination of both.

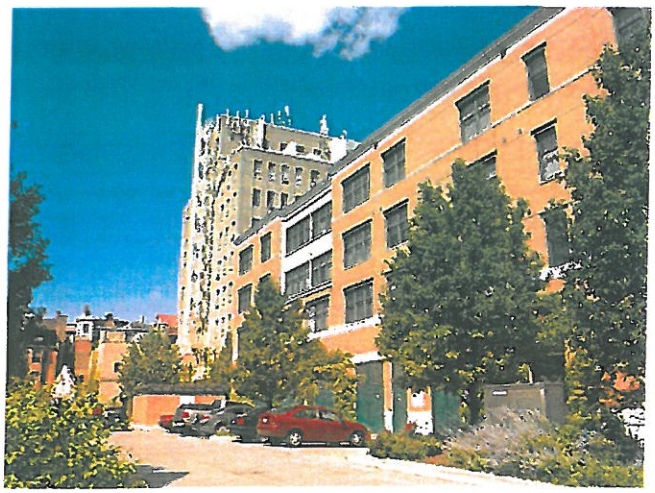
11.5 – The height of screening plants shall be based on typical plant size within five growing seasons.

11.6 – All roof-top equipment shall be screened from entry corridors, side streets, plazas and parks.

11.7 – It is encouraged to provide a separate waste and recycling unit to encourage environmental sustainability and support efforts to reduce, reuse, and recycle in Fredericksburg. The City of Fredericksburg Recycling Center provides recycling and safe disposal options. Fredericksburg Shines has compiled a list of items that can be recycled along with the location where that recycling occurs.

- The use of wood softens the visual effect of the waste receptacle.
- The waste receptacle visually blends into the surrounding public space, and the wood material matches the adjacent bench.

- Waste receptacles are screened with vegetation.
- Waste is separated into trash and recycling units.



- Service areas are located to the rear of the site.
- Trees and landscaping screen views to dumpsters and service areas.

- Compost areas are hidden from view and designed in an esthetically pleasing manner.

12. PARKING & ACCESS

Intent

Parking uses a significant portion of most conventional development. Developers typically have to provide sufficient parking for infrequent, high volume days like the day after Thanksgiving. This, combined with a desire for visibility and access, means most parking lots are put in front of the building. Adequate landscaping and buffering can improve the appearance of parking lots; however, having parking to the front detracts from pedestrian connectivity and appeal. Having parking to the rear of the property would allow the building to front onto the roadway. It would also allow for consolidation of driveways and access points. This can be a tremendous benefit for traffic flow, to reduce curb cuts and points of conflict along roadways.

The intent of the Parking and Access Standards are to:

- Follow New Urbanism models to help conceal and beautify parking areas, such as parking located in the rear or side of buildings;
- Create parking spaces that flow smoothly and create logical connections between parking spot and destination; and
- Use landscaping to buffer parking lots from adjacent uses.

Applicability

12.0 – Parking Design Standards apply to all new development in the entry corridors.

Standards

12.1 – Bicycle parking facilities must be provided at all new development that occurs on any street intersection. The design, color, and materials must coordinate with other site elements and must be well-light for night time uses.

12.2 – When a property abuts a creek, the parking lot should not be located between the building and the creek.

12.3 – When a property abuts a creek, a 10 foot

landscaped buffer shall be provided between the parking lot and the creek, where applicable. Utilize rain gardens and/or plant species that filter toxins between the parking lot and the creek.

12.4 – All parking shall comply with the most current American with Disabilities Act (ADA) standards and regulations.

12.5 – Whenever parking areas/drive aisles are connected to adjacent sites, the circulation must provide for similar direction of travel (both vehicular and pedestrian) and parking stalls to reduce conflict at points of connection.

12.6 – Pedestrian walkways connecting to adjacent development shall be provided.

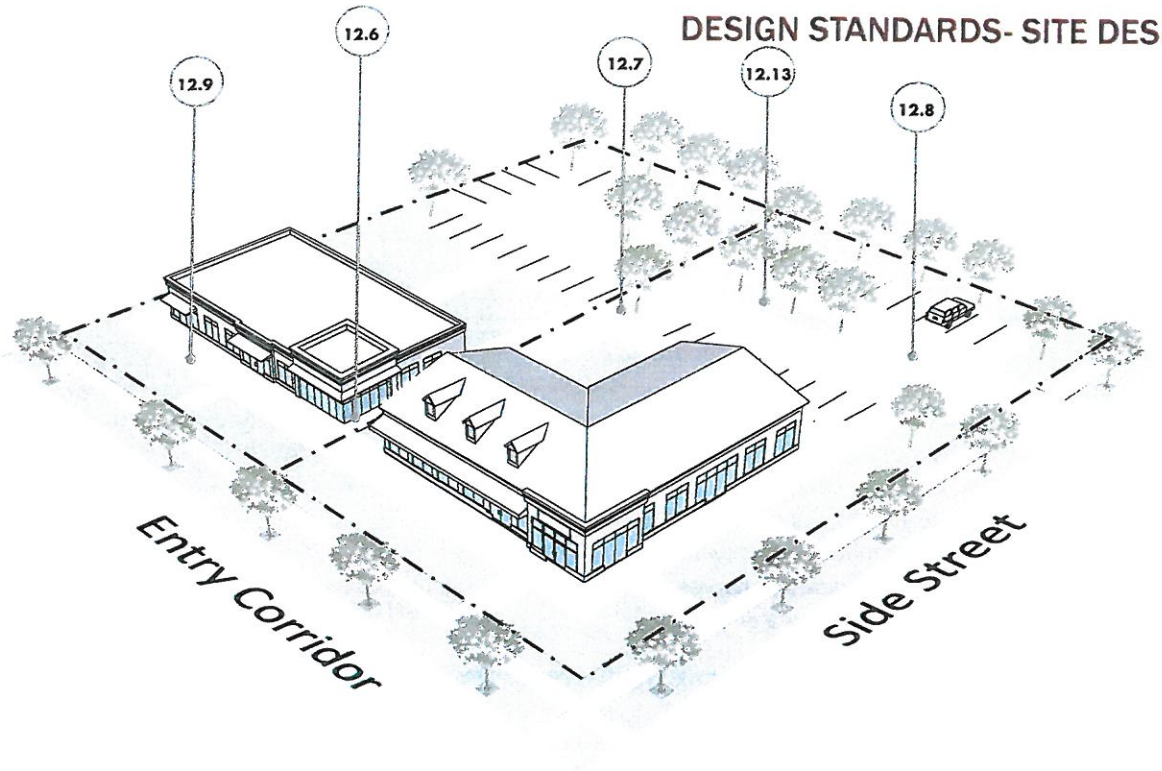
12.7 – A minimum of a 4" diameter tree per 8 parking spaces shall be planted in planting beds located in the corners of parking lots and 'islands.'

12.8 – Parking shall be located behind buildings or on the side.

12.9 – Continuous, 5' sidewalks must be provided along the full length of the building featuring customer entrances and along any façade facing public parking areas.

Guidelines

12.10 – Parking areas abutting properties residentially used or designated shall be separated by a landscape buffer a minimum of 10 feet in width. In addition to landscaping, perimeter earth berms are recommended as an effective way to reduce the visual impact of surface parking lots.



12.11 – At least one parking and drive aisles should be designed to provide sufficient emergency vehicle access and maneuverability.

12.12 – Establishments that typically require or generate frequent passenger loading and unloading shall provide specifically designated loading/unloading stopping bays. Direct ingress and egress should be provided so that vehicles are not directed into the on-site drive aisles.

12.13 – Parking lots should be located and designed with stormwater Best Management Practices to capture, treat and infiltrate storm water.

12.14 – The on-site circulation must be logical and provide convenient, safe and direct flow of pedestrians and vehicles.

12.15 – New surface parking areas are discouraged within view of US290. New parking areas should be situated behind buildings and screened from street views.

12.16 – Parking aisles should be arranged to direct pedestrians parallel to moving cars thereby minimizing the need for pedestrians to cross parking aisles and landscape areas. As an alternative, separated pedestrian walkways should be incorporated in the parking lot design.

12.17 – Detached parking structures should be architecturally compatible with their setting or be screened by other buildings or by landscaping. If a detached parking structure abuts a street or major pedestrian path, ground floor design should incorporate a façade with storefronts, display windows, bay divisions, and other pedestrian oriented features.

12.18 – Shared driveways are encouraged.

- Planting buffer of 10 feet is placed around parking.

13. DRAINAGE AND STORMWATER

Intent

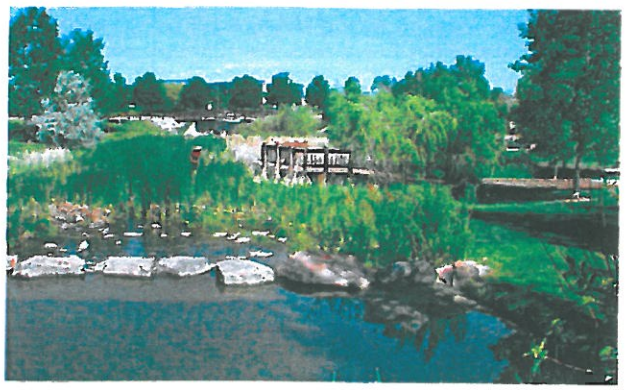
Development leads to increased stormwater runoff. Some communities manage drainage for larger areas, so developers put in facilities to convey water off the property to these larger drainage utilities. Other times, each property has to create on site facilities to manage stormwater. A fairly new direction in stormwater management is called low impact design. This utilizes natural features, such as rain gardens and swales, along with technology fixes like rainwater harvesting and pervious pavement, to manage stormwater. This type of development can be a lower maintenance and more aesthetic option for future development. It is important for stormwater to be managed in such a way to protect public health and safety.

The intent of the Drainage and Stormwater Standards are to:

- Create aesthetically pleasing detention and stormwater infrastructure;
- Use Best Management Practices to mitigate flooding and runoff backup;
- Capitalize upon the use of detention features to double as recreational elements where feasible;
- Use Low Impact Development (LID) techniques when possible; and
- Buffer detention ponds with native landscaping.

Applicability

13.0 – Drainage and Stormwater Design Standards apply to all redevelopment in the entry corridors.



Standards

NA

Guidelines

13.1 – LID techniques such as rain barrels, cisterns, rain gardens, naturalized landscaping, porous pavement and roof gardens are encouraged.

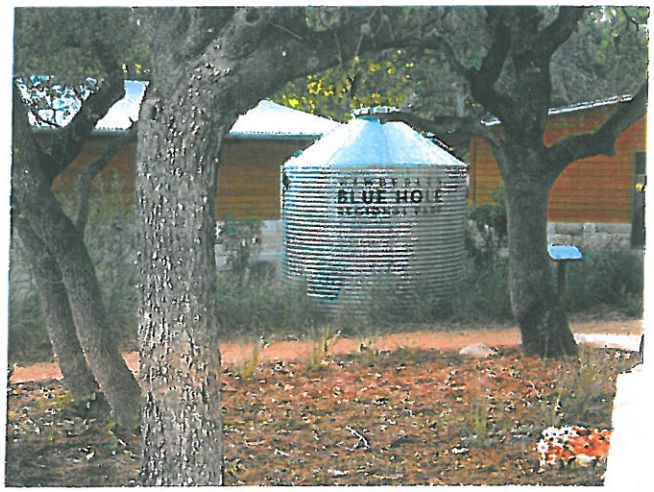
13.2 – When possible, site stormwater management facilities in parks and open space if there is a benefit to the surrounding area and/or water quality is demonstrated.

13.3 – Existing drainage patterns and flows on site should be preserved to the greatest extent possible.

13.4 – Decorative or aesthetically pleasing stormwater mechanisms should be incorporated into stormwater designs to the greatest extent possible.

- Bio-filtration areas slow stormwater runoff and absorb pollutants to encourage increased water quality.

- Decorative storm grates provide visual interest to otherwise unappealing design features.



- A rain water cistern captures water for re-use in the landscape.
- The materials on the rain water cistern match the architecture of the building and double as signage for the park.

- LID techniques such as rain gardens are aesthetically pleasing and contribute to an increase in water quality and reduce peak flows of stormwater runoff.
- Rain gardens are valuable Best Management Practices that mitigate flooding and stormwater runoff.

14. STREETSCAPE

Intent

Most of the streets being included for the entryways are state highways. This means that TxDOT has jurisdiction over the design of the streetscape and any elements to be included in them. The City has a productive relationship with TxDOT staff and can work with them to incorporate improvements to the streetscape over time as projects and upgrades are made to roads in the entryways.

The intent of the Streetscape Standards are to:

- Create a connected sidewalk system throughout the city to ensure safety and connectivity between destinations;
- Increase the mobility to persons walking throughout the city into all areas;
- Create a continuous street tree canopy and landscaping along roadways to create more visually pleasing thoroughfares and pedestrian pathways;
- Use ADA compliant ramp sand pedestrian facilities throughout the network to ensure ease of movement; and
- Ensure that the ground floor creates comfort and interest for pedestrian use.

Applicability

14.0 – Streetscape Design Standards apply to all redevelopment in the entry corridors.

Standards

14.1 – Sidewalks along the street right of way must be a minimum of 5 feet wide.

14.2 – To create a cohesive tree canopy that provides for consistent shade, street trees shall be planted a minimum of every 30 feet on center (centered between the curb and sidewalk).

Guidelines

14.3 – Sidewalks and pedestrian pathways should safely connect from the street to commercial buildings, surrounding residential areas, and parks and open spaces.

14.4 – Seating is encouraged in front of businesses, in public spaces and other instances where appropriate.

14.5 – All pedestrian areas shall comply with the most current American with Disabilities Act (ADA) standards and regulations. Particular attention shall be given to ramps, accessible paths of travel, level landings and handrails.

14.6 – Create a quality built environment with the inclusion of amenities such as street furnishing, plantings, art works, and water features to enhance the places that people will walk, gather, or recreate.

14.7 – Developments adjacent to multi-use trails shall provide a direct connection from the trail to the development's internal pedestrian circulation system.

14.8 – Streetscape furnishing should be made of high quality materials and be coordinated with the architecture of the building.

- A continuous canopy of street trees at 30 feet on center provides visual interest along the road.

- Benches, landscaping, street trees, and seating provide a comfortable pedestrian environment.

- Street trees are provided every 30 feet on center along the street.
- Ample shade and seating are provided for a comfortable pedestrian environment.

- Streetscape furnishings are made of high quality materials and create a brand and identity.