

**AGENDA**  
**CITY OF FREDERICKSBURG**  
**PLANNING & ZONING COMMISSION**  
Wednesday, December 3, 2014  
**5:30 P.M.**

LAW ENFORCEMENT CENTER, 1601 E. MAIN ST.

PAGE REF.

1. Call to Order
2. Approve minutes from the November 2014 Regular Meeting *Pp 1 - 5*

**ACTION ITEMS**

3. Consider (P-1423) Preliminary Plat for Estenson Subdivision, a 2.56 acre tract of land located on Morning Glory Drive *Pp 6 - 9*
4. Consider making a recommendation on the Design Standards and Guidelines for Entry Corridors from the proposed Comprehensive Plan Issues Update *Pp 10 - 41*

**DISCUSSIONS**

5. Mobile Food Trailers *Pp 42 - 43*

**ADJOURN**

STATE OF TEXAS  
COUNTY OF GILLESPIE  
CITY OF FREDERICKSBURG

PLANNING & ZONING COMMISSION  
November 5, 2014  
5:30 P.M.

On this the 5<sup>th</sup> day of November, 2014 the PLANNING AND ZONING COMMISSION convened in regular session at the Law Enforcement Center with the following members present to constitute a quorum:

JANICE MENKING - Chair  
BRENDA SEGNER  
CHARLIE KIEHNE  
TODD WILLINGHAM  
STEVE THOMAS  
DARYL WHITWORTH  
JOE CLOUD  
BILL PIPKIN

ABSENT: CHRIS KAISER

ALSO PRESENT: BRIAN JORDAN - Director of Development Services  
PAT MCGOWAN - City Attorney  
TAMMIE LOTH - Development Coordinator

Janice Menking called the meeting to order at 5:30 P.M.

Steve Thomas stepped down from the Commission for the consideration of P-1422.

### **PUBLIC HEARINGS**

**PUBLIC HEARING (P-1422) BY GILLESPIE COUNTY FAIR AND FESTIVALS ASSOCIATION TO CONSIDER A REPLAT OF APPROXIMATELY 5.96 ACRES OF LAND KNOWN AS LOT 1, ALFRED AND OLIVIA WEIRICH SUBDIVISION LOCATED ON FM 2093** - It was moved by Charlie Kiehne and seconded by Daryl Whitworth to open Public Hearing P-1422 by Gillespie County Fair and Festivals Association to consider a replat of approximately 5.96 acres of land known as Lot 1, Alfred and Olivia Weirich Subdivision located on FM 2093. Tim Dooley, representing the Gillespie County Appraisal District, presented the application and noted they have had some changes to the approved site plan and have been working diligently to get the project started. Mr. Dooley noted the approval of the plat is a requirement of the process. Todd Willingham moved to close Public Hearing P-1422 and Bill Pipkin seconded the motion. All voted in favor and the motion carried.

Brian Jordan, Director of Development Services, noted the Commission has already approved the site plan and the plat that is being considered tonight will divide the property into two tracts so the appraisal

district can build on approximately 2 acres of the tract. Mr. Jordan noted there is a 60 foot strip along the west side of the property that will remain a part of the lot that is being retained by the Fair Association. Mr. Jordan noted this 60 foot strip will also serve as an access easement utilized for the appraisal district building. Mr. Jordan noted it is meant to serve a dual purpose because it's unlikely TXDOT would allow two drives off FM 2093. Mr. Jordan stated they have provided a five foot pedestrian easement along the entire length of the property for a sidewalk. Mr. Jordan noted the draft of the sidewalk plan does not provide for a sidewalk on FM 2093 so the sidewalk can be left on the plan but money be taken in escrow for future construction and if the current draft of the sidewalk plan is adopted the money can be refunded. Mr. Jordan noted there is some discussion taking place about the exact amount of acreage the appraisal district will be purchasing and if the property line has to move slightly from what is shown on the plan tonight Staff can approve that change without having to come back to the Commission. Mr. Jordan noted Staff recommendation of approval.

Todd Willingham moved to approve Application P-1422. Daryl Whitworth seconded the motion. All voted in favor and the motion carried.

Steve Thomas returned to the Commission.

**PUBLIC HEARING (Z-1411) BY JILL HOLLAND YELLOW DOOR STUDIO FOR A CONDITIONAL USE PERMIT TO ALLOW AN ARTS AND CRAFTS USE IN THE C-1, NEIGHBORHOOD COMMERCIAL ZONING DISTRICT ON PROPERTY LOCATED AT 810 N. LLANO.**

- It was moved by Todd Willingham and seconded by Joe Cloud to open public hearing Z-1411 by Jill Holland Yellow Door Studio for a Conditional Use Permit to allow an arts and crafts use in the C-1, Neighborhood Commercial Zoning District on property located at 810 N. Llano. Jill Holland presented the application and noted she is an artist and has been teaching classes in her personal studio for the last three years and needs a more commercial space. Ms. Holland noted she would like to provide a community art education center and offer different classes and services. Charlie Kiehne moved to close Public Hearing Z-1411 and Bill Pipkin seconded the motion. All voted in favor and the motion carried.

Brian Jordan, Director of Development Services, stated the nature of the proposed use is ideal for the location. Mr. Jordan noted the entrance has two driveways with a utility pole in the middle of the drive and City Staff has asked her to take the two separate driveways out and create one wider drive. Mr. Jordan added City Staff has been working with the applicant on some changes to the site and the city will relocate the utility pole. Mr. Jordan explained the sidewalk is shown because the applicant is requesting a conditional use permit which allows the city to require the site be brought up to code. Mr. Jordan stated one letter was received in support of the request and none in opposition and noted Staff recommendation of approval.

Charlie Kiehne moved to approve Z-1411 and Joe Cloud seconded the motion. All voted in favor and the motion carried.

**PUBLIC HEARING (Z-1410) BY THE CITY OF FREDERICKSBURG TO CONSIDER AN AMENDMENT TO SECTION 6.110 AND SECTION 6.120 OF THE ZONING ORDINANCE PERTAINING TO CONTINUATION OF A NONCONFORMING USE AND STRUCTURE**

- It was moved by Todd Willingham and seconded by Bill Pipkin to open Public Hearing Z-1410 by the City of Fredericksburg to consider an amendment to section 6.110 and section 6.120 of the Zoning Ordinance pertaining to continuation of a nonconforming use and structure. Brian Jordan, Director of Development Services distributed a letter from Carroll Bryla, local attorney, which requested the

Commission consider allowing some relief for owners of property with non-conforming uses. Mr. Jordan noted this is a continuation of discussions previously held which originated from a request by a veterinarian to expand his practice. Mr. Jordan commented there was a lot of good discussion at the prior month's meeting and a couple members of the Commission believed this would be a good idea, but the majority felt like the provision in place that allows an owner to expand a non-conforming use by Conditional Use Permit is appropriate and affords owners an option to expand.

Mr. Jordan noted Staff recommendation to keep the current standard in place and not amend the zoning ordinance to allow a non-conforming use to expand without a Conditional Use Permit. Mr. Jordan added there has only been one request to expand a non-conforming use in the past several years and that request was approved.

Travis Haufman, new owner of the veterinarian clinic which originated this request, noted he bought the clinic on October 1<sup>st</sup> and he has increased the business by 10%. Mr. Haufman commented he is still hoping to get some relief from the requirement of a Conditional Use Permit to expand.

Brenda Segner asked if there were any limitations to a conditional use permit request and Mr. Jordan noted anything can be requested and the Commission's challenge is to bring the property closer to compliance rather than further away from compliance. Ms. Segner noted her position has not changed and she believes there should be some consideration for long standing businesses, but moved to recommend leaving the ordinance as is and requiring a conditional use permit for any non-conforming use expansion. Joe Cloud seconded the motion. All voted in favor with the exception of Charlie Kiehne who voted in opposition. The motion carried.

## **SITE PLANS**

**SP-1405 - CONSIDER A REVISED SITE PLAN FOR CAMERON BROOKS ON PROPERTY LOCATED AT 1312 S. HWY 16** - Andy Bray of Mustard Design presented the application. Mr. Bray noted when the site plan was originally presented the development showed drive access to the adjacent property to the south and the owners are requesting to have that cross access removed because they do not have a legal access agreement with the neighbor. Mr. Bray noted when the site plan was originally developed parking was along Hwy 16 so it made some sense, but the property development has changed, the parking has moved and the building uses have changed so it does not make much sense to have cross access. Mr. Bray added there is increased liability for the owners to have traffic pass by their building to get to the adjacent building.

Todd Willingham asked where the parking will be located for the proposed future building and Mr. Bray noted that building was on the original site plan but the owners don't anticipate constructing any of the proposed buildings and if they do that will be revisited.

Brian Jordan, Director of Development Services, briefed the Commission on the different phases of the site plan and noted with the change of conditions City Staff does not have a problem eliminating the cross access condition from their approval. Mr. Jordan added City Staff would like the cross access left on the plan in case future development comes to fruition.

Todd Willingham moved to approve the amendment to the approved site plan and eliminate the condition a cross access easement be provided but remain shown on the plan. Joe Cloud seconded the motion. All voted in favor and the motion carried.

## MINUTES

Charlie Kiehne moved to approve the minutes of the October, 2014 meeting. Todd Willingham seconded the motion. All voted in favor and the motion carried.

## DISCUSS DESIGN STANDARDS AND GUIDELINES FOR ENTRY CORRIDORS FROM THE PROPOSED COMPREHENSIVE PLAN ISSUES UPDATE

Brian Jordan, Director of Development Services, noted once all discussions have taken place and recommendations have been made on the standards, the item will be put on an agenda to make a recommendation to City Council regarding the guidelines.

The first guideline discussed was Setbacks and Frontage. Mr. Jordan noted there is already zoning in place that regulate setbacks, but the maximum setback on section 8.1 may be reasonable. Mr. Jordan commented section 8.5 would be difficult to achieve because there is different zoning established on properties which regulate setbacks and questioned what the definition of near would be. Todd Willingham commented no parking on corners of streets doesn't seem feasible. Mr. Jordan stated parking is also addressed in a later guideline and it states parking should be located behind buildings or on the side of buildings and asked for comments on that requirement. Joe Cloud stated in theory it is very attractive, but as a business owner it is not practical. After discussion, Mr. Jordan suggested it be changed to a guideline instead of a standard and the Commission agreed. Mr. Jordan also suggested section 8.5 of the Setbacks and Frontage be moved to a guideline instead of a standard.

The next topic was Landscaping and Mr. Jordan noted section 9.2 states a tree be planted every 30 feet but that is not appropriate and suggested that be changed to every 50 feet. Mr. Jordan added TXDOT may not even allow that distance. Mr. Jordan stated there is a landscape ordinance already in place so this requirement could also be eliminated.

The next guideline was Lighting and Mr. Jordan stated there is a new lighting ordinance in place and suggested the standard should be changed to say lighting fixtures should be selected in accordance with the ordinance. Mr. Jordan also stated the photo shown on the bottom left corner needs to be removed because the source of light is not shielded in that type of fixture.

Service Areas was the next topic and Mr. Jordan stated the standards are pretty straight forward and should remain as they are written.

The next topic discussed was Parking and Access. Mr. Jordan noted 12.3 is contradictory to 12.2 and believes 12.2 should be eliminated. Mr. Jordan added 12.7 could be taken out and the guidelines regulated with the current landscape ordinance. Mr. Jordan noted the Commission suggested moving 12.8 to a guideline and Mr. Pipkin agreed, stating that requirement is not applicable to all situations. 12.1 was then discussed by the Commission and it was determined that should be moved to a guideline as well.

Drainage and Storm Water was the next topic discussed and Mr. Jordan noted these are standard suggestions and offer only guidelines. Joe Cloud noted the photo on page 102 may not be appropriate and another photo should possibly be considered so it does not look like a detention pond is supposed to be full of water at all times.

Streetscape was the final topic discussed and Mr. Jordan noted section 14.2 should be eliminated to stay consistent with the other sections and the landscape ordinance.

Mr. Jordan explained these elements will be on the next agenda and the Commission will be asked to recommend any changes and/or acceptance of these to the City Council. Mr. Jordan noted the sidewalk and trail plan also needs to be adopted in order to finalize the Comprehensive Plan Issues Update.

**ADJOURN**

With nothing further to come before the Commission, Todd Willingham moved to adjourn. Daryl Whitworth seconded the motion. All voted in favor and the meeting was adjourned at 6:58 p.m.

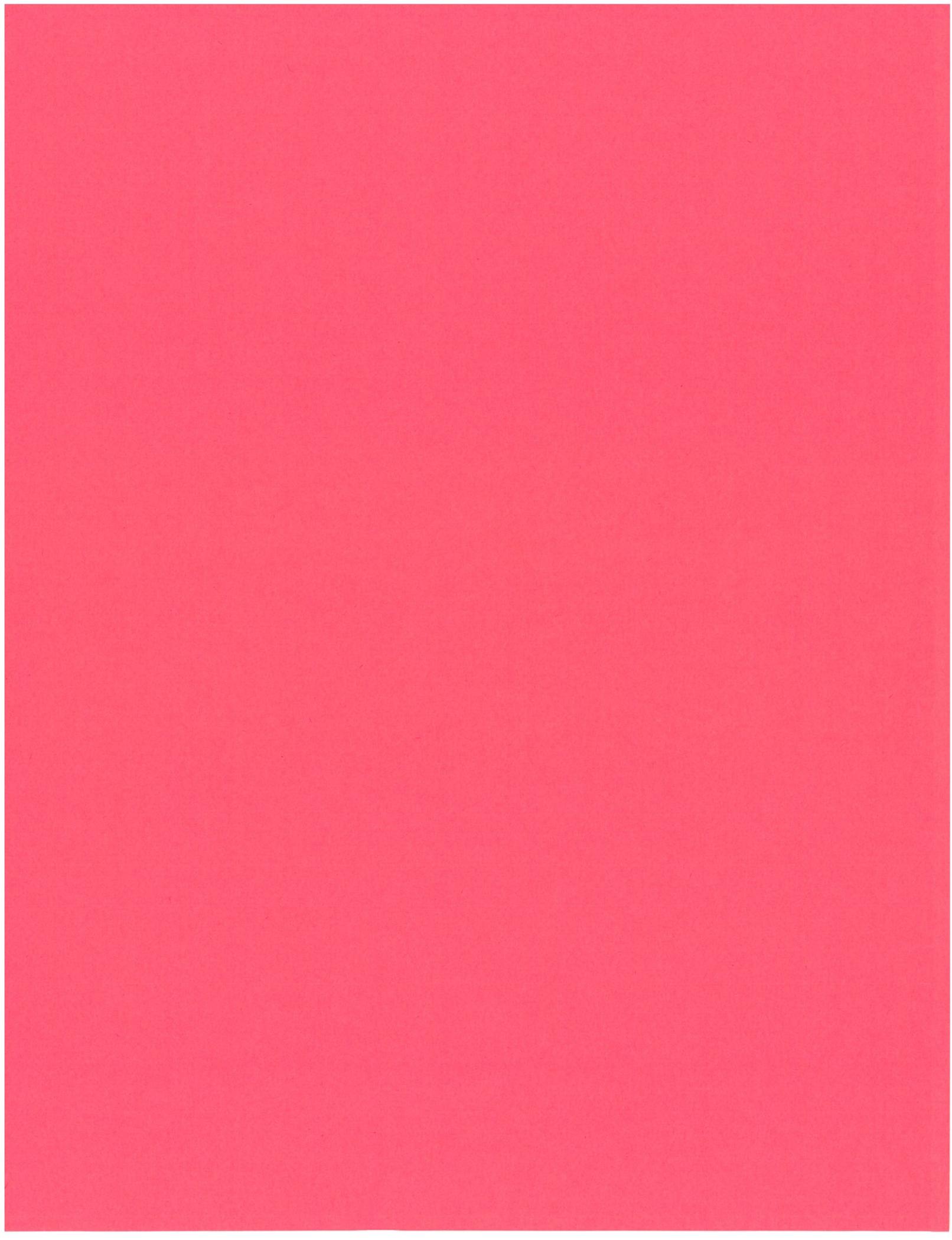
PASSED AND APPROVED this 3<sup>rd</sup> day of December, 2014.

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SHELLEY BRITTON, Secretary

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JANICE MENKING, Chairman



**PRELIMINARY PLAT  
BACKGROUND INFORMATION  
November, 2014**

**File Number:** P-1423

**Subdivision Name:** Estenson Subdivision

**Location:** South side of Morning Glory Drive, east of Milam St.  
(see attached map)

**Tract Size:** 2.56 acres

**Number/Size of Lots:** 6 lots, ranging from 17,749 square feet (0.4 ac) to 19,623 square feet (0.45 ac.)

**Roadways:** Property has frontage on Morning Glory Drive.

**Right-of-way:** 50' of right-of-way.

**Utilities:** Water and Sewer lines located in Morning Glory Drive will serve this tract.

**Easements:** Variable width drainage easements. Final details on the size and designation of easements are being determined as part of the Construction Plans.  
Various utility easements  
Standard electric easements (CTEC), each lot

**Easements Abandoned:** NA

**Stormwater Detention:** Drainage within this development will flow in a southeasterly direction. Final design of the detention pond will be subject to approval of the Construction Plans.

**Drainage:** See above.

**Staff Comments:** NA

**P&Z Action:** Final approval

**Staff Recommendation:** Approval

**Conditions:** Engineering Department approval of Construction Plans prior to approval of the Final Plat.



# APPLICATION FOR PLAT APPROVAL

Pursuant to Section 9.800 of the Subdivision Ordinance, a Preapplication Conference shall be scheduled with the Planning and Engineering Departments prior to application submittal

DATE: 10-8-14

NAME OF SUBDIVISION: Estenson Subdivision

ACREAGE: 2.56 acres

NUMBER OF LOTS: 4

## TYPE OF APPROVAL REQUESTED AND FEE:

(Please provide seven (7) copies of plat on 24" x 36" paper)

**PRELIMINARY PLAT:** \$200 plus \$20 per lot \$ 320.00  
An 11" x 17" copy must also be provided for a preliminary plat)

**VARIANCE REQUEST:** \$100 per item \$ \_\_\_\_\_  
(Requests for variance on design or construction standards MUST be submitted in writing with Preliminary Plat submission. The request MUST specifically state item, section, subsection, or standards that the variance relates to.)

**MINOR PLAT:** \$200\*\* \$ \_\_\_\_\_

**REPLAT (RE-SUBDIVISION):** \$200 plus \$20 per lot (over 2 lots)\*\* \$ \_\_\_\_\_

**FINAL PLAT FOR CONSTRUCTION/CONSTRUCTION PLAN REVIEW:** \*\* \$ \_\_\_\_\_  
\$500 plus \$10 per lot (An 11" x 17" copy must also be provided)

**SUBDIVISION CONSTRUCTION INSPECTION:** \$100 per lot \$ \_\_\_\_\_

**PARKS FEE:** The dedication of park land, or cash payment for park acquisition, and a park development fee as defined in Ordinance 17-017 \$ \_\_\_\_\_

EXISTING LAND USE: vacant PROPOSED USE: R-1

OWNER(S): NAME: Richard & Rosemary Estenson

ADDRESS: 141 E. Main Fredericksburg, TX 78624

TELEPHONE: 456-4020 FAX: \_\_\_\_\_

EMAIL ADDRESS: rich@hangerhotel.com

LIEN HOLDER: NA. ADDRESS: \_\_\_\_\_

SURVEYOR: Dale Suttmeier PHONE: 990-1221

ENGINEER: Dale Suttmeier PHONE: " "

I certify that the information concerning the proposed subdivision is true and correct that I am the record owner(s) of the above described property.

SIGNATURE OF OWNER

DATE



10-8-14

SIGNATURE OF APPLICANT, if applicant is NOT owner

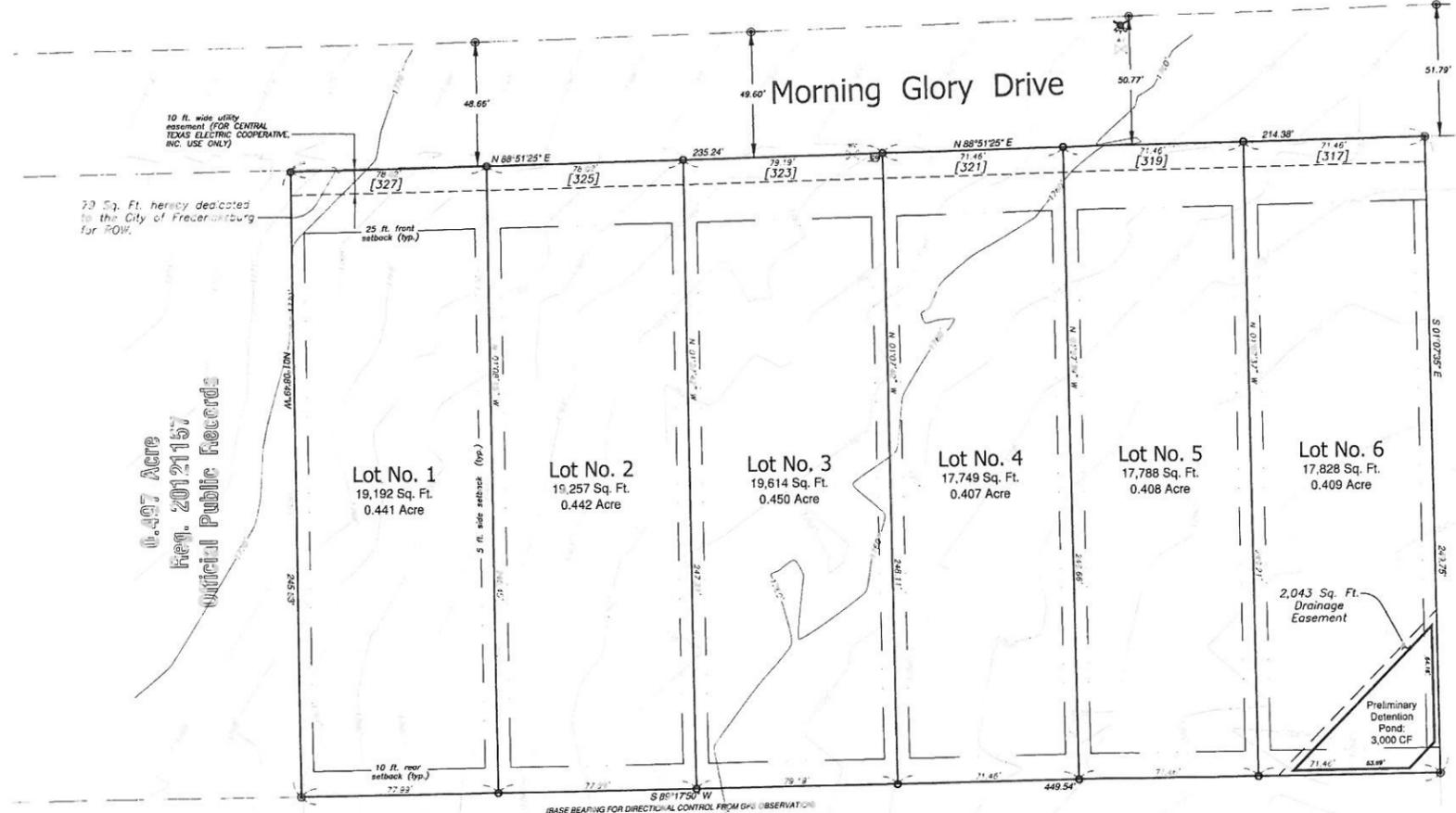
DATE

\*\*Note: Administrative Fees Only-Additional Fees will be required to record documents with the County of Gillespie. A separate check made payable to "Gillespie County Clerk" must be submitted prior to filing. County fees are as follows: Base fee for filing plat-\$105; plus \$10 per lot; plus \$6 Preservation Fee and Courthouse Security Fee. If more than 1 page, additional \$25 per page.

**NOTE: A copy of a CURRENT Title search MUST be submitted before plat can be recorded.**

# ESTENSON SUBDIVISION

AN 111,428 SQUARE FOOT/2.56 ACRE TRACT OF LAND SITUATED IN THE CITY OF FREDERICKSBURG, GILLESPIE COUNTY, TEXAS; BEING PART OF LOT NO. 2 IN THE NORTH HEIGHTS ADDITION, A PLAT OF RECORD IN VOLUME 63, PAGE 203 OF THE DEED RECORDS OF SAID COUNTY, AND BEING THAT CERTAIN 2.56 ACRE (DEED/CALLED ACREAGE) TRACT OF LAND DESCRIBED IN A CONVEYANCE FROM THE HILL COUNTRY MEMORIAL HOSPITAL FOUNDATION, INC. TO RICHARD & ROSEMARY ESTENSON, FOUND OF RECORD IN A WARRANTY DEED DATED AUGUST 28th, 2014, RECORDED UNDER REGISTER NO. 20143492 OF THE OFFICIAL PUBLIC RECORDS OF SAID GILLESPIE COUNTY.



**UTILITY EASEMENT:**  
Grantors hereby dedicate perpetual easements for the installation and maintenance of utilities and all necessary appurtenances thereto, whether installed in the air, upon the surface or underground, along and within ten (10) feet of the rear, front and side lines of all lots and/or tracts and in the street, alleys, boulevards, lanes, and roads of the subdivision, and ten (10) feet along the other boundaries of all streets, boulevards, lanes, drives and roads, where property lines of individual lots and/or tracts are deduced to the center line of said avenues and twenty (20) feet along the entire perimeter (boundary) of said subdivision and with the authority to place, construct, operate, maintain, relocate and replace thereon an electric distribution line or system. The easement rights herein reserved include the privilege of anchoring any support cables or other devices outside said easement when deemed necessary by the utility to support equipment within said easement and the right to install wires and/or cables over some portions of said lots and/or tracts not within said easement so long as such items do not prevent the construction of buildings on any of the lots or tracts of this subdivision. Nothing shall be placed or permitted to remain within the easement areas which may damage or interfere with installation and maintenance of utilities. The easement area of each lot and/or tract and all improvements within it shall be maintained by the owner of the lot except for those improvements for which an authority or utility company is responsible. Utility companies or their employees shall have all the rights and benefits necessary and convenient for the full enjoyment of the rights herein granted, including but not limited to the free right to ingress to, and to egress from said right-of-way and easement, and the right from time to time to cut and trim all trees, undergrowth and other obstructions that may injure, endanger or interfere with the operation of said utility installation. The developer and/or landowner shall be responsible for removal of any or all limbs, debris, branches or brush that must be cut in order to clear the right-of-way for new construction or maintenance of any lines constructed on the property.

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Fredericksburg, Texas, with the exception of such variances, if any, as are noted on the plat and that it has been approved for recording in the office of the County Clerk.

Date: \_\_\_\_\_  
Chairperson, City Planning and Zoning Commission

Filed for record at \_\_\_\_\_ o'clock \_\_\_\_\_ M., this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, A.D., on Page \_\_\_\_\_ of the Plat Records of Gillespie County, Texas.

Deputy \_\_\_\_\_  
Clerk, County Court  
Gillespie County, Texas

We hereby certify that we are the owners of the property shown and described hereon, that no other person or entity has any interest in the property by lien, lease or other equitable interest, unless otherwise noted hereon, and that we hereby adopt this plat of subdivision with our free consent, establish the minimum building set-back lines, and dedicate all alleys, walks, parks, watercourses, easements and other open space to public use forever and hereby convey by fee simple title, all public road right-of-way purposes forever and agree for ourselves and our heirs and assigns to abide forever by all lines, dedications, conveyances for public road right-of-way purposes, and other restrictions shown hereon.

Date: \_\_\_\_\_ 20\_\_\_\_  
Owner

Date: \_\_\_\_\_ 20\_\_\_\_  
Owner

This instrument was acknowledged before me on this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,  
by \_\_\_\_\_

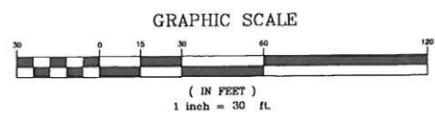
Notary Public in and for the State of Texas  
My commission expires: \_\_\_\_\_

Printed Name of Notary

I, Dale Allen Sulzemeier, the undersigned, Registered Professional Land Surveyor in the State of Texas, hereby certify that this plat is prepared from an actual survey of the property made under my direction and supervision on the ground on \_\_\_\_\_ and that the corner monuments were properly placed under my supervision, and that all aspects of this plat are in accordance with the City of Fredericksburg's Subdivision Ordinance.

PRELIMINARY - NOT TO BE RECORDED FOR ANY PURPOSE.

Date: October 8, 2014  
Registered Professional Land Surveyor No. 4542  
SULZEMEIER SURVEYING AND ENGINEERING  
(830) 990-1221



**LEGEND**

- ⊙ 1/2 inch dia. iron rod found
- 3/8 inch dia. iron rod set
- ⊞ electric meter pad
- ⊞ Venturi riser box
- ⊞ Time Warner riser box
- ⊞ gas meter
- ⊞ water meter
- ⊞ air conditioning unit
- ⊞ utility pole
- ⊞ fire hydrant
- ⊞ fire hydrant
- ( ) Plat/record
- [ ] address
- R-1 setback line: 25' front, 10' rear

- Building setback lines on the plat reflect current R-1 Single Family Residence Zoning for this property as of the date of the plat. Building setbacks are subject to changes in property zoning.
- The contour interval depicted hereon is relative to FEMA Reference Mark RM2, which has a published elevation of 1790.53 feet.

TOTAL ACREAGE: 2.56  
NUMBER OF LOTS: 6  
AVERAGE LOT SIZE: 0.427 of an acre  
ZONING: Residential R-1

NOTE: Each lot will have individual water and sewer service.

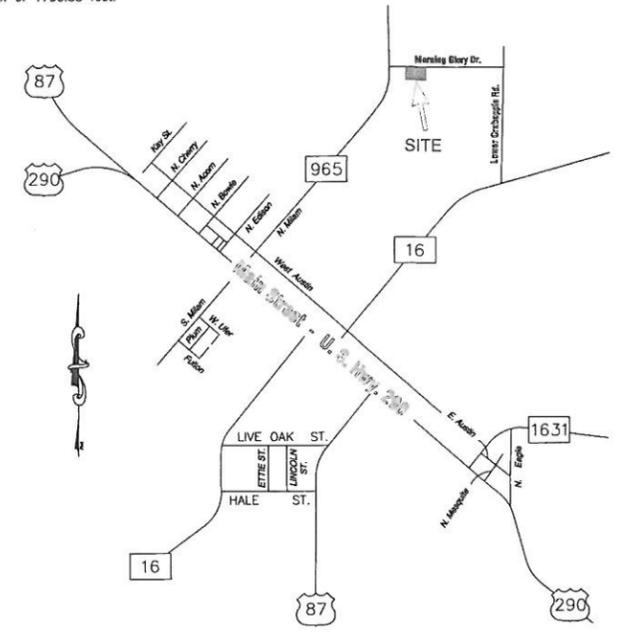
OWNER/DEVELOPER: Richard & Rosemary Estenson  
155 Airport Road  
Fredericksburg, TX 78624

SURVEYOR: Dale Allen Sulzemeier, P.E., R.P.L.S.  
SULZEMEIER SURVEYING & ENGINEERING  
805 North Liano  
Fredericksburg, TX 78624

ENGINEER: Dale Allen Sulzemeier, P.E., R.P.L.S.

Licensed  
Surveying Firm  
100930-00

Texas Registered  
Engineering Firm  
F-10608



LOCATION MAP  
(1" = 2000')

2.11 Acres  
 Reg. 2011229  
 Official Public Records

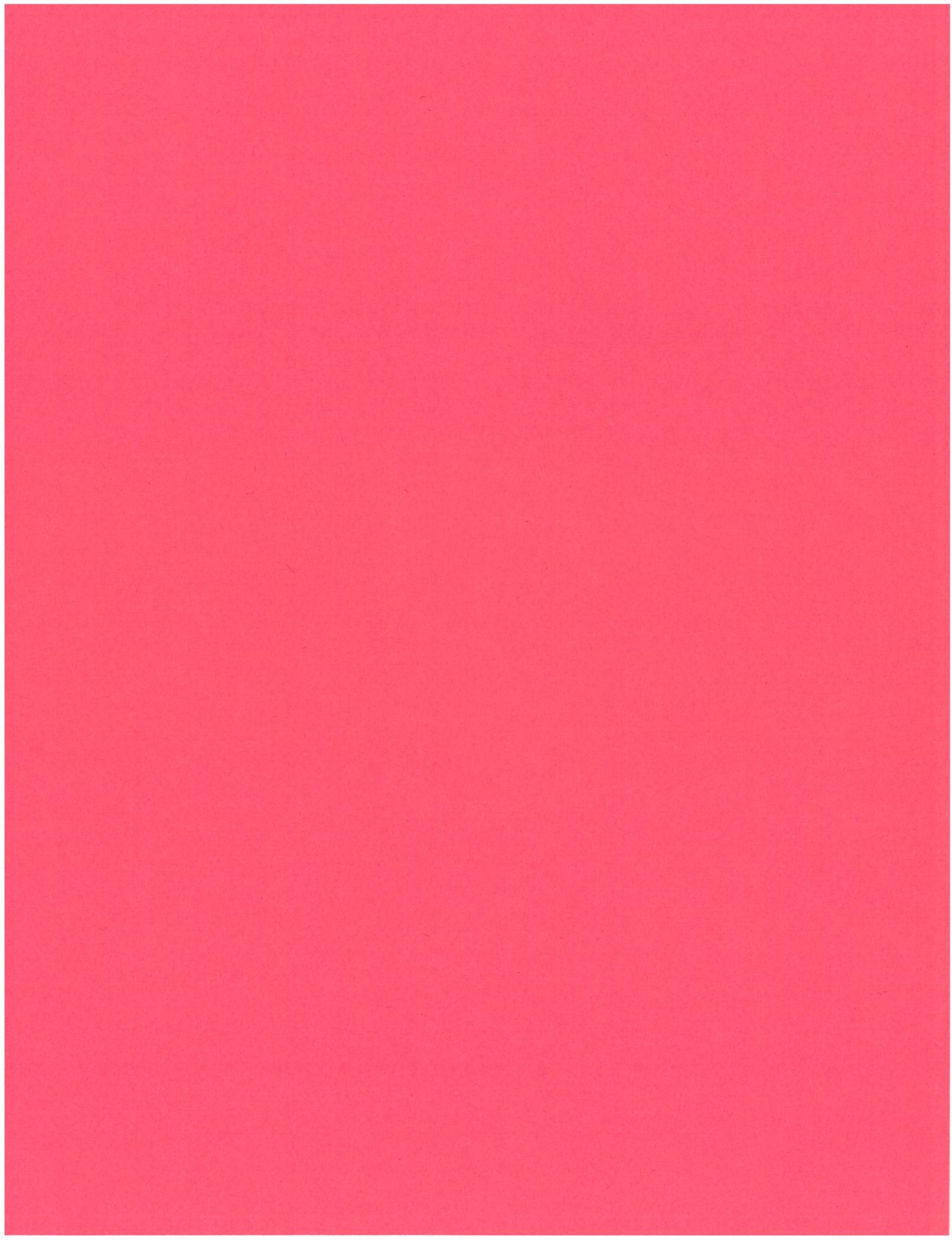
P-1423  
 Routed 11/18/14  
 DEC 11/20/14 + 11/26/14(?)  
 Comments Due 12/1/14  
 P-2 12/31/14

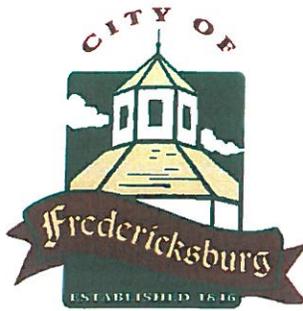
**SULZEMEIER  
SURVEYING & ENGINEERING**  
 Boundary-Title-Topographic-Construction Surveys  
 Engineering - Land Development Services  
 805 North Liano Street  
 Fredericksburg, Texas 78624  
 (830) 990-1221 Fax (830) 990-1222  
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 sulzemeiersurveying.com

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## MEMO

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**DATE:** November 25, 2014

**TO:** Planning and Zoning Commission

**FROM:** Brian Jordan, AICP, RLA, Director of Development Services

**SUBJECT:** Discuss Design Standards and Guidelines for Entry Corridors from the proposed Comprehensive Plan Issues Update

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**Summary:**

Design Workshop presented the draft Comprehensive Plan Issues Update document to the City Council and Planning and Zoning Commission on July 21, 2014. There was significant discussion and a number of concerns raised at this meeting. It was decided that the process for consideration would be slowed down, giving time for additional community input and additional workshops for discussion. The initial worksession which included the Council, Planning and Zoning Commission and the Historic Review Board was held on September 8, 2014. The primary focus of this meeting was to discuss the Gateways Plan and the Design Standards and Guidelines for Entry Corridors. The second meeting of this group was held on September 22, 2014, where the primary focus was on the Sidewalk and Trails Plan.

It was decided at this time by the City Council that they would like for the Planning and Zoning Commission and Historic Review Board to have further review of the Design Standards and Guidelines for Entry Corridors, and come up with a recommendation on whether to include all or a portion of the elements suggested.

The City of Fredericksburg

126 W. Main St. • Fredericksburg, Texas 78624-3708 • (830) 997-7521 • Fax (830) 997-1861

**Recommendation:**

We have discussed the Design Standards and Guidelines at the two previous meetings. As a reminder, these include architectural style, architectural materials, architectural color, architectural features, massing and scale, signage, building height, setbacks and frontage, landscaping, lighting, service areas, parking and access, drainage and stormwater, and streetscape. We will summarize our comments from the previous meetings and need to make a recommendation to the City Council.

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**Background / Analysis:**

The current Comprehensive Plan was updated in 2006. For the most part, the plan has served the community well and there have been a number of items accomplished. It was determined at a Council Retreat in June, 2013, that the city would do a partial update rather than a complete update. The issues that were identified as not being accomplished from the 2006 Plan and being the highest priority were the Sidewalk and Trails Plan, Gateways Plan and Design Standards and Guidelines for Entry Corridors.

The City of Fredericksburg

126 W. Main St. • Fredericksburg, Texas 78624-3708 • (830) 997-7521 • Fax (830) 997-1861



## DESIGN STANDARDS- BUILDING DESIGN

### 1. ARCHITECTURAL STYLE

#### Intent

Architectural style is the overall character or design of a building that makes it identifiable. The style is typically determined by the period when a building was built, and the culture that built it. The architecture in the Historic District can be defined as eclectic, with multiple techniques and styles throughout the area.

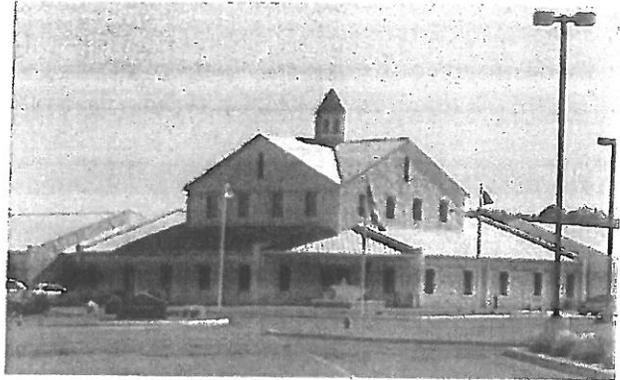
Historically, the settlers to the hills of central Texas brought their carpentry and stone mason skills to their buildings. The locally available white limestone and later brown sandstone were used with the local cedar to construct the well-crafted buildings throughout the region. The more rustic simple nature of Texas Hill Country style is also due to the lean times when the area was being settled, resulting in a simple style. The Hill Country style has a modern elegance because of its simplicity, materials and craftsmanship in construction.

The intent of the Architectural Style Standards are to:

- Create a uniform and cohesive corridor of development;
- Preserve the City's historic and cultural resources, so that they contribute to the special character and quality of Fredericksburg;
- Protect historic resources; and
- Encourage adaptive reuse, rehabilitation, and retrofitting of historic buildings in which the original use is no longer feasible.

#### Applicability

1.0 – Architectural Styles Design Standards apply to all redevelopment in the entry corridors.



#### Standards

- 1.1 – Adhere to the Historic District Guidelines when rehabilitating historic buildings.
- 1.2 – If the building is not a Pioneer, Gothic, Texas Regional, Commercial, Italianate, Bungalow, or Folk Victorian style, then it must conform to the design principles of one of these styles.

#### Guidelines

- 1.3 – The architectural style of the entry corridor should be reflective of the Texas Hill Country aesthetic.
- 1.4 – New designs should be compatible with the design traditions of the established neighborhoods and regional Texas Hill Country aesthetic. It is not the intent of these guidelines to require that new buildings copy older building styles. Therefore, use traditional building forms and broader similarities of design in order to be compatible with existing buildings in the area that reflect the traditional context.
- 1.5 – The use of standardized "corporate" architectural designs associated with chain or franchise buildings (prevalent with restaurants, service stations and retail stores) is strongly discouraged and alternative designs consistent with this design manual may be required.

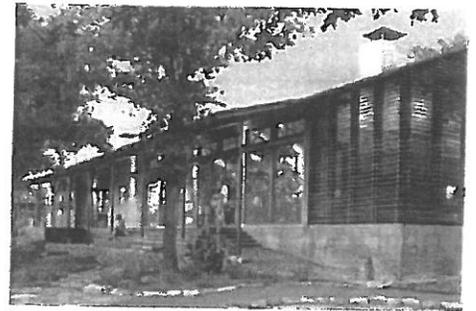
## DESIGN STANDARDS- BUILDING DESIGN



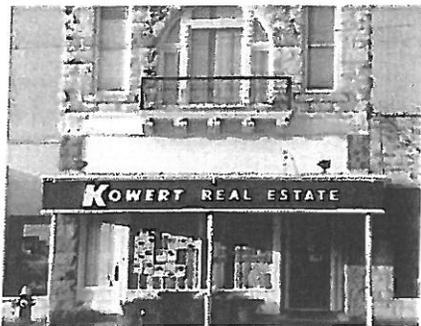
- **Pioneer** - Split logs, rock facades, wide chinking, limestone additions, Sunday houses



- **Gothic Revival** - Steeply pitched roofs, arches, towers



- **Texas Regional (Not in Historic Guidelines)** - sophisticated, modern, local materials, regional design techniques, metal brackets with awnings



- **Commercial** - One to three story, three bay façade, recessed entrance, transom windows, decorative cornice



- **Italianate** - wide overhanging eaves, low pitched roof, grouped supports



- **Bungalow** - decorative beams, partial width, deep porches, exposed roof rafters, gabled roofs



- **Folk Victorian** - symmetrical façade, spindle work on supports and railings, one story



## DESIGN STANDARDS- BUILDING DESIGN

### 2. ARCHITECTURAL MATERIALS

#### Intent

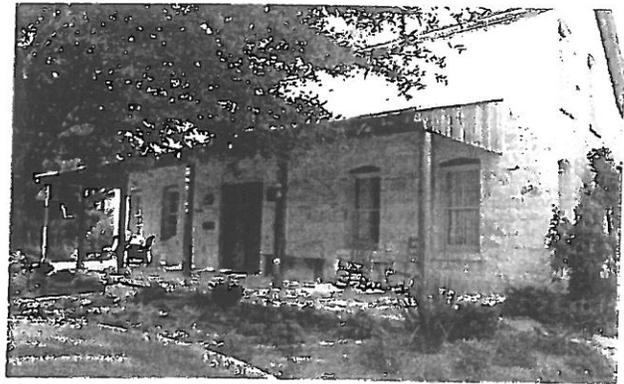
The materials used in construction are a primary element in the appearance of the building. Much of the newer construction along the entry corridors utilizes modern materials, including metal facades, tilt wall concrete, etc. These materials allow for more efficient and cost effective construction; however, they do not contribute to the overall character and appearance. Design guidelines for materials will address this to ensure new construction utilizes appropriate materials to enhance entryway appearance.

The intent of the Architectural Materials Standards are to:

- Adhere to the Historic District Guidelines when rehabilitating historic buildings;
- Ensure materials are fitting with the Texas Hill Country style prevalent in Fredericksburg;
- Utilize materials that have minimum environmental impacts (glare, SRI, excessive heat, etc.);
- Use materials that contribute to the visual interest of the structures; and
- Use efficient and cost effective construction.

#### Applicability

2.0 – Architectural Materials Design Standards apply to all redevelopment in the entry corridors.



#### Standards

- 2.1 – Buildings shall employ authentic, textured materials, compatible with the traditional Hill Country aesthetic. Highly reflective materials are unacceptable, because of their tendency to create uncomfortable glare conditions.
- 2.2 – Use cedar, limestone and brown sandstone.
- 2.3 – Abide by Historic District Guidelines for preserving historic buildings.
- 2.4 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines).
- 2.5 – Do not create a false sense of era or appearance with replacement of metal details or features that are not based upon any historical evidence (Historic Design Guidelines).

#### Guidelines

- 2.6 – New developments should choose materials that offer texture and avoid monotonous faces to add visual interest and reduce its apparent scale.

## DESIGN STANDARDS- BUILDING DESIGN



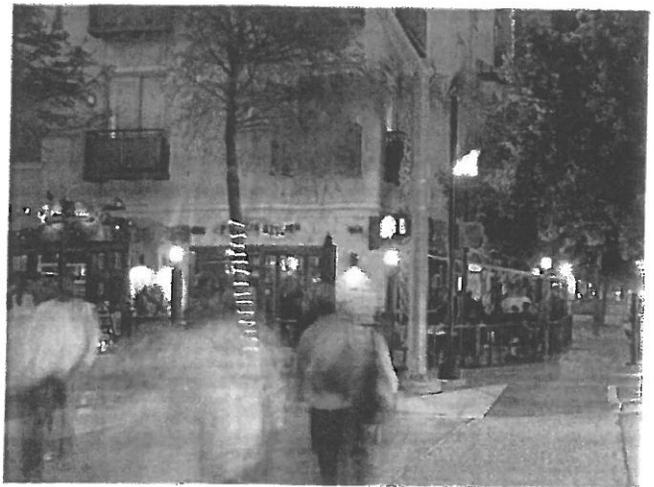
- Building materials are well preserved to maintain the historical nature of the City.



- Common materials create the sense of a district and identity.



- The historical building facade promotes the historical characteristics of the City through the use of stone and wood.



- The use of different materials on a building can break up the visual scale of the building, allowing for a more relaxed and comfortable pedestrian experience.



## DESIGN STANDARDS- BUILDING DESIGN

### 3. ARCHITECTURAL COLOR

#### Intent

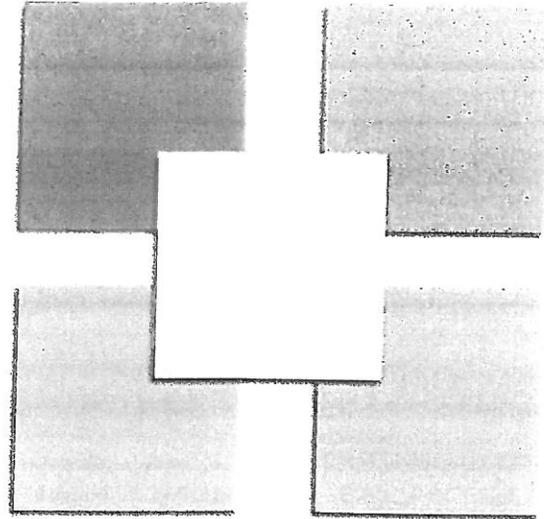
Color may seem a small element in overall community design, but it plays a significant role in appearance. Colors that would be perfectly appropriate in one community, such as the pastels found on homes and businesses in Port Aransas, would look wildly out of place in Fredericksburg. This section shouldn't limit landowners to four shades of beige; however, there should be consideration of what colors coordinate with existing development and the overall character of the community.

The intent of the Architectural Color Standards are to:

- Create a pleasing color scheme that preserves and highlights the heritage of Fredericksburg; and
- Create a robust but form-fitting color palate which allows enough variation to not seem repetitive, but still restrictive enough to keep outlandish color scheme from occurring.

#### Applicability

3.0 – Architectural Colors Design Standards apply to all redevelopment in the entry corridors.



#### Standards

- 3.1 – Choose colors used traditionally in Fredericksburg such as muted shades of greens, blues, and tans (Historic Design Guidelines).
- 3.2 – Use color to coordinate façade elements in an overall composition and tie all of the building elements together.
- 3.3 – Reserve bright colors for accents only. Limit the use of bright colors to no more than 30 percent of the overall exterior building façade.

#### Guidelines

- 3.4 – Predominate building colors shall be of earth tones, but may be accented with brighter colors to provide color variation, punctuation, and eclecticism unique to Fredericksburg.

## DESIGN STANDARDS- BUILDING DESIGN



- Architectural colors are muted and fit nicely in the Hill Country.



- Bright, architectural colors are used with restraint and sophistication.



- The use of traditional colors against the historic limestone rock creates a visually appealing and eye-catching structure.



- Landscaping provides a sense of scale and color to the front of a building.



## DESIGN STANDARDS- BUILDING DESIGN

### 4. ARCHITECTURAL FEATURES

#### Intent

Architectural features are the specific elements that create the appearance of the building. These include the windows, canopies and awnings, roof, parapets, etc. To create a consistent look throughout an area, buildings should share common features and elements. It is not that they need to be uniform on every building, rather that there is a consistency to them.

The intent of the Architectural Features Standards are to:

- Use listed features on buildings to help promote not only historical aesthetic value, but also create strong social settings when applicable;
- Create retail and commercial spaces that feel open with use of large windows, and architectural features which promote a "human scale;"
- Maintain a feeling of historical character in architecture throughout the city;
- Provide detailed façade treatments on any elevation that is visible from streets/corridors or from any primary elevations of adjoining buildings; and
- Avoid use of unadorned blank walls on elevations facing entry corridors and side streets.

#### Applicability

4.0 – Architectural Features Design Standards apply to all redevelopment in the entry corridors.

#### Standards

4.1 – Blank or featureless walls will not be approved along parks, plazas, entry corridors or side streets.

4.2 – Design buildings with a "human scale" by using architectural enhancements. The building facade facing the parks, plazas, entry corridors or side streets shall have visible, clearly defined customer entrances that include at least three of the following elements: canopies or porticos, overhangs, recesses or projections, arcades, raised

cornice parapets over the entrance door, distinctive roof forms, arches, outdoor patios or plazas, display windows, or integral planters.

4.3 – Choose features that fit the scale of the building and its surroundings.

4.4 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines)

4.5 – Windows and doors shall be equally spaced and provide rhythm along the façade of the building.

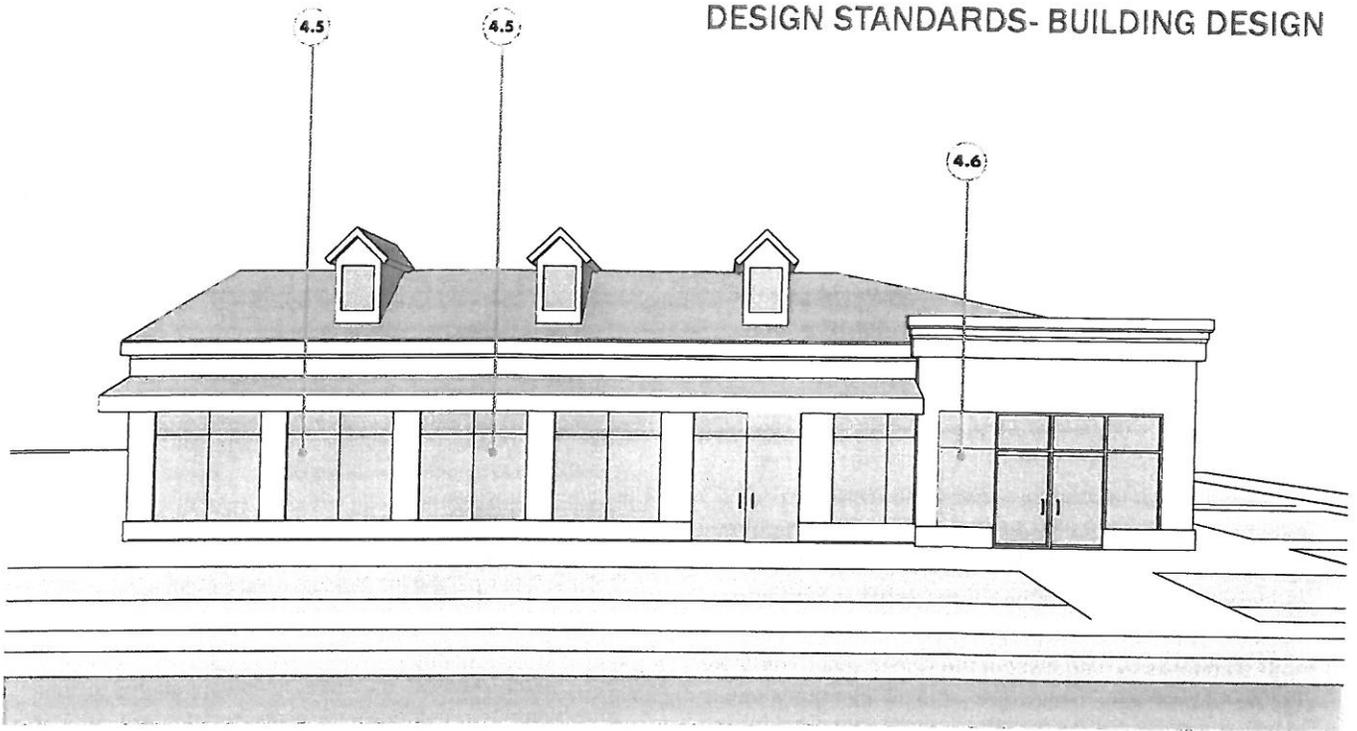
4.6 – At least 40 percent of the ground floor façade facing parks, plazas, entry corridors or side streets shall be constructed of clear and non-tinted windows.

4.7 – For any multi-tenant commercial development, a covered arcade/structural canopy shall be provided along the front facade of the building. Arcades are covered walkways connected to the principal building. They should be a minimum of five feet in width and designed to provide covered areas for relief from the weather. Different arcade/structural canopy designs may be used for each individual tenant/business within a multi-tenant commercial development provided that they blend aesthetically with the front facade of the building.

#### Guidelines

4.8 – If a shed roof or flat roof design is used, add a parapet wall to screen the roof.

## DESIGN STANDARDS- BUILDING DESIGN



- Window awnings and roof overhangs are not only visually appealing but also provide cover from the weather and give spaces definition and character.



- Plazas are an incredibly useful and visible public space, allowing for social and recreational programs to take place within their borders.



## DESIGN STANDARDS- BUILDING DESIGN

### 5. MASSING AND SCALE

#### Intent

The massing and scale of buildings helps preserve the historic and "small town" feel of the region. Residents and property owners identify with this character and would like to see it maintained, thus it is important for new development to be consistent.

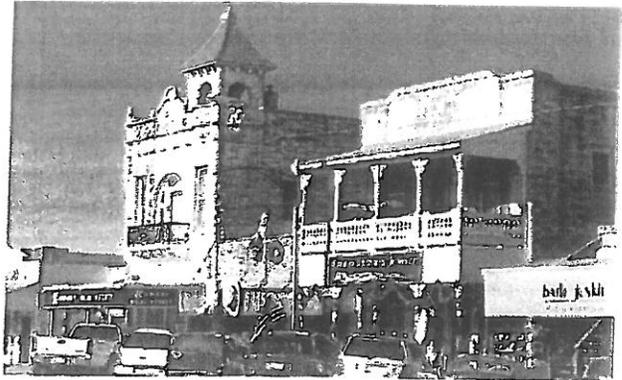
The mass and scale of a development relates to the mass of the building and its scale of architectural features related to the structures size. If the mass of the building is too large, it will not properly integrate within the surrounding environment. If the scale is too large, the building will look disproportional and out of touch with standards in place within the community. Therefore the mass and scale of buildings built within the Historic District and entry corridors should encompass the ideas of size and location on lots relating to the architectural style already in place within the built environment.

The intent of the Massing and Scale Standards are to:

- Fit the mass and scale of the broader context of the landscape and surrounding development; and
- Break up larger building mass by varied façade treatments and articulated roof treatments to keep scale accurate.

#### Applicability

5.0 – Massing and Scale Design Standards apply to all redevelopment in the entry corridors except for single family residential.



#### Standards

5.1 – Break up the front of large retail buildings by dividing it into individual bays 25 to 40 feet wide.

5.2 – Use variation in materials, textures, patterns, colors, and details to break down the mass and scale of a building

5.3 – When making transitions to lower density areas, modulate the mass of the building to relate to smaller buildings. Heights can be greater if the mass is modulated and other scale techniques are adopted. Reduce height near lower density uses.

5.4 – Building mass shall be used that is appropriate to the site. Buildings of the greatest footprint, when possible, should be located towards the center of a development where the impact on adjacent uses is the least.

5.5 – Each building shall have sufficient facade relief and interruption every 30 feet so as to provide visual architectural interest.

#### Guidelines

5.6 – Fake window and similar details are not appropriate articulation.

5.7 – Buildings are encouraged to be contiguously arranged along the street face, and large breaks between buildings in identified development sites should be avoided.

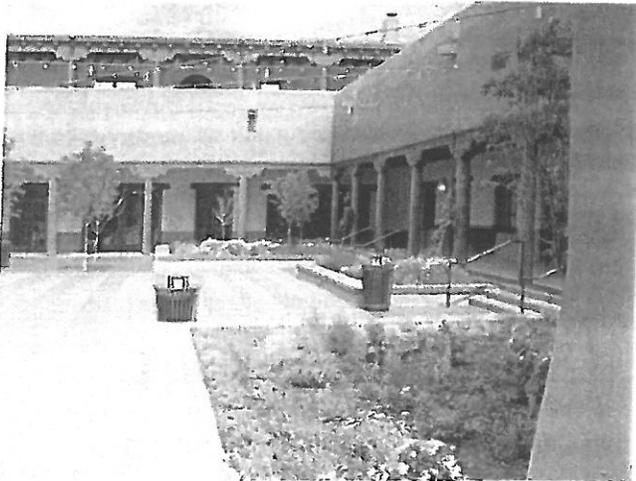
## DESIGN STANDARDS- BUILDING DESIGN



- Neighboring buildings are similar in mass and scale to maintain a visual flow along the street.
- The building scale maintains a pedestrian feel.



- By placing a setback between first and second floors, streets seem more approachable and open from the pedestrian level.



- Courtyards create both private and public social spaces which can be used for a variety of activities.



- By adding different textures and materials to different parts of the building, what is a large and expansive building to the eye looks properly sized and approachable.



## DESIGN STANDARDS- BUILDING DESIGN

### 6. SIGNAGE

#### Intent

Signage is one issue that can create significant conflict between developers, business owners, and the City. This is because owners want to maximize their visibility to passersby, while the City wants to protect overall safety and appearance and not have a profusion of signs. Appropriate sign regulations balance the concerns of business owners with the public welfare concerns. Signs are effective in garnering attention, while not detracting from overall appearance or distracting passersby. Signs should also be scaled to their environment. Signs along a highway will be different from those in a primarily pedestrian area. This picture shows a sign appropriate for a high speed thoroughfare. It is large, but in muted colors, made to look like it is made of wood, and appropriate for the business being advertised.

The intent of the Signage Standards are to:

- Ensure preservation of historic heritage and atmosphere; and
- Improve aesthetic appeal around signage.

#### Applicability

6.0 – Signage Design Standards apply to all redevelopment in the entry corridors.



#### Standards

6.1 – Reflective, fluorescent, neon and flashing signs shall not be allowed.

6.2 – Limit the height of free standing signs to 5 feet (Signage Ordinance)

6.3 – A landscaped base area shall be provided for monument or ground signs appropriate to the mass and height of the sign. All areas within 5 feet of the base of any sign shall be landscaped. The landscaped area may include trees, shrubs, flowering perennials, ornamental tall grass, fountains, water features, decorative stonework, planters, sculpture and decorative paving.

6.4 – Integrate signs into building and site design so they do not appear as an afterthought.

6.5 – Attached signs shall be located above the building entrance, storefront opening, or at other locations that are compatible with the architectural features of the building.

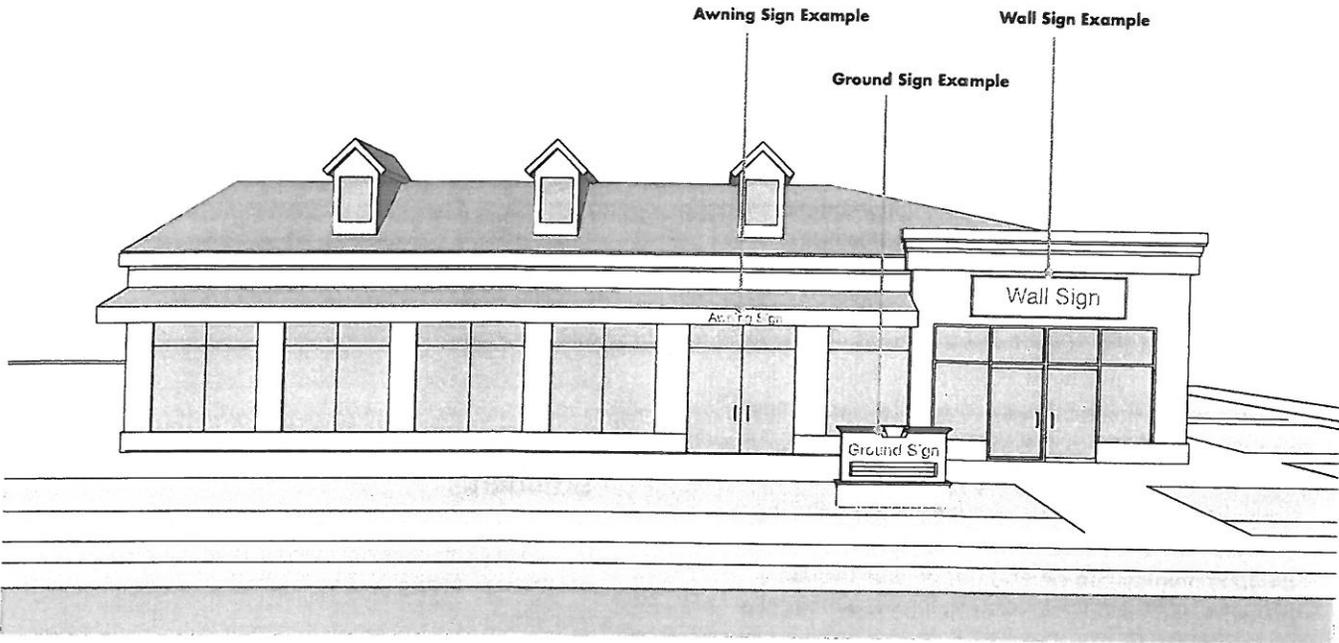
6.6 – Prohibit the use of billboard, illuminated or excessive signage throughout the entry corridors.

#### Guidelines

6.7 – A minimal number of colors should be used per sign where possible. Bright colors should be reserved for accent only.

6.8 – Exterior neon lighting is to be discouraged.

# DESIGN STANDARDS- BUILDING DESIGN



- Signage is low to the ground and made of local materials such as stone.
- Signage fits within the landscape and doesn't detract from the surrounding environment.



- Signage is incorporated into building design.
- Fonts and text styles are incorporated into the color scheme and design of the building.



## DESIGN STANDARDS- BUILDING DESIGN

### 7. BUILDING HEIGHT

#### Intent

Building height is important to maintain character of a place and to improve the general quality of the building environment, pedestrian spaces and pedestrian relationships to buildings. The goal is not uniformity, rather heights should be within a range that work well together. When buildings are too tall, they can create a canyon effect, making an area feel enclosed and unpleasant. Buildings that are too short lose definition and do not contribute to the character of an area. The key is to work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency. The image shows how different heights can work together, with two story buildings (occasionally higher buildings are present at key intersections).

The intent of the Building Height Standards are to:

- Create a unique corridor and downtown feeling with consistent building heights which correspond to the historic streetscape feeling of central Fredericksburg;
- Ensure adherence to maximum building height so that the character is not lost or damaged; and
- Step roof down towards front of building to keep streetscape from becoming overbuilt and to form pedestrian gathering places.

#### Applicability

7.0 – Building Height Design Standards apply to all redevelopment in the entry corridors.



#### Standards

7.1 – Use existing height standards from the Zoning Ordinance as a base, and indicate where the standards are different.

7.2 – Three (3) Stories (38 ft) max in commercial districts (C-1, C-2, CBD, M-1, M-2, M-3 zones).

7.3 – Four (4) stories (50ft) for public facilities.

7.4 – Work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency.

#### Guidelines

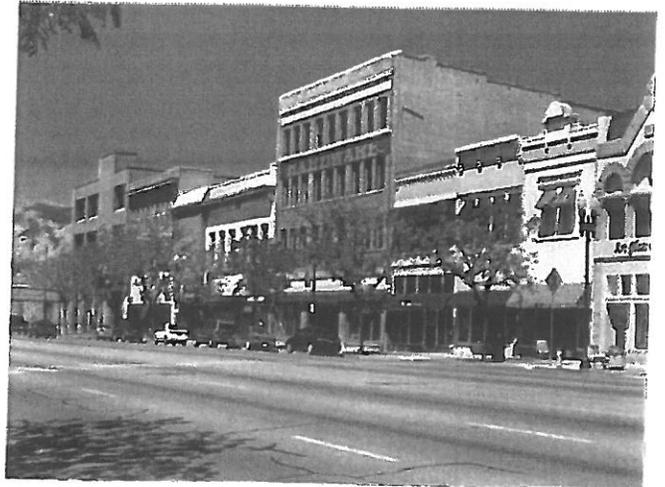
7.5 – Use building height to define neighborhood and district edges, and to provide a "human scale."

7.6 – Floor to floor heights of a building can have an impact on the mass of the building. Typical ceilings in a residence are 8-9 feet. First floors of office buildings or retail shops can range from 10-15 feet. Upper floors that include residential or office are generally 8-12 feet in height. Actual or implied floor-to-floor heights above 15-20 feet on the exterior should be avoided, as a building may begin to lose its "human scale" appearance.

## DESIGN STANDARDS- BUILDING DESIGN



- By using different materials and heights, large sized buildings can appear to be separate and smaller in scale.



- With proper setbacks and landscaping, buildings of different but similar height can easily blend together and create a lively and varied streetscape.



- By using different building heights, downtown areas can add character and sense of place.



- An example of how one, two and three story buildings can mesh well in areas that have proper landscaping, setbacks, and material use.



## DESIGN STANDARDS- SITE DESIGN

### 8. SETBACKS & FRONTAGE

#### Intent

Setbacks define the relationship of a building to the street frontage, and how far the building is from the ROW or sidewalk. Along highways, it may be appropriate for buildings to be set farther back away from the roadway; while in pedestrian areas, it is preferable to have buildings up to the sidewalk. In conventional development, buildings are setback from the road behind parking lots. This ensures adequate parking and high visibility for the business; however, it does not contribute to the aesthetics of an area. Much of the development within the entryways to Fredericksburg follows this pattern.

The intent of the Setbacks and Frontage Standards are to:

- Preserve characteristics of Fredericksburg's small town downtown heritage through the use of building setback.

#### Applicability

8.0 – Setback Design Standards apply to all redevelopment in the entry corridors except for single family residential.



#### Standards

8.1 – Setbacks shall be a maximum of 25 feet except for single family residential.

8.2 – No parking lots shall be constructed on the corner of a street.

8.3 – Doors and entryways shall be constructed facing the entry corridor and any side streets. Secondary entrances may be constructed to allow convenient access from secondary streets, adjacent buildings, sidewalks, or parking.

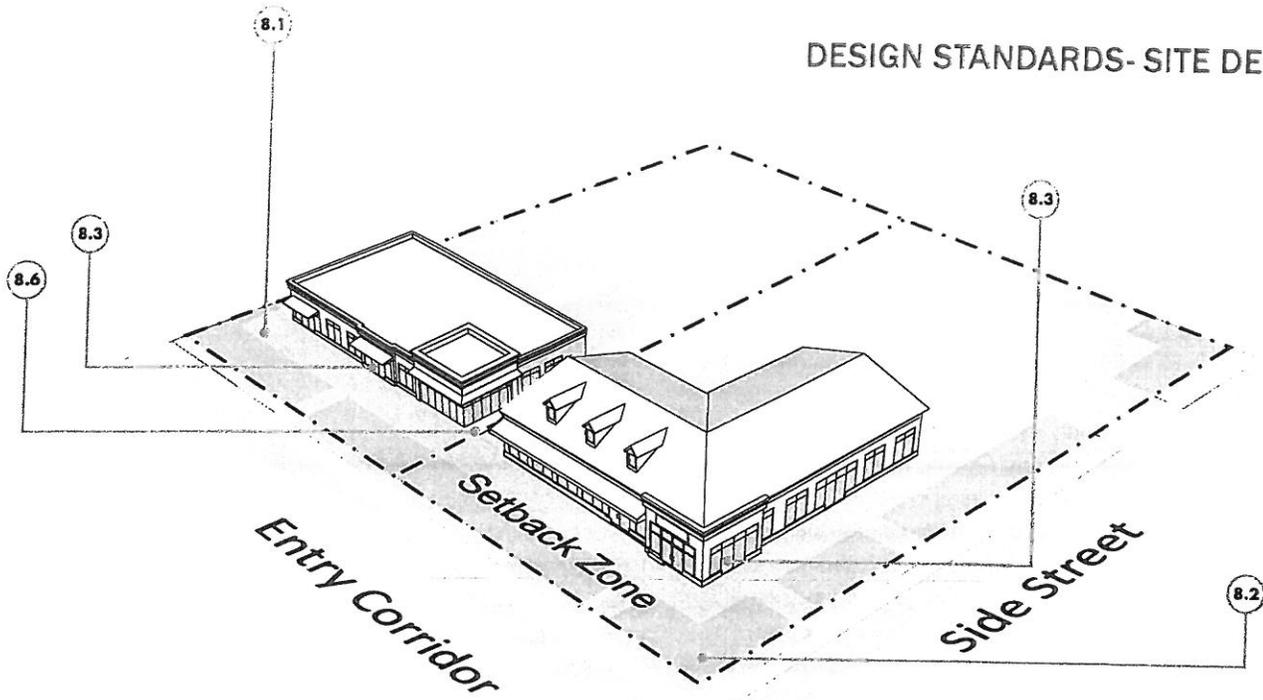
8.4 – The front door must connect to the sidewalk along the entry corridor.

8.5 – In areas adjacent to or near the Historic District, new buildings shall match adjacent building setback in order to preserve the Historic District character and to encourage walkability.

#### Guidelines

8.6 – A contiguous building arrangement without large breaks between buildings along the street face is encouraged.

## DESIGN STANDARDS- SITE DESIGN



- By encouraging building set back along entry corridors, the city will have room to provide not only landscaping but also areas of public social space along pathways and pedestrian walkways.



- Buildings along Town's Creek or Barons Creek have a pedestrian oriented frontage along the creek
- Parking is not located between the building and creek
- Buildings should take advantage of adjacencies to Town Creek and Barons Creek by providing amenities between the building and the creek



## DESIGN STANDARDS- SITE DESIGN

### 9. LANDSCAPING

#### Intent

Appropriate landscaping plays a significant role in the character and appearance of an area. Landscaping can be used as a buffer to disguise unappealing features, like utilities and parking. Landscaping can also enhance pedestrian areas, offering shade and a visual break from the built environment and serving as a buffer to the street. The challenge of landscaping is the on-going maintenance required to keep it attractive, as well as water usage. Xeriscaping should be utilized to ensure minimal water use and lower maintenance for landscape features. The City can work with property owners and civic organizations, such as the Garden Club, to adopt landscape features to provide on-going maintenance and care for them.

The intent of the Landscaping Standards are to:

- Create street-to-building buffering landscapes with native and drought resistant plant species for more pleasurable vehicular and pedestrian experience;
- Create a cohesive and consistent tree canopy along pedestrian pathways to create a pleasing and comfortable environment for non-vehicular traffic;
- Restore existing natural areas where possible; and
- Create public spaces and common areas that invite residents and tourists to visit with appealing and beautiful landscaping.

#### Applicability

9.0 – Landscaping Design Standards apply to all redevelopment in the entry corridors.

#### Standards

9.1 – Landscaping, including planting and trees, shall be provided as a buffer between the street and parking area.

9.2 – To create a cohesive tree canopy that provides for consistent shade, street trees shall be planted a minimum of every 30 feet on center (centered between the curb and sidewalk).



#### Guidelines

9.3 – Native, drought tolerant and adapted landscape species should be used to the greatest extent possible.

9.4 – A minimum of 50 percent of the plant species should be selected from the approved plant list.

9.5 – Minimize impervious coverage to reduce the need for energy and water consumption.

9.6 – Utilize parks, open spaces and natural areas as buffers between incompatible uses or as a means of maintaining natural viewsheds.

9.7 – Planting is preferable to turf within the right-of-way, including spaces between sidewalks and the street. Landscaping between the curb and sidewalk should be no taller 24" tall and adhere to the clear sight distance triangle.

9.8 – Every effort should be made to protect underground utilities such as water, sewer, phone and cable from tree or plant roots.

9.9 – Restoration of natural areas is strongly encouraged during new development and, to the extent possible, redevelopment.

9.10 – Wherever possible, parks should take advantage of existing mature vegetation by preserving it and incorporating it as a feature of the park to maximize use of shaded areas.

9.11 – Minimize grading and preserve existing vegetation whenever possible.

## DESIGN STANDARDS- SITE DESIGN

9.12 – Landscapes should be irrigated to establish planting and provide the correct water levels to support the long term growth of landscape. Irrigation systems must use efficient water methods, group planting into similar hydro-zones, and use moisture sensors to control the use of water.

9.13 – Root barriers should be used in planting areas between the sidewalk and street which are less than 10 feet in width.



- Drought tolerant plantings such as bulbine and silver pony foot are encouraged.
- Planting is provided as a buffer between the sidewalk and street.



- Agaves, grasses, and cacti are appropriate plant materials that have low water requirements.



- Seasonal planting is provided between the street and the sidewalk, creating a buffer between automobile and pedestrian sidewalk, while keeping within the maximum height of 2 feet.



## DESIGN STANDARDS- SITE DESIGN

Table 1: Recommended Street Trees (Planting Arcas >10')

STREET TREES	
Common Name	Scientific Name
Shumard Oak	Quercus shumardii
Chinquapin Oak	Quercus muehlenbergii
Live Oak	Quercus virginiana
Montezuma Cypress	Taxodium mucronatum
Lacey Oak	Quercus laceyi
River Birch	Betula nigra
Mexican Sycamore	Platanus mexicana

Table 2: Recommended Trees

SCREENING	
Common Name	Scientific Name
Red Maple	Acer rubrum
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Live Oak	Quercus virginiana
Bald Cypress	Taxodium Distichum

Table 3: Recommended Trees for Screening

SCREENING	
Common Name	Scientific Name
River Birch	Betula nigra
Bottlebrush	Callistemon sp.
Texas Redbud	Cercis canadensis 'Texensis'
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'

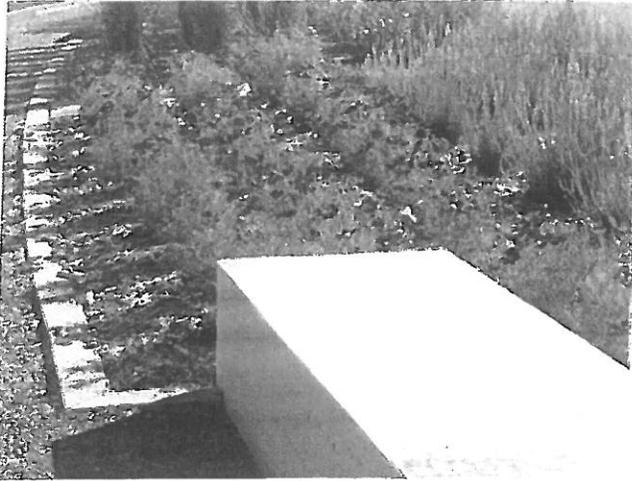
Table 4: Recommended Trees for General Landscaping

TREES	
Common Name	Scientific Name
Florida Maple	Acer barbatum
Red Maple	Acer rubrum
River Birch	Betula nigra
Bottlebrush	Callistemon
Pecan	Carya illinoensis
Texas Redbud	Cercis canadensis 'Texensis'
Texas Persimmon	Diospyros texana
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Savannah Holly	Ilex x 'Savannah'
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'
Sweetbay Magnolia	Magnolia virginiana
Slash Pine	Pinus elliotii
Loblolly Pine	Pinus taeda
Texas Pistache	Pistacia texensis
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Mexican Plum	Prunus Mexicana
Sawtooth Oak	Quercus acutissima
Bur Oak	Quercus macrocarpa
Cow Oak	Quercus michauxii
Nuttall Oak	Quercus nuttallii
Live Oak	Quercus virginiana
Eve's Necklace	Sophora affinis
Bald Cypress	Taxodium Distichum
American Elm	Ulmus Americana

Table 5: Recommended Plants for General Landscaping

GROUND COVERS	
Common Name	Scientific Name
Ajuga	Ajuga sp.
Centipedegrass	Eremochloa ophiuriodes
Homestead Verbena	Glandularia canadensis
Daylily	Hemerocallis sp.
Red Yucca	Hesperaloe parvifolia
Trailing Juniper	Juniperus sp.
Trailing Lantana	Lantana sp.
Liriope	Liriope sp.
Dwarf Nandina	Nandina sp.
Katie Ruellia	Ruellia elegans
Yucca	Yucca sp.
Rain Lily	Zephyranthes sp.
ORNAMENTAL GRASSES	
Common Name	Scientific Name
Bluestem	Andropogon sp.
Sideoats Gamma	Bouteloua curtipendula
Weeping Lovegrass	Eragrostis curvula
Purple Lovegrass	Eragrostis spectabilis
Sand Lovegrass	Eragrostis trichacolea
Fiber Optic Grass	Isolepis cernua
Purple Autumn	Miscanthus sinensis
Zebra	Miscanthus sinensis 'Zebra'
Muhly	Muehlenbergia sp.
Little Bunny Fountain	Pennisetum alopecuriodes
Fountain	Pennisetum ruppellii
Mexican Feather	Stipa tenuissima
VINES	
Common Name	Scientific Name
Crossvine	Bignonia capriolata
Trumpet Creeper	Camsis radicans
Coral Honeysuckle	Lonicera sempervirens
Evergreen Wisteria	Melletia reticulata
Virginia Creeper	Parthenocissus quinquefolia
Lady Banks Rose	Rosa banksia
PLANTING BEDS	
Common Name	Scientific Name
Abelia	Abelia sp.
Agave	Agave sp.
Yarrow	Achillea sp.
Butterfly Bush	Buddleia davidii
Beautyberry	Callicarpa americana
Coreopsis	Coreopsis sp.
Coneflower	Echinacea sp.
Indian Blanket	Gaillardia sp.
Hummingbird Bush	Hamelia patens
Burford Holly	Ilex cornuta
Yaupon Holly	Ilex vomitoria
Dwarf Yaupon Holly	Ilex vomitoria 'nana'
Juniper	Juniperus sp.
Lantana	Lantana sp.
Texas Sage	Leucophyllum sp.
Gayfeather	Liatrus sp.
Turk's Cap	Malvaviscus arboreus
Blackfoot Daisy	Melampodium leucanthum
Wax Myrtle	Myrica cerifera
Blue Plumbago	Plumbago auriculata
Pomegranate	Punica granatum
Rosemary	Rosmarinus officianalis
Black-eyed Susan	Rudbeckia sp.
Dwarf Palmetto	Sabal minor
Mealy Blue Sage	Salvia farinacea
Autumn Sage	Salvia greggii
Mexican Sage	Salvia leucantha
TX Mountain Laurel	Sophora secundiflora
Bridal Wreath Spirea	Spirea cantoniensis
Yellow Bells	Tecoma stans
Viburnum	Viburnum sp.

## DESIGN STANDARDS- SITE DESIGN



- Seasonal color is thoughtfully incorporated into planting design.



- The park takes advantage of maintaining existing trees on site.
- The park maximizes the use of shaded areas by aligning trails underneath dense tree canopy.



- The use of a low stone seat wall is creatively incorporated into the landscape to preserve an existing stand of oak trees.
- Cacti and native plants fit the planting scheme of the larger context of central Texas.



- An allee of street trees planted a minimum of 30 feet on center frames the sidewalk and provides comfort to pedestrians.
- A mix of tree species offers seasonal interest along the street.



# DESIGN STANDARDS- SITE DESIGN

## 10. LIGHTING

### Intent

Lighting is necessary to make a building visible to passersby and for safety and security on site. However, lighting can also become a nuisance, as light spills onto adjacent property, distracts drivers, and detracts from community appearance. Well-designed lighting focuses light where it is needed, with minimal glare and excess. Shielding and proper aiming can provide appropriate safety and security while having minimal impact on adjacent properties. Pole location, height, and design all affect how lighting will be seen, so thought should be given to all of these variables when designing a lighting system for a property.

The intent of the Lighting Standards are to:

- Provide continuity and high aesthetic value through the creation of a cohesive lighting strategy; and
- Create, safe, secure places with lighting strategies while protecting the night sky and nearby residential properties.

### Applicability

Architectural Lighting Design Standards apply to all redevelopment in the entry corridors.

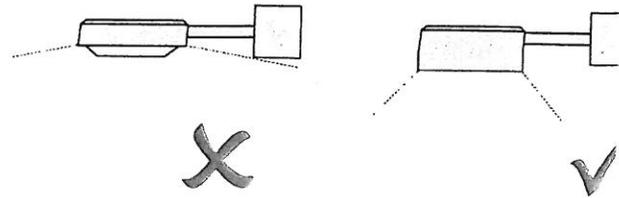
### Standards

10.0 – Lighting fixtures should be selected from the International Dark-Sky Association Approved Fixtures.

### Guidelines

10.1 – Lighting should be used to provide illumination for the security and safety of on-site areas such as parking, loading/unloading, pedestrian pathways and working areas. Excessive use of lighting fixtures is prohibited.

10.2 – Fixture style and location must be compatible with the building’s architecture, site design and landscape design. Decorative fixtures are highly recommended and where warranted, may be required. Light fixture style is to



be consistent throughout the project.

10.3 – Light fixtures shall be located facing away from adjacent sites (particularly residential parcels) so that the light does not spill-over onto abutting properties. Parking and building light fixtures must be cut-off luminaires that have less than 90 degree cut-off so that the light is not emitted horizontally or upward.

10.4 – Projects located near residential or open space areas shall use low intensity/wattage lights and all lighting is to be extinguished or reduced in intensity 30 minutes after the close of business.

10.5 – Off-site street lighting may be required over driveways to provide safe entrances and exits.

10.6 – Decorative seasonal lighting encouraged.

LIGHTING SELECTION MATRIX	
Location	Fixture
Streetscape Pedestrian Lighting	Sternberg Lighting Omega Series
Site Lighting	Srenberg Lighting Medterra BB
Public Space Lighting	Srenberg Lighting Medterra BB

## DESIGN STANDARDS- SITE DESIGN



- This Dark Sky light fixture is an example of an approved light fixture for Fredericksburg.
- Sternberg Lighting Omega Series



- Lighting can include planters and decorative features to fit within the context of Fredericksburg



- This Dark Sky light fixture is an example of an approved light fixture for Fredericksburg
- Sternberg Lighting Mediterra BB



- Lighting can be erected within the entry corridors and along path and trails.



## DESIGN STANDARDS- SITE DESIGN

### 11. SERVICE AREAS

#### Intent

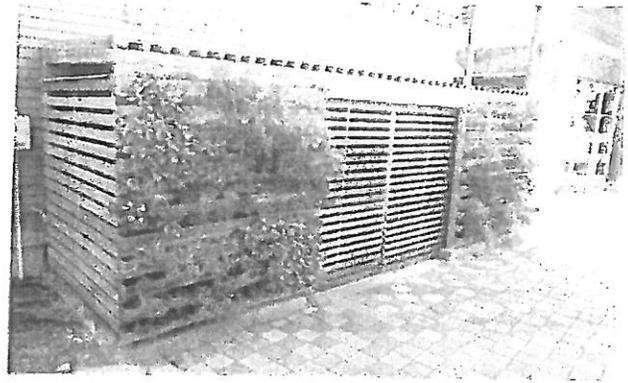
Every site plan needs to account for building facilities like HVAC systems, dumpsters, drainage, etc. These are necessary features that have to be located; however, they can present a challenge to balance needed access with aesthetics. It is appropriate to place these facilities in the back of the property, shielded by the building if possible. If that is not available, due to access issues, service areas should be shielded with fencing and landscaping to maintain the overall site appearance. Good site planning will ensure that needed facilities are incorporated on site, with minimal visibility from roadways and adjacent properties.

The intent of the Service Areas Standards are to:

- Use visually screened service areas to hide unsightly private space areas; and
- Use appropriate landscaping, fencing, and/or green screens around service areas for buffering.

#### Applicability

11.0 – Service Areas Design Standards apply to all redevelopment in the entry corridors.



#### Standards

11.1 – Loading/unloading areas shall be clearly identified by installing no parking signs and/ or striping of the space. The areas must be located in the rear or the sides of the building and shielded so that they are not visible from the street. The size and number of the loading/ unloading areas must be consistent with the requirements of the Zoning Ordinance.

#### Guidelines

11.2 – All trash, recycling and utilities facilities must be visually and acoustically screened from pedestrian rights of way.

11.3 – Screening shall be achieved through the installation of a wall or fence six foot in height or a height sufficient to obscure the area or equipment, whichever is less.

11.4 – Screening may be provided by using a semi-opaque fence, solid vegetative surface or combination of both.

11.5 – The height of screening plants shall be based on typical plant size within five growing seasons.

11.6 – All roof-top equipment shall be screened from entry corridors, side streets, plazas and parks.

11.7 – It is encouraged to provide a separate waste and recycling unit to encourage environmental sustainability and support efforts to reduce, reuse, and recycle in Fredericksburg. The City of Fredericksburg Recycling Center provides recycling and safe disposal options. Fredericksburg Shines has compiled a list of items that can be recycled along with the location where that recycling occurs.

## DESIGN STANDARDS- SITE DESIGN



- The use of wood softens the visual effect of the waste receptacle.
- The waste receptacle visually blends into the surrounding public space, and the wood material matches the adjacent bench.



- Waste receptacles are screened with vegetation.
- Waste is separated into trash and recycling units.



- Service areas are located to the rear of the site.
- Trees and landscaping screen views to dumpsters and service areas.



- Compost areas are hidden from view and designed in an esthetically pleasing manner.



# DESIGN STANDARDS- SITE DESIGN

## 12. PARKING & ACCESS

### Intent

Parking uses a significant portion of most conventional development. Developers typically have to provide sufficient parking for infrequent, high volume days like the day after Thanksgiving. This, combined with a desire for visibility and access, means most parking lots are put in front of the building. Adequate landscaping and buffering can improve the appearance of parking lots; however, having parking to the front detracts from pedestrian connectivity and appeal. Having parking to the rear of the property would allow the building to front onto the roadway. It would also allow for consolidation of driveways and access points. This can be a tremendous benefit for traffic flow, to reduce curb cuts and points of conflict along roadways.

The intent of the Parking and Access Standards are to:

- Follow New Urbanism models to help conceal and beautify parking areas, such as parking located in the rear or side of buildings;
- Create parking spaces that flow smoothly and create logical connections between parking spot and destination; and
- Use landscaping to buffer parking lots from adjacent uses.

### Applicability

12.0 – Parking Design Standards apply to all new development in the entry corridors.

### Standards

12.1 – Bicycle parking facilities must be provided at all new development that occurs on any street intersection. The design, color, and materials must coordinate with other site elements and must be well-light for night time uses.

12.2 – When a property abuts a creek, the parking lot should not be located between the building and the creek.

12.3 – When a property abuts a creek, a 10 foot



landscaped buffer shall be provided between the parking lot and the creek, where applicable. Utilize rain gardens and/or plant species that filter toxins between the parking lot and the creek.

12.4 – All parking shall comply with the most current American with Disabilities Act (ADA) standards and regulations.

12.5 – Whenever parking areas/drive aisles are connected to adjacent sites, the circulation must provide for similar direction of travel (both vehicular and pedestrian) and parking stalls to reduce conflict at points of connection.

12.6 – Pedestrian walkways connecting to adjacent development shall be provided.

12.7 – A minimum of a 4" diameter tree per 8 parking spaces shall be planted in planting beds located in the corners of parking lots and 'islands.'

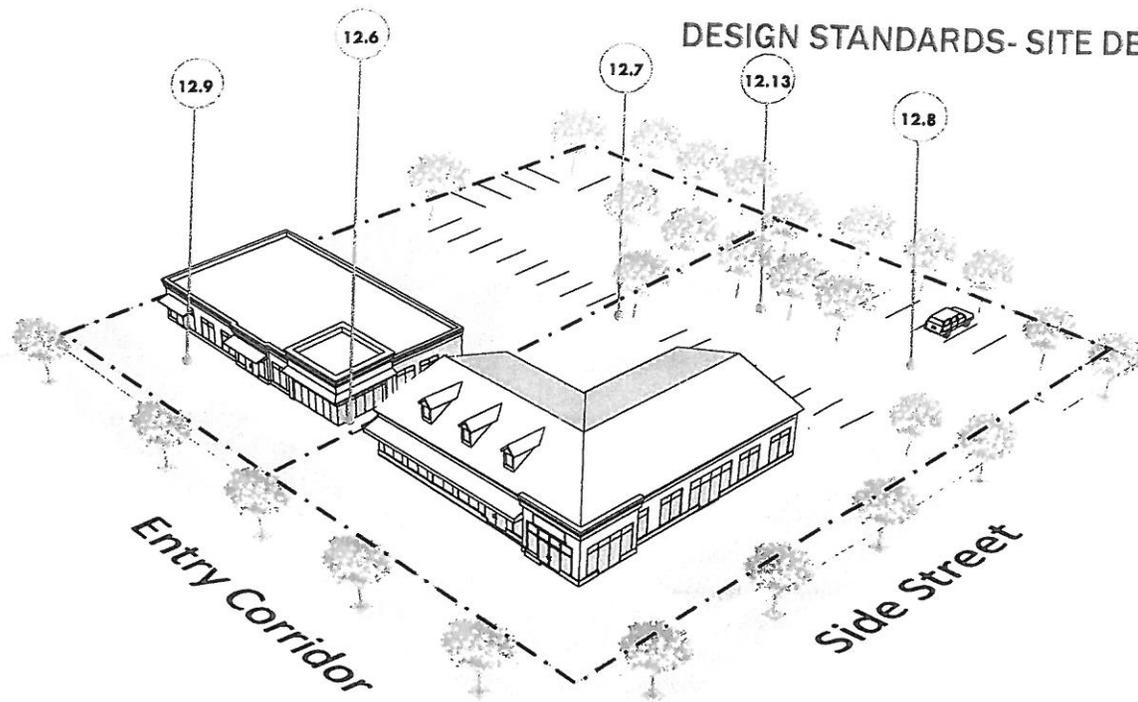
12.8 – Parking shall be located behind buildings or on the side.

12.9 – Continuous, 5' sidewalks must be provided along the full length of the building featuring customer entrances and along any façade facing public parking areas.

### Guidelines

12.10 – Parking areas abutting properties residentially used or designated shall be separated by a landscape buffer a minimum of 10 feet in width. In addition to landscaping, perimeter earth berms are recommended as an effective way to reduce the visual impact of surface parking lots.

## DESIGN STANDARDS- SITE DESIGN



12.11 – At least one parking and drive aisles should be designed to provide sufficient emergency vehicle access and maneuverability.

12.12 – Establishments that typically require or generate frequent passenger loading and unloading shall provide specifically designated loading/unloading stopping bays. Direct ingress and egress should be provided so that vehicles are not directed into the on-site drive aisles.

12.13 – Parking lots should be located and designed with stormwater Best Management Practices to capture, treat and infiltrate storm water.

12.14 – The on-site circulation must be logical and provide convenient, safe and direct flow of pedestrians and vehicles.

12.15 – New surface parking areas are discouraged within view of US290. New parking areas should be situated behind buildings and screened from street views.

12.16 – Parking aisles should be arranged to direct pedestrians parallel to moving cars thereby minimizing the need for pedestrians to cross parking aisles and landscape areas. As an alternative, separated pedestrian walkways should be incorporated in the parking lot design.

12.17 – Detached parking structures should be architecturally compatible with their setting or be screened by other buildings or by landscaping. If a detached parking structure abuts a street or major pedestrian path, ground floor design should incorporate a façade with storefronts, display windows, bay divisions, and other pedestrian oriented features.

12.18 – Shared driveways are encouraged.



• Planting buffer of 10 feet is placed around parking.



## DESIGN STANDARDS- SITE DESIGN

### 13. DRAINAGE AND STORMWATER

#### Intent

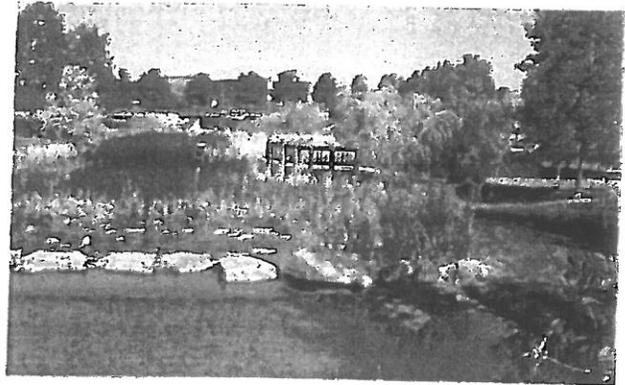
Development leads to increased stormwater runoff. Some communities manage drainage for larger areas, so developers put in facilities to convey water off the property to these larger drainage utilities. Other times, each property has to create on site facilities to manage stormwater. A fairly new direction in stormwater management is called low impact design. This utilizes natural features, such as rain gardens and swales, along with technology fixes like rainwater harvesting and pervious pavement, to manage stormwater. This type of development can be a lower maintenance and more aesthetic option for future development. It is important for stormwater to be managed in such a way to protect public health and safety.

The intent of the Drainage and Stormwater Standards are to:

- Create aesthetically pleasing detention and stormwater infrastructure;
- Use Best Management Practices to mitigate flooding and runoff backup;
- Capitalize upon the use of detention features to double as recreational elements where feasible;
- Use Low Impact Development (LID) techniques when possible; and
- Buffer detention ponds with native landscaping.

#### Applicability

13.0 – Drainage and Stormwater Design Standards apply to all redevelopment in the entry corridors.



#### Standards

NA

#### Guidelines

13.1 – LID techniques such as rain barrels, cisterns, rain gardens, naturalized landscaping, porous pavement and roof gardens are encouraged.

13.2 – When possible, site stormwater management facilities in parks and open space if there is a benefit to the surrounding area and/or water quality is demonstrated.

13.3 – Existing drainage patterns and flows on site should be preserved to the greatest extent possible.

13.4 – Decorative or aesthetically pleasing stormwater mechanisms should be incorporated into stormwater designs to the greatest extent possible.

## DESIGN STANDARDS- SITE DESIGN



- Bio-filtration areas slow stormwater runoff and absorb pollutants to encourage increased water quality.



- Decorative storm grates provide visual interest to otherwise unappealing design features.



- A rain water cistern captures water for re-use in the landscape.
- The materials on the rain water cistern match the architecture of the building and double as signage for the park.



- LID techniques such as rain gardens are aesthetically pleasing and contribute to an increase in water quality and reduce peak flows of stormwater runoff.
- Rain gardens are valuable Best Management Practices that mitigate flooding and stormwater runoff.

## DESIGN STANDARDS- SITE DESIGN

### 14. STREETScape

#### Intent

Most of the streets being included for the entryways are state highways. This means that TxDOT has jurisdiction over the design of the streetscape and any elements to be included in them. The City has a productive relationship with TxDOT staff and can work with them to incorporate improvements to the streetscape over time as projects and upgrades are made to roads in the entryways.

The intent of the Streetscape Standards are to:

- Create a connected sidewalk system throughout the city to ensure safety and connectivity between destinations;
- Increase the mobility to persons walking throughout the city into all areas;
- Create a continuous street tree canopy and landscaping along roadways to create more visually pleasing thoroughfares and pedestrian pathways;
- Use ADA compliant ramp and pedestrian facilities throughout the network to ensure ease of movement; and
- Ensure that the ground floor creates comfort and interest for pedestrian use.

#### Applicability

14.0 – Streetscape Design Standards apply to all redevelopment in the entry corridors.

#### Standards

14.1 – Sidewalks along the street right of way must be a minimum of 5 feet wide.

14.2 – To create a cohesive tree canopy that provides for consistent shade, street trees shall be planted a minimum of every 30 feet on center (centered between the curb and sidewalk).



#### Guidelines

14.3 – Sidewalks and pedestrian pathways should safely connect from the street to commercial buildings, surrounding residential areas, and parks and open spaces.

14.4 – Seating is encouraged in front of businesses, in public spaces and other instances where appropriate.

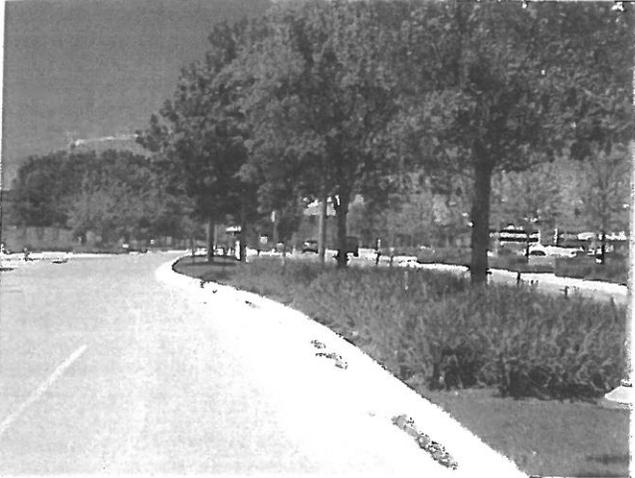
14.5 – All pedestrian areas shall comply with the most current American with Disabilities Act (ADA) standards and regulations. Particular attention shall be given to ramps, accessible paths of travel, level landings and handrails.

14.6 – Create a quality built environment with the inclusion of amenities such as street furnishing, plantings, art works, and water features to enhance the places that people will walk, gather, or recreate.

14.7 – Developments adjacent to multi-use trails shall provide a direct connection from the trail to the development's internal pedestrian circulation system.

14.8 – Streetscape furnishing should be made of high quality materials and be coordinated with the architecture of the building.

## DESIGN STANDARDS- SITE DESIGN



- A continuous canopy of street trees at 30 feet on center provides visual interest along the road.



- Benches, landscaping, street trees, and seating provide a comfortable pedestrian environment.

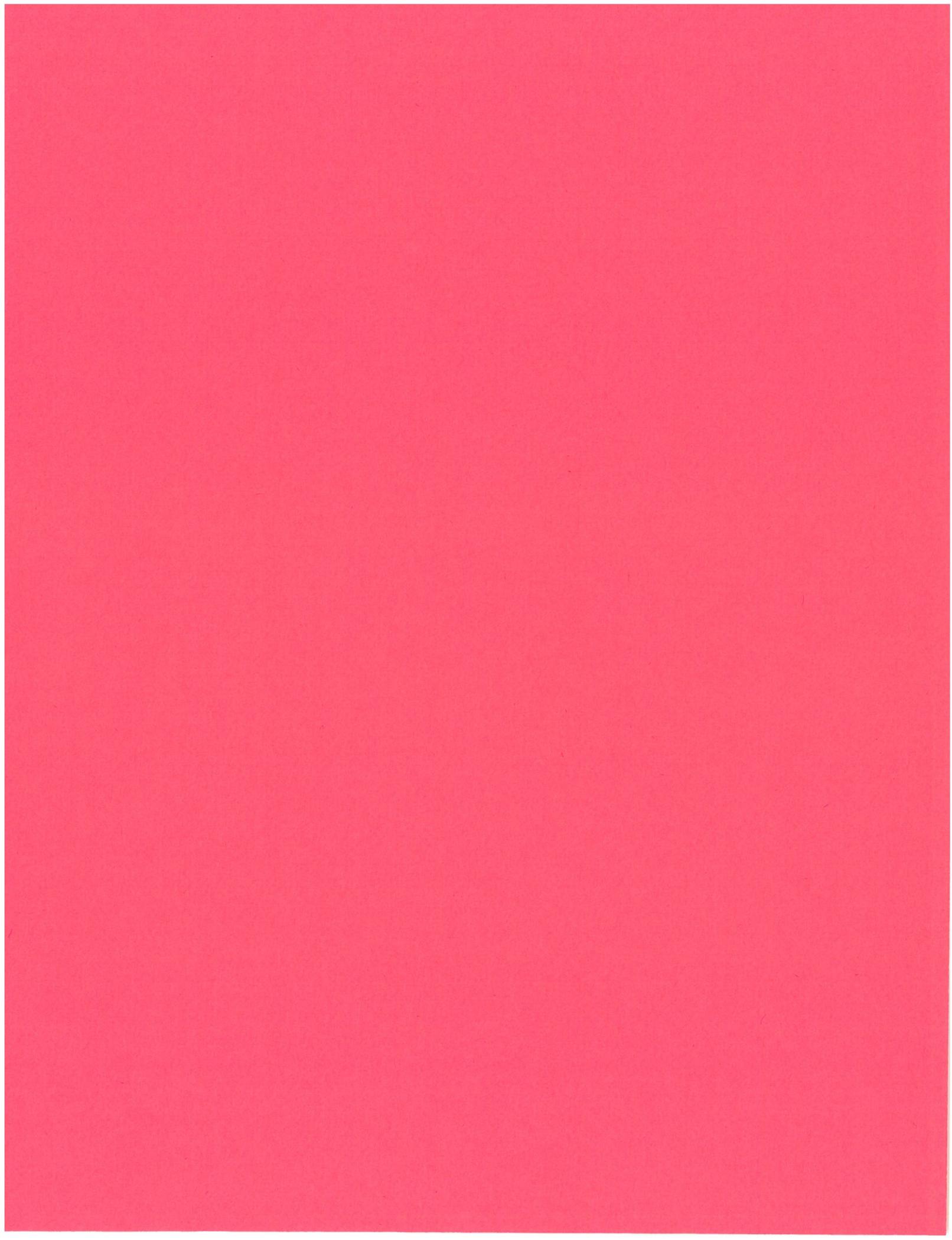


- Street trees are provided every 30 feet on center along the street.
- Ample shade and seating are provided for a comfortable pedestrian environment.



- Streetscape furnishings are made of high quality materials and create a brand and identity.







## MEMO

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**DATE:** November 25, 2014

**TO:** Planning and Zoning Commission

**FROM:** Brian Jordan, AICP

**SUBJECT:** Discuss regulations for Mobile Food Vending Trucks/Trailers

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### Summary:

Currently, the City has a very limited set of regulations pertaining to mobile food vending trucks/trailers. In short, they are covered in our Temporary/Accessory Use regulations section of the Zoning Ordinance. The provisions state that the temporary use of mobile trailer units or similar portable structures for non-residential uses, located in districts other than the Historic Overlay District where the use is a permitted use, and limited to a maximum period of six (6) months.

There are currently two such units permitted within the city limits. The first is located at 515 E. Highway Street and the other at 702 S. Washington Street. We have had other located throughout town and each of them has been limited to a 6 month time frame.

### Recommendation:

Discuss the potential regulations pertaining to such facilities.

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### Background / Analysis:

The City of Fredericksburg

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Although not addressed in the Ordinance, the staff has always applied several specific requirements. First of all, the City/County Sanitarian, Kelli Olfers, requires that the unit be permitted under her standards. In addition, we apply the following items such as owners permission, restrooms, hours of operation, graywater discharge, parking/access, signage, trash receptacles, grease trap, outdoor dining, zoning and that there are no outstanding taxes or liens on the property.

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