AGENDA
CITY OF FREDERICKSBURG
PLANNING & ZONING COMMISSION
Wednesday, November 5, 2014
5:30 P.M.
LAW ENFORCEMENT CENTER, 1601 E. MAIN ST.

		PAGE REF.
1.	Call to Order	
2.	Approve minutes from the October 2014 Regular Meeting	*Pp 1 - 4*

PUBLIC HEARINGS

3.	Public Hearing (P-1422) by Gillespie County Fair and Festivals Association to consider a replat of approximately 5.96 acres of land known as Lot 1, Alfred and Olivia Weirich Subdivision located on FM 2093	*Pp 5 - 11*
4.	Consider P-1422	
5.	Public Hearing (Z-1411) by Jill Holland Yellow Door Studio for a Conditional Use Permit to allow an Arts and Crafts use in the C-1, Neighborhood Commercial Zoning District on property located at 810 N. Llano	*Pp 12 - 24*
6.	Consider making a recommendation on Z-1411	
7.	Public Hearing (Z-1410) by The City of Fredericksburg to consider an amendment to Section 6.110 and Section 6.120 of the Zoning Ordinance pertaining to Continuation of a Nonconforming Use and Structure	*Pp 25 - 28*
8.	Consider making a recommendation on Z-1410	

SITE PLANS

9.	SP-1405 - Consider a revised site plan for Cameron Brooks on property located at 1312 S. Hwy 16	*Pp 29 - 37*

DISCUSSIONS

10.	Discuss Design Standards and Guidelines for Entry Corridors from the proposed Comprehensive Plan Issues Update	*Pp 38 -69*

ADJOURN

STATE OF TEXAS
COUNTY OF GILLESPIE
CITY OF FREDERICKSBURG

PLANNING & ZONING COMMISSION
October 8, 2014
5:30 P.M.

On this the 8th day of October, 2014 the PLANNING AND ZONING COMMISSION convened in regular session at the Law Enforcement Center with the following members present to constitute a quorum:

JANICE MENKING - Chair
BRENDA SEGNER
CHARLIE KIEHNE
CHRIS KAISER
STEVE THOMAS
DARYL WHITWORTH
JOE CLOUD

ABSENT: TODD WILLINGHAM
BILL PIPKIN

ALSO PRESENT: BRIAN JORDAN - Director of Development Services
PAT MCGOWAN - City Attorney
TAMMIE LOTH - Development Coordinator

Janice Menking called the meeting to order at 5:30 P.M.

MINUTES

Charlie Kiehne moved to approve the minutes of the September, 2014 meeting. Joe Cloud seconded the motion. All voted in favor and the motion carried.

DISCUSSIONS

DISCUSS AMENDING SECTION 6.110 AND 6.120 OF THE ZONING ORDINANCE PERTAINING TO CONTINUATION OF A NONCONFORMING USE AND STRUCTURE

Brian Jordan, Director of Development Services, noted the City Council suggested the Commission look at the possibility of making some modifications to the Zoning Ordinance to allow non-conforming businesses that have been operating for quite some time to expand their use by a certain percentage without requiring a Conditional Use Permit. Mr. Jordan explained there is a business that has requested a zoning change that was not approved and they would like to be guaranteed they have the ability to expand the business without going through a Conditional Use Permit application process.

Joe Cloud commented this seems to open Pandora's box and instead of getting more control it will lessen the city's control. Mr. Cloud noted if an exception could be given on a specific property it might work,

but a blanket allowance is scary. Mr. Cloud added he is not in favor of changing it for one person that is requesting an expansion of use if there has not been many requests in the past. Mr. Cloud commented it would allow every non conforming use to expand because there would be no need for approval. Charlie Kiehne agreed and noted the neighborhood of the property in question is not opposed to the use now but if it is expanded, they may care. Steve Thomas and Chris Kaiser agreed with the comments stated. Mr. Cloud added it creates a loop hole for a whole district and takes away the reason the rules were put in place. Daryl Whitworth agreed he was not in favor of amending the ordinance. Mr. Kaiser added there is not a dire need for the amendment because the Conditional Use Permit process is in place. Brenda Segner stated the business that is driving this consideration has operated as such before the property around them was residentially developed and they should be able to continue the use and not be prohibited from expanding, but she is not sure what the answer is.

Janice Menking noted the Commission is being asked to change the rules without knowing what the plan is for expansion. Ms. Segner added she doesn't want to push the long time owners out by not allowing their business to expand. Mr. Cloud noted they are not pushing them out, there is just a process they have to go through before expansion can be permitted. Mr. Jordan commented the zoning change from R-2 to C-1 gave the owners something they didn't have before and it allows them the possibility of expanding. Ms. Segner noted she believes the ordinance should stay the way it is. Mr. Whitworth commented the agriculture industry is likely to change and if it does, the area of town the business is located in is likely to change. Mr. Kiehne noted he believes the business that prompted this consideration is a good example of why the ordinance should be modified because something is being taken away from the owner. Mr. Kaiser added if there is a determination made that a certain percentage is allowed to be expanded, there still remains a certain percentage that is not allowed to be expanded and so something is still being taken away from the owner. Mr. Kaiser added the application process for a Conditional Use Permit allows the owner the possibility of expanding a use as he wishes.

There was a majority consensus from the Commission that the Conditional Use Permit process is adequate when considering a business expansion and the ordinance should be left as is.

DISCUSS DESIGN STANDARDS AND GUIDELINES FOR ENTRY CORRIDORS FROM THE PROPOSED COMPREHENSIVE PLAN ISSUES UPDATE - Brian Jordan, Director of Development Services, explained the City Council asked the Planning & Zoning Commission to look over the design guidelines that have been proposed to see if they believe all of them should be included as recommended, some number of them included, with or without amendments, or none of them. Mr. Jordan noted everything from the city limits line to the Historic District that is zoned commercial will be governed by the adopted standards and the Planning & Zoning Commission will be the Board that is responsible for enforcing the standards and guidelines. Mr. Jordan explained the standards will be mandatory and the guidelines will be recommendations. Janice Menking asked if these would only apply to new construction or also to building renovations and Mr. Jordan noted they will apply to both, but clarified on renovations they would only be applicable for the portion of the building being renovated. Mr. Jordan commented they could look at each guideline individually and note comments for each one. Mr. Jordan noted each section includes intent, applicability, standards, and guidelines and noted he believes they should concentrate on the standards because those will become the rules.

The first standard discussed was Architectural Style and Mr. Jordan explained if a historic building is being renovated the standards state the Historic District Guidelines should be adhered to. Steve Thomas noted that is a very good idea and the consultants recommendation is on point.

The next standard proposed is Architectural Materials. Mr. Jordan noted this is pretty straight forward and the standards are what we are trying to accomplish. Charlie Kiehne and Daryl Whitworth noted Section 2.2 is a little restrictive. Mr. Jordan asked if some materials need to be added to the list or if the materials should be eliminated all together. Steve Thomas stated if the developer sticks to the styles noted, the materials should follow and don't need to be stated. There followed discussion and it was determined some say on the material would be appropriate, but the list should be broadened. Mr. Jordan asked for input from the members of the Commission who have some expertise in this area. Joe Cloud suggested under Section 2.1 note as examples a list of materials that would be acceptable. The Commission agreed Mr. Cloud's suggestion was appropriate.

The third standard discussed was Architectural Colors. The definition of facade was discussed and noted it should be defined in the context of the material. Joe Cloud pointed out under Section 3.3 facade is stated as the overall exterior building. Mr. Cloud noted 30% of the facade seems like a large amount of building to have a bright color used on and asked what percentage Whataburger was allowed to make orange. The exact percentage was not known but agreed it was probably not 30% and that amount is too much. Discussion then followed on extending these guidelines to buildings not located in the entry corridors.

The fourth standard proposed is Architectural Features. Mr. Jordan noted this is intended to restrict certain elements of buildings, identify the human scale and identify the entries. Mr. Jordan asked Steve Thomas if this gives enough direction to an architect developing a building on a vacant piece of property and Mr. Thomas noted it did. Members of the Commission noted the example that is used is not good because it looks like a strip center building that could be located anywhere and not what we want to have on our corridors. Mr. Thomas noted the verbiage gets the point across and if the examples do not represent what we are wanting, they should be eliminated. There was discussion some of the features and requirements, specifically percentage requirements, are not appropriate as standards and Mr. Jordan commented if they are not appropriate they should be taken out all together. It was also noted Section 4.3 should be worded differently to allow enforcement.

The next standard discussed was Massing and Scale. Mr. Jordan noted this one is difficult to quantify and he understands what is trying to be accomplished, but he doesn't have a lot of direction to give the Commission. The Commission agreed the wording is confusing and Mr. Thomas noted too much vague information gives someone an argument to do something that is not appropriate.

Signage is the next standard that was discussed and Mr. Jordan noted the only sections the consultants added that are not in the existing ordinance are Sections 6.3 and 6.4. Chris Kaiser noted Sections 6.1 and 6.8 are conflicting and Joe Cloud noted Section 6.8 should be taken out.

Building Height was the final standard discussed and Mr. Jordan noted the standards are already in the Zoning Ordinance and the Commission should focus on the guidelines. Mr. Jordan also noted Section 7.4 does not work as a standard and is more of a directive.

DISCUSS CRITERIA FOR ESTABLISHING A MIXED USE ZONING DISTRICT

Brian Jordan, Director of Development Services, noted he does not have any information on the Mixed Use Zoning District yet but the Commission and Staff can continue to work on establishing criteria for a zoning district of that nature.

ADJOURN

With nothing further to come before the Commission, Daryl Whitworth moved to adjourn. Brenda Segner seconded the motion. All voted in favor and the meeting was adjourned at 7:08 p.m.

PASSED AND APPROVED this 5th day of November, 2014.

SHELLEY BRITTON, Secretary

JANICE MENKING, Chairman

REPLAT
BACKGROUND INFORMATION
October, 2014

File Number:	P-1422
Subdivision Name:	Replat of Lot 1, Alfred and Olivia Weirich Subdivision
Location:	515 and 519 FM 2093 (see attached map)
Tract Size:	5.96 acres
Number/Size of Lots:	2 lots. Lot 1AR – 2.18 acres Lot 2AR – 3.78 acres
Roadways:	Property has frontage on FM 2093 (Tivydale Road) plan).
Right-of-way:	FM 2093 is a TXDOT highway and has 80 of right-of-way.
Utilities:	Water and Sewer lines located in FM 2093. The sewer line to serve this tract will come from the north side of the roadway and will require boring under the highway.
Easements:	20' Water Line Easement along west property line. 60' Access Easement on the portion of Lot 2BR on the west side of Lot 1AR. 5' Sidewalk Easement fronting on FM 2093
Easements Abandoned:	NA
Stormwater Detention:	A Detention Pond is proposed on the eastern side of the property. The pond will be sized according to drainage requirements.
Drainage:	See above.
Staff Comments:	Replat requires public hearing.
P&Z Action:	Final approval
Staff Recommendation:	Approval

APPLICATION FOR PLAT APPROVAL

Pursuant to Section 9.800 of the Subdivision Ordinance, a Preapplication Conference shall be scheduled with the Planning and Engineering Departments prior to application submittal

P-1422

RECEIVED
SEP 17 2014

DATE: 9-17-2014

NAME OF SUBDIVISION: Alfred + Olivia Weirich Subd Replat

ACREAGE: 5.96 **NUMBER OF LOTS:** 2

TYPE OF APPROVAL REQUESTED AND FEE:

(Please provide seven (7) copies of plat on 24" x 36" paper)

PRELIMINARY PLAT: $200 plus $20 per lot $ _____
An 11" x 17" copy must also be provided for a preliminary plat)

VARIANCE REQUEST: $100 per item $ _____
(Requests for variance on design or construction standards MUST be submitted in writing with Preliminary Plat submission. The request MUST specifically state item, section, subsection, or standards that the variance relates to.)

MINOR PLAT: $200** $ _____

REPLAT (RE-SUBDIVISION):$200 plus $20 per lot (over 2 lots)** $ 200 –

FINAL PLAT FOR CONSTRUCTION/CONSTRUCTION PLAN REVIEW:**
$500 plus $10 per lot (An 11" x 17" copy must also be provided) $ _____

SUBDIVISION CONSTRUCTION INSPECTION: $100 per lot $ _____

PARKS FEE: The dedication of park land, or cash payment for park acquisition, and a park development fee as defined in Ordinance 17-017 $ _____

EXISTING LAND USE: Vacant **PROPOSED USE:** Governmental Offices

OWNER(S): NAME: Gillespie County Fair + Festivals Assn, Inc

ADDRESS: PO Box 526

TELEPHONE: GCAD 830 997 9807 **FAX:** _____

EMAIL ADDRESS: david@gillcad.org

LIEN HOLDER: _____ **ADDRESS:** _____

SURVEYOR: Carey Bonn **PHONE:** 830 997 3884

ENGINEER: _____ **PHONE:** _____

I certify that the information concerning the proposed subdivision is true and correct that I am the record owner(s) of the above described property.

SIGNATURE OF OWNER **DATE**

SIGNATURE OF APPLICANT, if applicant is NOT owner **DATE** 9/17/2014

**Note: Administrative Fees Only-Additional Fees will be required to record documents with the County of Gillespie. A separate check made payable to "Gillespie County Clerk" must be submitted prior to filing. County fees are as follows: Base fee for filing plat-$105; plus $10 per lot; plus $6 Preservation Fee and Courthouse Security Fee. If more than 1 page, additional $25 per page.

NOTE: A copy of a CURRENT Title search *MUST* be submitted before plat can be recorded.

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REPLAT
OF TRACT 1, ALFRED & OLIVIA WEIRICH SUBDIVISION
INTO
TRACTS 1AR & 1BR, ALFRED & OLIVIA WEIRICH SUBDIVISION.

SAID SUBDIVISION BEING SITUATED IN THE CITY OF FREDERICKSBURG,
GILLESPIE COUNTY, TEXAS, PLAT FOUND OF RECORD IN VOLUME 1, PAGE 161
OF THE PLAT RECORDS OF GILLESPIE COUNTY, TEXAS.

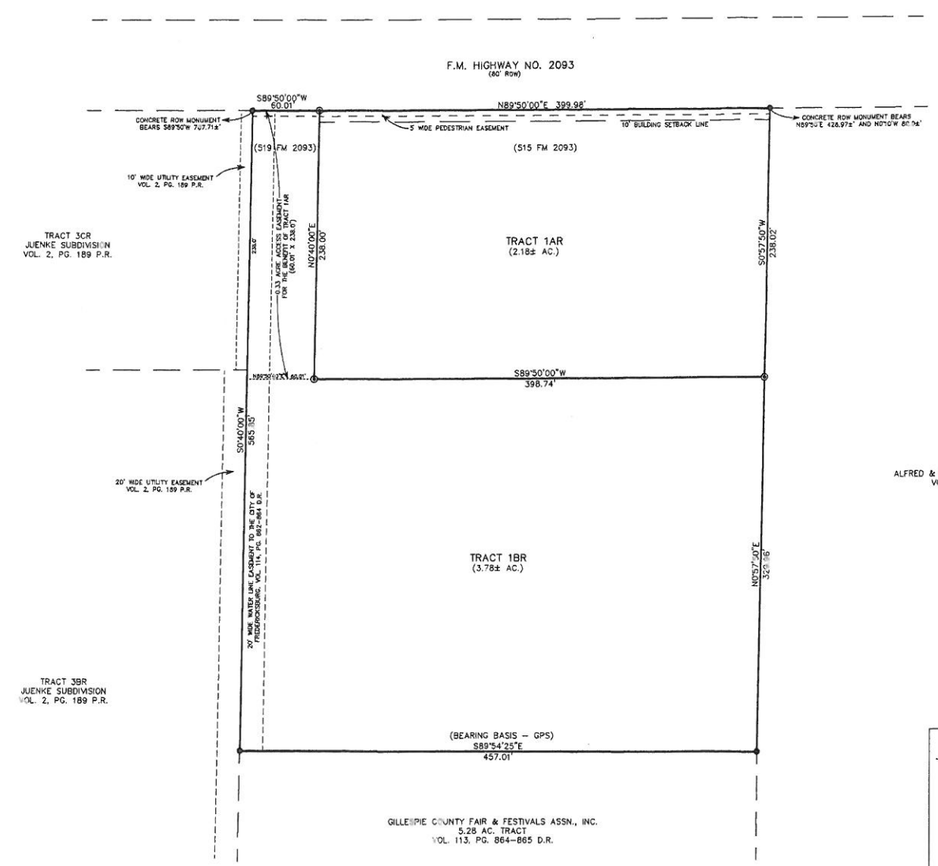
PRELIMINARY

THIS DOCUMENT HAS BEEN RELEASED FOR REVIEW ONLY AND SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

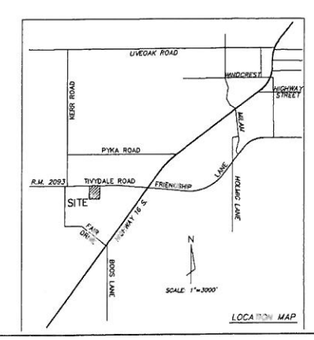
~~DATE: 6-8-2014~~

DATE: 10-8-2014

NOTES:
1. BUILDING SETBACK LINES SHOWN HEREON REFLECT CURRENT PUBLIC FACILITIES ZONING FOR THIS PROPERTY AS OF THE DATE OF THIS PLAT. BUILDING SETBACK LINES ARE SUBJECT TO CHANGES IN PROPERTY ZONING.
2. ANY PRIVATELY OWNED WATER WELLS MAY NOT BE INTERCONNECTED TO THE CITY OF FREDERICKSBURG PUBLIC WATER SYSTEM.



BONN SURVEYING
503 LONGHORN ST.
FREDERICKSBURG, TX 78624
PHONE: 830-997-3884
FAX: 830-997-0972
EMAIL: bonnsurveying@verizon.net
FIRM REG. NO. 10055800



THE STATE OF TEXAS*
COUNTY OF GILLESPIE*

I (We) hereby certify, that I am (We are) the owner(s) of the property shown and described hereon, that no other person or entity has any interest in the property by, lien, lease, or other equitable interest, unless otherwise noted hereon, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building set-back lines, and dedicate all alleys, walks, parks, watercourses, easements and other open space to public use forever and hereby convey, by fee simple title, all public road right-of-way, as shown hereon, to the City of Fredericksburg for public road right-of-way purposes forever and agree for myself (ourselves) and my (our) heirs and assigns to abide forever by all lines, dedications, conveyances for public road right-of-way purposes, and other restrictions shown hereon.

Owner: _____

Date: _____

THE STATE OF TEXAS*
COUNTY OF GILLESPIE*

BEFORE ME, the undersigned authority in and for _____ County, Texas, on this day personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is _____ and that he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____ 20____

_____
Notary Public in and for The State of Texas

_____
Printed Name of Notary

My commission expires: _____

THE STATE OF TEXAS*
COUNTY OF GILLESPIE*

Whereas, _____ acting by and through the undersigned, its duly authorized agent, is the lienholder of the property described hereon, does hereby ratify all dedications and provisions of this plat as shown.

Lienholder: _____

Date: _____

THE STATE OF TEXAS*
COUNTY OF GILLESPIE*

BEFORE ME, the undersigned authority in and for _____ County, Texas, on this day personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is _____ and that he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____ 20____

_____
Notary Public in and for The State of Texas

_____
Printed Name of Notary

My commission expires: _____

Approved

_____ _____
Chairman, Planning and Zoning Commission — Date
City of Fredericksburg, Texas

The undersigned, the City Secretary and the City of Fredericksburg, Texas, hereby certifies that the foregoing Final Plat of the _____ Subdivision or Addition to the City of Fredericksburg was submitted to the Planning and Zoning Commission on the _____ day of _____ _____ and the Commission, by formal action, then and there accepted the dedications, conveyances of land, improvements, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations as shown and set forth in and upon said plat, that the public works and infrastructure improvements have been completed in accordance with the construction plans, have been tested and have been accepted by the City, that the Final Plat is now acceptable for filing with Gillespie County and said Commission futher authorized the Chairman of the Planning and Zoning Commission to note the acceptance on behalf of the City thereof by signing his/her name as hereinabove subscribed.

Witness by hand on this _____ day of _____ 20____

_____
City Secretary
City of Fredericksburg, Texas

P-1422

RECEIVED
OCT 10 2014

Routed 10/14/14
DRC 10/16/14, 10/23/14
Comments Due 10/27/14
P+Z 11/5/14

THE STATE OF TEXAS*
COUNTY OF GILLESPIE*

I, the undersigned, a Registered Professional Land Surveyor No. 4447 in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

_____
Carey Bonn
Registered Professional Land Surveyor No. 4447
BONN SURVEYING 830-997-3884

Date: _____

THE STATE OF TEXAS*
COUNTY OF GILLESPIE*

BEFORE ME, the undersigned authority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therin stated.

Given under my hand and seal of office this _____ day of _____ 20____

_____
Notary Public in and for The State of Texas.

_____
Printed Name of Notary

My commission expires: _____

Filed for record at _____ o'clock _____ M., this the _____ day of _____, 20____ A.D., on Page _____ Volume _____ of the Plat Records of Gillespie County, Texas

_____ _____
County Clerk — Deputy Clerk
Gillespie County, Texas

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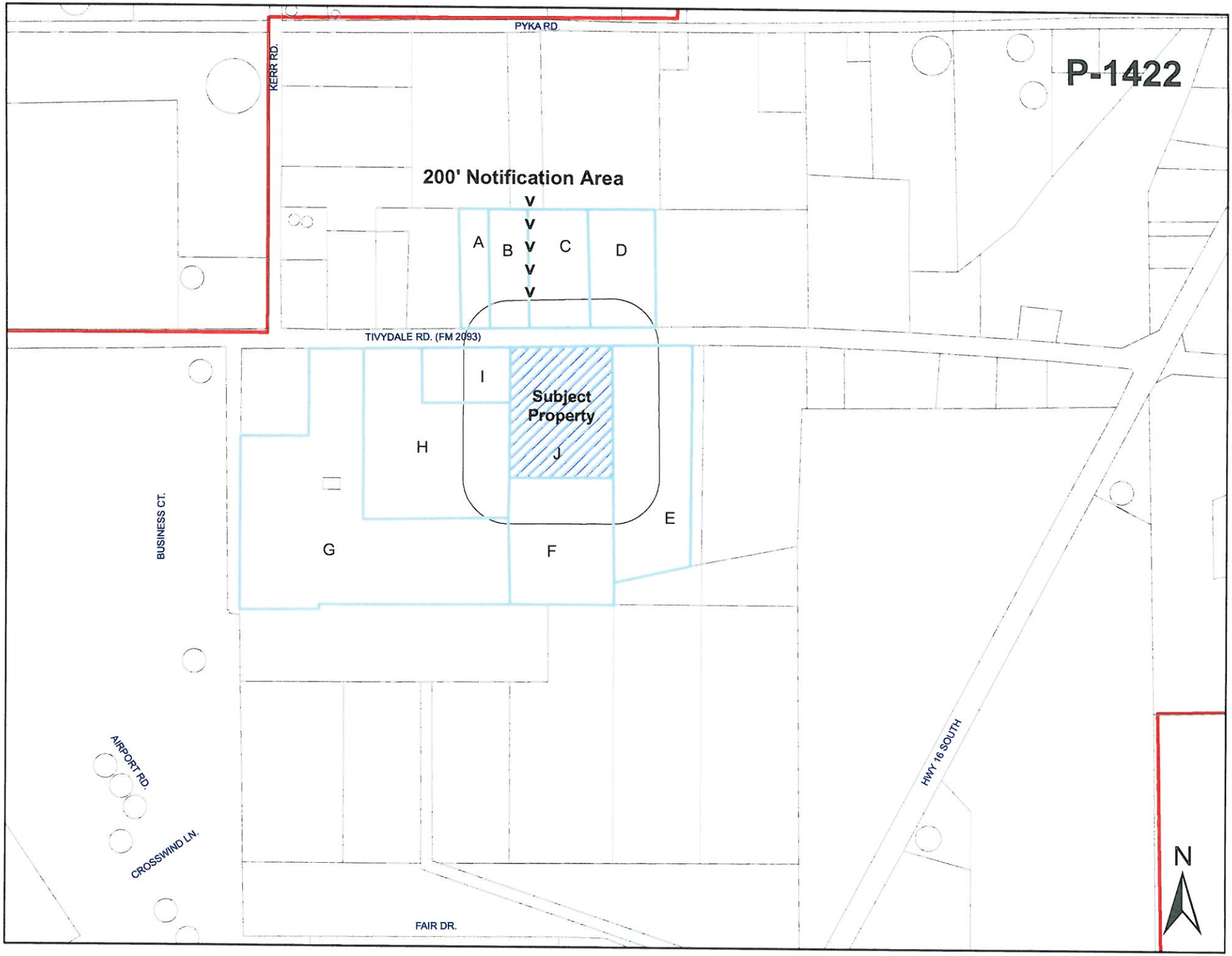
P-1422
N
HWY 16 SOUTH
E. YARD
MADRAS RD. (FM 2093)
FAIR DR
BUSINESS CT.
AIRPORT RD.
CROSSWIND LN.

8


P-1422
PYKA RD.
KERR RD.
200' Notification Area
A
B
C
D
TIVYDALE RD. (FM 2093)
I
Subject Property
J
H
E
G
F
BUSINESS CT.
AIRPORT RD.
CROSSWIND LN.
FAIR DR.
HWY 16 SOUTH
N

Letter	Owner	
A	Laddie Pooser	554 FM 2093
B	Robert & Lin Marie Straube	516 FM 2093
C	Ingram Ready Mix No. 1, LLC	490 FM 2093
D	STW Interests, Inc.	448 FM 2093
E	Another Closet Self Storage	383 FM 2093
F	Gillespie Co. Fair & Festivals Assn.	530 Fair Dr.
G	Atwell Family Investments, Inc.	689 FM 2093
H	Tivydale Business Park, LLC	603 FM 2093
I	Marty Mills & Kayla D. Vaughn	565 FM 2093
J	Gillespie Co. Fair & Festivals Assn.	530 Fair Dr.

P-1422

NOTICE OF PUBLIC HEARING FOR REPLAT

HEARING DATE: **NOVEMBER 5, 2014** TIME: **5:30 PM** REQUEST NUMBER: **P-1422**

The **PLANNING & ZONING COMMISSION** of the City of Fredericksburg will hold a public hearing at the above stated time and date in the conference room of the Law Enforcement Center, 1601 E. Main St., to consider a request for a change in the Land Use Plan and Zoning.

According to City Tax Records, you are the owner of real property within 200' of the proposed change. You are **not** required to attend the meeting, but if you care to attend, you will be given full opportunity to be heard. If you cannot attend the hearing, but wish to comment on the request, please detach the response form below and return it to the City of Fredericksburg, 126 W. Main St., Fredericksburg, TX 78624. All protests must be submitted in writing.

The decision of the PLANNING & ZONING COMMISSION is FINAL

For additional information, contact Director of Development Services, Brian Jordan at 830-997-7521.

APPLICANT: Gillespie County Appraisal District & Gillespie County Fair and Festivals Association

LOCATION: 5.96 acre tract on FM Hwy 2093
(see accompanying map)

REQUEST: Replat property into two tracts, one totaling 2.18 acres and one totaling 3.78 acres

(DETACH BELOW)

REQUEST NO. P-1422
As an interested property owner, I (Protest)(Approve) the requested zoning amendment represented by the above file number because:

Signed _____ Date _____

Printed Name _____ Address _____

11

CONDITIONAL USE PERMIT BRIEF

Request Z-1411

Owner/Applicant: Jill Holland

Location: 810 N. Llano Street

Existing Zoning: C-1, Neighborhood Commercial

Request: Conditional Use Permit to allow Arts and Crafts Studio in a C-1 Neighborhood Commercial Zoning district.

Site Plan Overview:

- The subject property consists of a single lot containing two separate buildings. Ms. Holland is purchasing the property from Ms. Croy, who owns the property immediately to the north as well.
- The applicant is intending to use the northernmost building for an arts education center (see description on the application).
- The site area is approximately 0.499 acres or approximately 21,736 square feet.
- The plan shows parking spaces for 19 vehicles, including 1 handicap space located in front of the building.
- The site has access from N. Llano Street. Currently, there are two small driveways on N. Llano St. Modifications to the existing drive configuration on N. Llano street are proposed to consolidate the drives into a single two-way drive.
- Building coverage is estimated to be approximately 15% (50% maximum allowed in the C-1 District)
- Impervious coverage is estimated to be approximately 71% (70% maximum allowed in the C-1 District).
- The site is bordered by residential to the west, a yoga center and beauty shop to the north, and neighborhood commercial uses to the east and south.
- Adjacent zoning is C-1, Neighborhood Commercial to the north, east and south, and R-1 to the west.

Review and Evaluation Criteria:

A. **CONFORMANCE WITH APPLICABLE REGULATIONS:**

- The site is presently non-compliant regarding driveway widths and impervious coverage. Other regulations, including parking, building coverage and setbacks are compliant.

B. **COMPATIBILITY WITH EXISTING OR PERMITTED USES IN ABUTTING SITES:**

- Given the nature of the proposed art education studio with limited space, traffic and hours of operation, we would expect it to be compatible with existing and permitted uses in the vicinity.

C. **POTENTIALLY UNFAVORABLE EFFECTS OR IMPACTS ON OTHER EXISTING OR PERMITTED USES ON ABUTTING PROPERTY:**

- We do not expect the proposed use to have a negative affect on adjacent properties.

D. MODIFICATIONS TO THE SITE PLAN WHICH WOULD RESULT IN INCREASED COMPATIBILITY AND WOULD MITIGATE POTENTIALLY UNFAVORABLE IMPACTS:

- Converting the two driveways into a single two-way drive will have a positive impact on the circulation on the property.

E. SAFETY AND CONVENIENCE OF VEHICULAR AND PEDESTRIAN CIRCULATION IN THE VICINITY:

- See Item D above. In addition, a sidewalk is proposed on N. Llano Street.

F. PROTECTION OF PERSONS AND PROPERTY FROM EROSION, FLOOD OR WATER DAMAGE, FIRE, NOISE, GLARE:

- NA.

G. LOCATION OF LIGHTING AND TYPE OF SIGNS; THE RELATION OF SIGNS TO TRAFFIC CONTROL AND ADVERSE EFFECTS OF SIGNS ON ADJACENT PROPERTIES:

- No information has been provided concerning lighting. Any proposed signage shall meet the requirements of the sign ordinance.

H. ADEQUACY AND CONVENIENCE OF OFF STREET PARKING AND LOADING FACILITIES:

- Number of parking spaces provided exceeds the number required by the code.

I. DETERMINATION THAT THE PROPOSED USE IS IN ACCORDANCE WITH THE OBJECTIVES OF THESE ZONING REGULATIONS AND PURPOSES OF THE ZONE IN WHICH THE SITE IS LOCATED:

- As described in the C-1, Neighborhood District, this zone is intended to provide for the establishment of restricted commercial facilities, to serve the conveniences and needs of the immediate neighborhood and must be compatible with the residential character and environment of the neighborhood. We would expect this use to continue to be compatible with the neighborhood.

J. DETERMINATION THAT THE PROPOSED USE WILL COMPLY WITH EACH OF THE APPLICABLE PROVISIONS OF THE ZONING ORDINANCE:

- Affirmative.

K. DETERMINATION THAT THE PROPOSED USE AND SITE DEVELOPMENT, TOGETHER WITH ANY MODIFICATIONS APPLICABLE, THERETO, WILL BE COMPATIBLE WITH EXISTING OR PERMITTED USES IN THE VICINITY:

- The proposed use would seem consistent with the C-1 regulations.

L. DETERMINATION THAT ANY CONDITIONS APPLICABLE TO APPROVAL ARE THE MINIMUM NECESSARY TO MINIMIZE POTENTIALLY UNFAVORABLE IMPACTS ON NEARBY USES AND TO ENSURE COMPATIBILITY OF THE PROPOSED USE WITH EXISTING OR PERMITTED USES IN THE SAME DISTRICT AND THE SURROUNDING AREA:

- We do not anticipate any unfavorable impacts on nearby properties from the proposed use.

M. DETERMINATION THAT THE PROPOSED USE TOGETHER WITH THE CONDITIONS APPLICABLE THERETO, WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, OR WELFARE OR MATERALLY INJURIOUS TO PROPERTIES OR IMPROVEMENTS IN THE VICINITY:

- Affirmative

OPPOSITION/SUPPORT OF REQUEST: To date, we have received no letters in support or opposition to this request.

STAFF RECOMMENDATION: While there are certain conditions on site which are non-compliant, the nature of the proposed use, with limited traffic and hours of operation, compatibility with the surrounding neighborhood, we do not believe the proposed use will be more intensive than previous permitted uses. Therefore, staff recommends approval.

CASE NUMBER _____

DATE _____

APPLICATION FOR CONDITIONAL USE PERMIT

Prior to submittal a pre-application meeting must be held with the Planning and Engineering Depts

APPLICATION IS HEREBY MADE TO THE PLANNING & ZONING COMMISSION AND THE CITY COUNCIL TO GRANT A CONDITIONAL USE PERMIT IN THE ZONING DISTRICT OF THE CITY OF FREDERICKSBURG AS HEREIN SET FORTH:

CONDITIONAL USE PERMIT - $200.00

1. **APPLICANT:** JILL HOLLAND YELLOW DOOR STUDIO
2. **ADDRESS:** 810 N. LLANO
3. **PHONE NUMBER:** 830.456.0422 **FAX NUMBER:** _____
4. **EMAIL ADDRESS:** JILL@JILLHOLLANDART.COM
5. **OWNER (if different from applicant):** _____
6. **ADDRESS:** _____
7. **PHONE NUMBER:** _____ **FAX NUMBER:** _____
8. **EMAIL ADDRESS:** _____
9. **DESCRIPTION OF PROPERTY INVOLVED IN THIS REQUEST:**

   ADDRESS: 810 N. LLANO

   LEGAL DESCRIPTION: BURGDORF'S ADDITION, BLOCK D, LOT 2 PT & 3

   LOT SIZE: .499 AC. **LOT AREA:** 21720 SQFT.
10. **EXISTING ZONING:** C-1 DISTRICT
11. **CONDITIONAL USE PERMIT:** Arts & Crafts USE CLASSIFICATION IN THE C-1 ZONING DISTRICT.
12. **INFORMATION TO BE PROVIDED BY THE APPLICANT:**

A. A statement describing the nature and operating characteristics of the proposed use, including any data pertinent to the findings required for approval of the application. For uses involving public assembly or industrial processing, or uses potentially generating high volumes of vehicular traffic, the Director of Development Services may require specific information relative to the anticipated peak loads and peak use periods, relative to industrial standards, or substantiating the adequacy of proposed parking , loading, and circulation facilities.

THE BUILDING AT 810 N. LLANO WILL BE USED AS A COMMUNITY ARTS EDUCATION CENTER. WE CURRENTLY OFFER BEGINNER PAINTING CLASSES & KIDS ART CAMPS BUT HOPE TO ADD MOR ART CLASSES FOR ALL LEVELS OF ART.

(attach additional sheet if necessary)

B. Seven (7) copies of a site plan (24 x 36 inches) and 1 copy of a reduced site plan (11 x 17 inches) showing preliminary building elevations, preliminary improvement plans, and such additional maps and drawings all sufficiently dimensioned as required to illustrate the following:

1. The date, scale, north point, title, name of owner, and the name of the person preparing the site plan.

2. The location and dimensions of boundary lines, with distances and bearings, easements, and required yards and setbacks, water courses, drainage features and location and size of existing and proposed streets and alleys, and the 100 year flood plain.

3. The location, height, bulk, general appearance ,and intended use of existing and proposed buildings on the site, and the approximate location of existing buildings on abutting sites within 50 feet.

4. The location of existing and proposed site improvements including parking and loading areas, pedestrian and vehicular access, landscaped areas, utility or service areas, fencing and screening, signs and lighting.

5. The location of water courses and drainage features.

6. The number of existing and proposed off-street parking and loading spaces, and a calculation of applicable minimum requirements.

7. For sites with an average slope greater than ten (10%) percent, a plan showing existing and proposed topography and grading and proposed erosion control measures.

8. The relationship of the site and the proposed use to surrounding uses, including pedestrian and vehicular circulation, current use of nearby parcels, and any proposed off-site improvements to be made.

13. **SIGNATURE OF APPLICANT:**_____

NOTE: If the applicant is not the legal owner of the property, signed statement by the owner that the applicant is the authorized agent of the owner of the property, or the signature of the owner below, is required.

SIGNATURE OF OWNER:_____

DATE:_____

FEE PAID:_____

TITLE SEARCH:_____
(Date)

14. **CONSENT OF LIENHOLDER:** Donna F. Croy
(SIGNATURE)

NOTE: If this property is encumbered by lien, consent of the lienholder is required.

15. List of property owners within 200 feet. (provided by City)

16. Return completed applicaiton to: Tammie Loth, City of Fredericksburg, 126 W. Main St., Fredericksburg, Texas 78624.

The Yellow Door Studio is a community arts education center offering art classes to all levels of artists from beginner to advanced, children to adults. See below for a description of our class offering details:

Our most consistent and best attended classes are the Art & Vino classes. These average 4-6 a month and average 14 people per class. We can take up to 23 people in a class but usually don't. These are typically in the evenings usually from 6:00-8:00, all adults.

We hope to add kids after school art classes, no more than 6 kids at a time on Tuesday's and Thursdays. Kids would be dropped off at 4:00 and picked up at 5:30. Times and days may change.

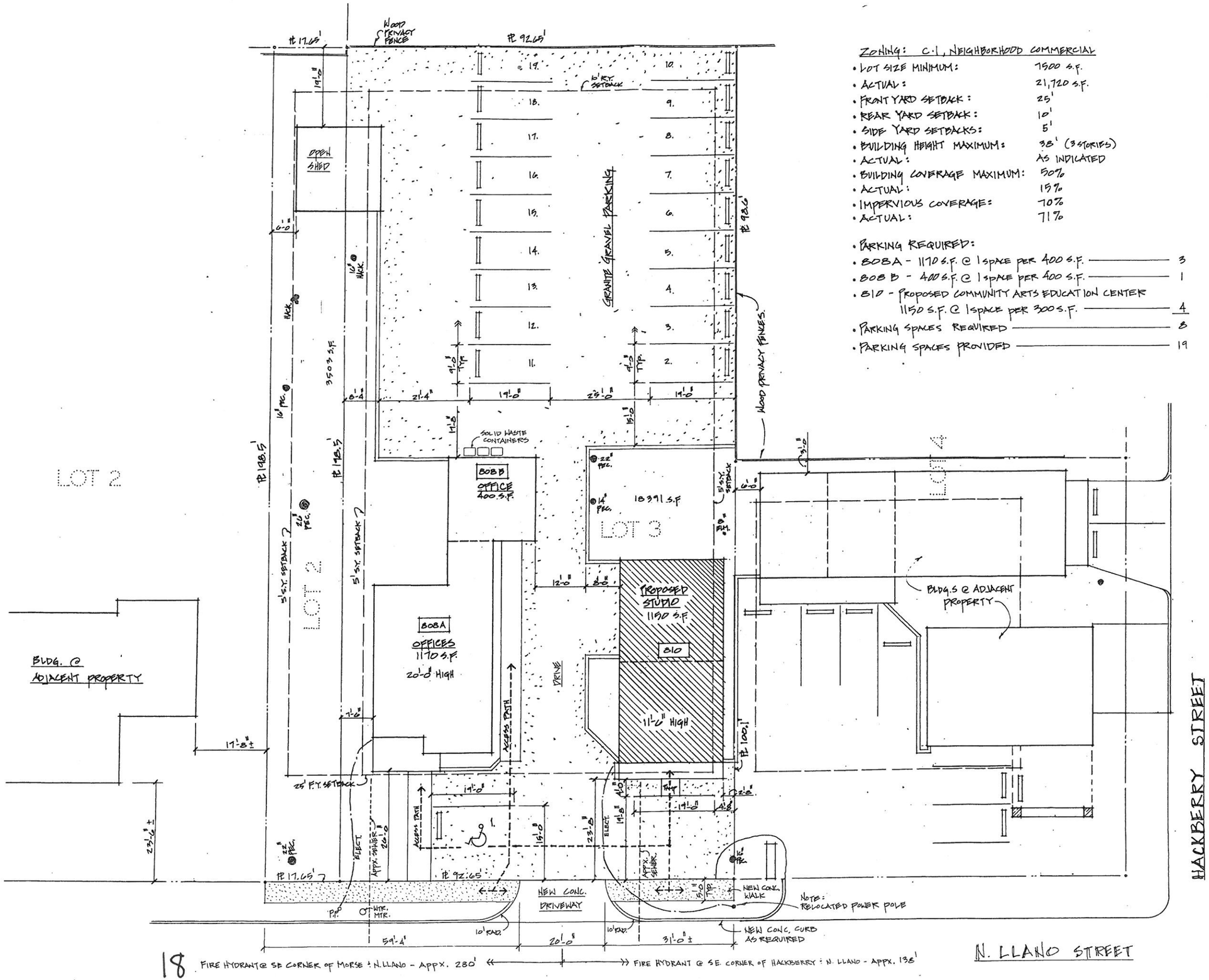
We will offer kids summer art camps. We take 10 kids per camp. Camps are held for a week at a time, Monday-Friday from 9:00-3:00. Kids would be dropped off and picked up. We did 3 camps last summer and would shoot for 6 this summer.

We also hope to add professional artists workshops. These would be held during the regular work day, probably 9:00-4:00 and would be 5-15 adults.

There may be some other offerings that join the roster as the business grows but we would never have more than 23 students in the building at one time.

Please let me know if you need anything else.

Thanks,
Jill
456-0422



ZONING: C-1, NEIGHBORHOOD COMMERCIAL

• LOT SIZE MINIMUM:	7500 S.F.
• ACTUAL:	21,720 S.F.
• FRONT YARD SETBACK:	25'
• REAR YARD SETBACK:	10'
• SIDE YARD SETBACKS:	5'
• BUILDING HEIGHT MAXIMUM:	38' (3 STORIES)
• ACTUAL:	AS INDICATED
• BUILDING COVERAGE MAXIMUM:	50%
• ACTUAL:	15%
• IMPERVIOUS COVERAGE:	70%
• ACTUAL:	71%

• PARKING REQUIRED:

• 808A - 1170 S.F. @ 1 space per 400 S.F.	3
• 808B - 400 S.F. @ 1 space per 400 S.F.	1
• 810 - Proposed Community Arts Education Center 1150 S.F. @ 1 space per 300 S.F.	4
• Parking Spaces Required	8
• Parking Spaces Provided	19

Z-14-11
RECEIVED
OCT 29 2014

Routed 10/28/14
DRC 10/30/14
PZ 11/5/14
City Council 11/17/14

1" = 10'-0"

SITE PLAN

PART OF LOT 2 AND ALL OF LOT 3 IN BLOCK D OF THE BURGDORF ADDITION
808 - 810 NORTH LLANO STREET
FREDERICKSBURG, TEXAS

REVISED 10-24-14

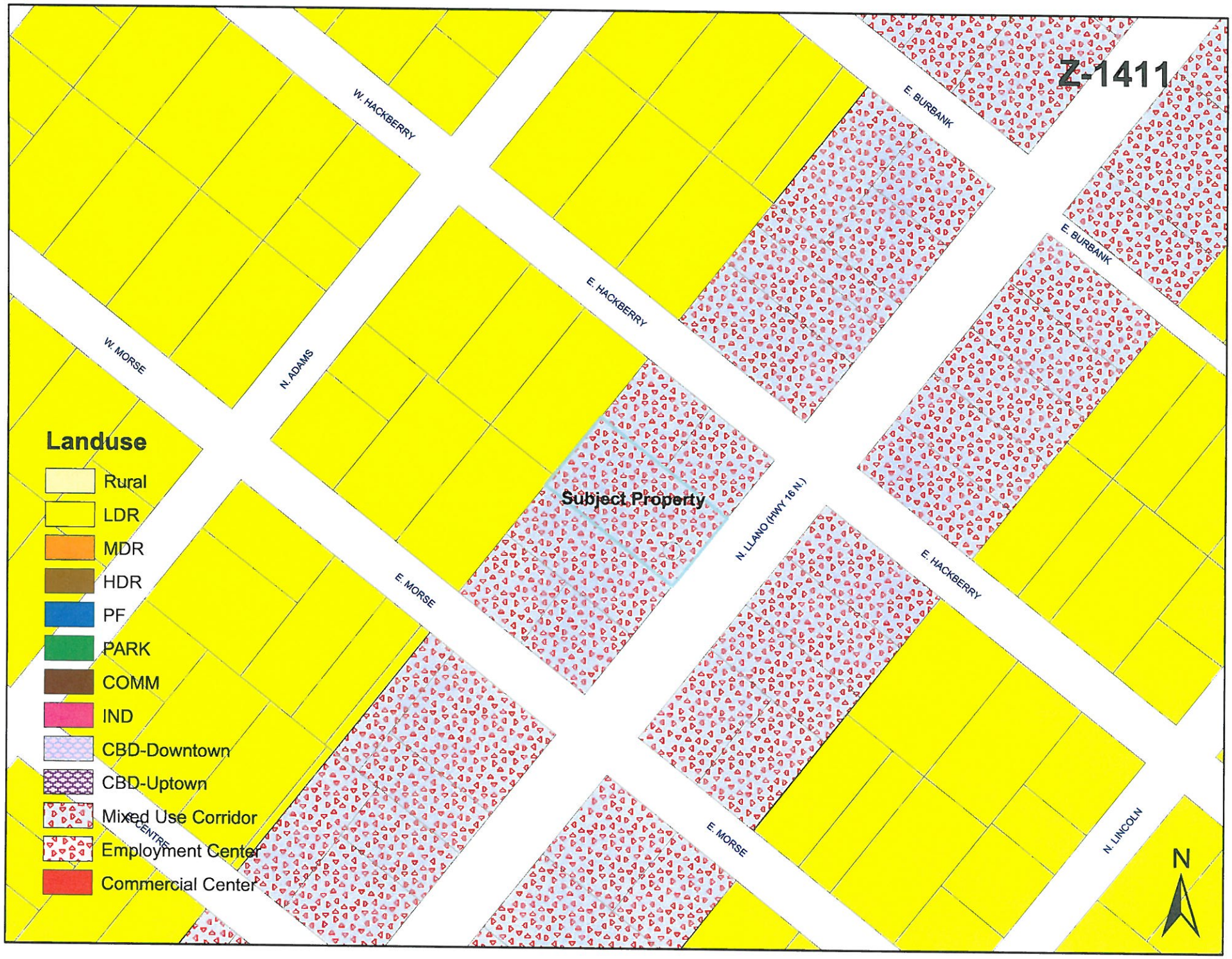
1 OF 1

SITE PLAN: APPLICATION FOR CONDITIONAL USE PERMIT: PERSONAL IMPROVEMENT SERVICES
FOR JILL HOLLAND - YELLOW DOOR STUDIO

10-1-14

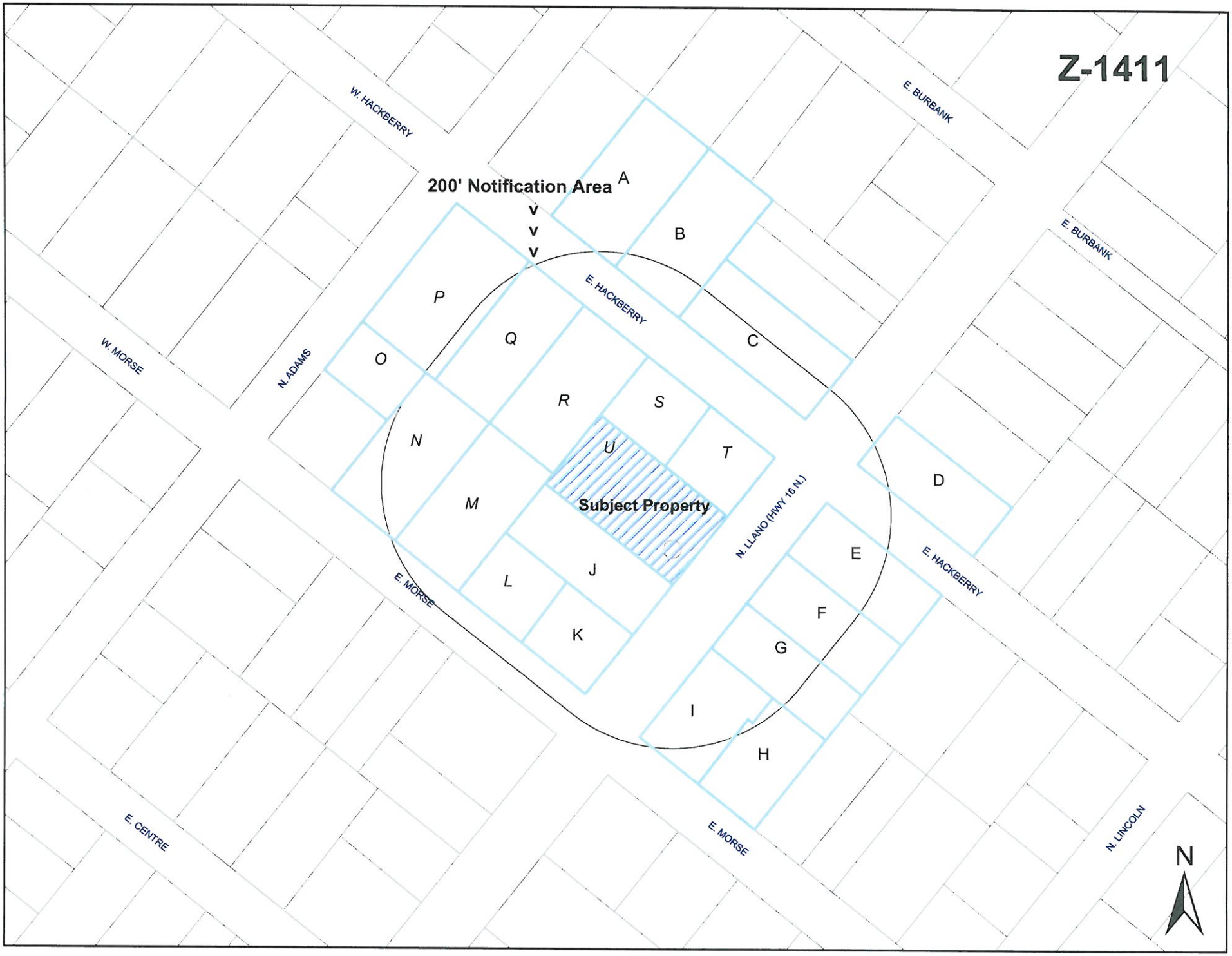
W. CASS PHILLIPS
PLANNING & DESIGN
1000 MAIN, SUITE 100 FREDERICKSBURG, TX 78624
cpdesign@swbell.net
C 830 997 2616 H 830 997 8738


Z-1411
Zoning
C1 - Neighborhood Commercial
C2 - Commercial
CBD - Central Business District
M1 - Light Manufacturing
M2 - Medium Manufacturing
M3 - Industrial Park
OS - Open Space
PF - Public Facilities
PUD - Planned Unit Development
R1 - Single Family Residential
R2 - Mixed Residential
R3 - Multi-Family Residential
R4 - Manufactured Home Residential
R5 - Patio Home Residential
W. HACKBERRY
E. HACKBERRY
E. BURBANK
E. BURBANK
W. MORSE
N. ADAMS
Subject Property
N. LLANO (HWY 16 N.)
E. MORSE
E. HACKBERRY
E. CENTRE
E. MORSE
N. LINCOLN
N


Z-1411
W. HACKBERRY
E. BURBANK
E. BURBANK
E. HACKBERRY
W. MORSE
N. ADAMS
Subject Property
N. LLANO (HWY 16 N.)
E. HACKBERRY
E. MORSE
E. MORSE
N. LINCOLN
CENTRE
N
Landuse
Rural
LDR
MDR
HDR
PF
PARK
COMM
IND
CBD-Downtown
CBD-Uptown
Mixed Use Corridor
Employment Center
Commercial Center

20


Z-1411
E BURBANK
E BURBANK
E HACKBERRY
E HACKBERRY
E HACKBERRY
N LINCOLN AVE (16 N)
E MORSE
E MORSE
W HACKBERRY
W MORSE
E CENTRE
N


Z-1411
200' Notification Area
A
B
C
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F
G
H
I
J
K
L
M
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O
P
Q
R
S
T
U
Subject Property
W. HACKBERRY
E. BURBANK
E. BURBANK
E. HACKBERRY
W. MORSE
N. ADAMS
N. LLANO (HWY 16 N.)
E. HACKBERRY
E. MORSE
E. CENTRE
E. MORSE
N. LINCOLN
N

22

Letter	Owner	
A	Gusie D. & Deborah D. Heiser	108 E. Hackberry
B	Joseph L. & Queda S. Fritz	110 E. Hackberry
C	Sheila E. Tatsch White	902 N. Llano
D	Anthony W. & Kelly Creighton Dicuffa	901 N. Llano
E	James E. & Anne M. Weinheimer	811 N. Llano
F	Diana M. Siefert	809 N. Llano
G	Dennis D. Kusenberger	805 N. Llano
H	Harold K. & Frances R. Couch	204 E. Morse
I	Cynthia Ann Segner	803 N. Llano
J	Jerald W. & Phyllis C. Klett	804 N. Llano
K	Kristin L. Panzica	802 N. Llano
L	Franklin B. & Cindy D. Steele	112 E. Morse
M	Gregory Lee & Kathryn K. Wentworth	108 E. Morse
N	Melvin's Place Inc., etal	106 E. Morse
O	Michael P. & Julie R. Bodiford	803 N. Adams
P	Claude W. & Lisa J. Saunders	101 E. Hackberry
Q	Francis J. & Josephine Weingartner	103 E. Hackberry
R	Timothy T. & Donna W. Lafferty	107 E. Hackberry
S	Steve & Beverly Allen Revocable Trust	109 E. Hackberry
T	Donna F. Cammack Croy	812 N. Llano
U	Jill Holland	810 N. Llano

Z-1411

NOTICE OF PUBLIC HEARING FOR A CONDITIONAL USE PERMIT

HEARING DATE: **NOVEMBER 5, 2014** TIME: **5:30 PM** REQUEST NUMBER: **Z-1411**

The **PLANNING & ZONING COMMISSION** of the City of Fredericksburg will hold a public hearing at the above stated time and date in the conference room of the Law Enforcement Center, 1601 E. Main St., to consider a request for a change in the Land Use Plan and Zoning.

According to City Tax Records, you are the owner of real property within 200' of the proposed change. You are **not** required to attend the meeting, but if you care to attend, you will be given full opportunity to be heard. If you cannot attend the hearing, but wish to comment on the request, please detach the response form below and return it to the City of Fredericksburg, 126 W. Main St., Fredericksburg, TX 78624. All protests must be submitted in writing.

The decision of the PLANNING & ZONING COMMISSION is a recommendation only. Final approval must be by action of the **CITY COUNCIL**. The public hearing by the CITY COUNCIL is scheduled as follows:

HEARING DATE: **NOVEMBER 17, 2014** TIME: **7:00 PM** REQUEST NUMBER: **Z-1411**

For additional information, contact Director of Development Services, Brian Jordan at 830-997-7521.

APPLICANT: Jill Holland Yellow Door Studio

LOCATION: 810 N. Llano

(see accompanying map)

REQUEST: Conditional Use Permit to allow Arts and Crafts in the C-1, Neighborhood Commercial zoning district

(DETACH HERE)

REQUEST NO. Z-1411

As an interested property owner, I (Protest)(Approve) the requested zoning amendment represented by the above file number because:

Signed _____ Date _____

Printed Name _____ Address _____

MEMO

DATE: October 29, 2014

TO: Planning and Zonning Commission

FROM: Brian Jordan, AICP, RLA, Director of Development Services

SUBJECT: Z-1410 Consider amending Section 6.110 and 6.120 of the Zoning Ordinance pertaining to Continuation of a Nonconforming Use and Structure.

Summary:

Recently, we considered two zoning cases for property at the corner of Franklin Street and S. Creek Street, for a change in zoning from R-2 Mixed Residential to C-2 Commercial. The initial case resulted in a change to C-1 Neighborhood Commercial and the latter case resulted in a denial. However, in the discussion with the City Council in the latest hearing, it was suggested that the City consider amending the nonconforming provisions of the Zoning Ordinance to allow a certain percentage of enlargement, expansion, extension or change, without the neccessity of requiring a Conditional Use Permit. Currently, a non-conforming use in a commercial zone is required to obtain a Conditional Use Permit for any changes.

The Planning and Zoning Commission discussed this item at their meeting in October. In summary, there were a couple of members who favored allowing a percentage change without requiring a Conditional Use Permit, but the majority felt that the procedures in place were adequate to allow an owner to apply for a Conditional Use Permit for a change or enlargelment. Those in favor felt that a long standing business with little or no opposition should be given some relief. Those not in favor felt

that allowing a change or modiification would establish a precedent and undermine the current procedures in place.

Recommendation:

Staff recommends that the provisions in place currently with the Conditional Use Permit to allow the expansion of a non-conforming use are appropriate. We recommend keeping the current standards in place.

Background / Analysis:

The concept behind a nonconforming use is that the property will eventually transition to a conforming use and, allowing it to expand is only prolonging this from taking place. We were only able to find one zoning action to allow the expansion of a non-conforming use in the past several years, and no denials.

Sec. 6.110. - Continuance of a Nonconforming Use.

Residential Districts

Enlargement. A non-conforming use shall not be enlarged, expanded, extended or changed.

Conversions. A non-conforming use may be continued as the same classification, or may be changed to a use of a more restricted classification upon approval of a conditional use permit. If it is changed to a use in a more restricted classification or to a conforming use, it cannot be changed back to its original non-conforming use. For purpose of this paragraph, the phrase "same classification" means: uses permitted in the same district; a "more restricted classification" means: use in a district having more restricted use (i.e., C-2 vs. C-1); and provided that:

The new use is similar to or less intensive than that of the old use in terms of noise generated, outdoor storage, customer activity and impact on other conforming uses in the area, and that the new use comply with the parking requirements of this ordinance as applicable to newly established uses.

Termination.

If a non-conforming use or any portion thereof is voluntarily discontinued for a period of 90 days, any future use of such land or portion thereof shall be in conformity with the regulations of the district in which such land or portion thereof is located.

Non-conforming use is terminated upon a change in use other than as provided herein.

Non-conforming use is terminated upon destruction of a structure occupied by a non-conforming use unless it is permitted to be rebuilt as provided herein.

Other Districts

Enlargement. A non-conforming use may be enlarged within the boundary of the lot in which the non-conforming use has legally operated upon approval of a Conditional use Permit (section 5.400). Such enlargement of extension shall be in compliance with all city ordinances, codes, or policies. Existing non-conforming single family residential uses may be enlarged without the necessity of obtaining a Conditional Use Permit.

Conversions. A non-conforming use may be continued as the same classification, or may be changed to a use of a more restricted classification upon approval of a conditional use permit. If it is changed to a use in a more restricted classification or to a conforming use, it cannot be changed back to its original non-conforming use. For purpose of this paragraph, the phrase "same classification" means: uses permitted in the same district; a "more restricted classification" means: use in a district having more restricted use (i.e., C-2 vs. C-1); and provided that:

The new use is similar to or less intensive than that of the old use in terms of noise generated, outdoor storage, customer activity and impact on other conforming uses in the area.

The new use complies with the parking requirements of this ordinance as applicable to newly established uses.

Termination. A nonconforming use is terminated under the following conditions:

Upon a change in use other than as provided herein.

Upon discontinuance, being defined as non-operative or non use for a period of at least 365 successive days. Discontinuance may be, but is not required to be, evidenced by termination of utility service, the failure to maintain regular hours of operation, the utilization of the premises for other purposes, abandonment or by any other reasonable means.

Upon destruction of a structure occupied by a nonconforming use except if it is permitted to be rebuilt as provided herein.

Replacement. If a structure occupied by a nonconforming use is destroyed by fire, the elements or other cause, it may not be rebuilt except to conform to the provisions of this Ordinance. In the case of partial destruction of a nonconforming use not exceeding 75 percent of its tax roll assessed value, reconstruction will be permitted but the size or function of the nonconforming use shall not be expanded.

(Ord. No. 23-007, 5-20-2013)

Sec. 6.120. - Continuance of Nonconforming Structures.

Subject to all limitations herein set forth, any nonconforming structure may be occupied and operated and maintained in a state of good repair, but no nonconforming structure shall be enlarged or extended.

A nonconforming structure in which only permitted uses are operated may be enlarged or extended if the enlargement or extension can be made in compliance with all the provisions of this chapter established for structures in the district in which the nonconforming structure is located. Such enlargement shall also be subject to all other applicable city ordinances.

Termination of nonconforming structures:

Damage to structures. The right to operate and maintain any nonconforming structure shall terminate and shall cease to exist whenever the nonconforming structure is damaged in any manner and from any cause whatsoever and the cost of repairing such damage exceeds 75 percent of the tax roll assessed value of such structure on the date of such damage.

Obsolescence of structure. The right to operate and maintain any nonconforming structure shall terminate and shall cease to exist whenever the nonconforming structure becomes obsolete or substandard under an applicable ordinance of the municipality and the cost of placing such structure in lawful compliance with the applicable ordinance exceeds 75 percent of the tax roll assessed value of such structure on the date that the proper official of the municipality determines that such structure is obsolete or substandard.

Determination of replacement cost. In determining the replacement cost of any nonconforming structure there shall not be included therein the cost of land or any factors other than the nonconforming structure itself.

(Ord. No. 23-007, 5-20-2013)

MEMO

DATE: October 29, 2014

TO: Planning and Zoning Commission

FROM: Brian Jordan, AICP, RLA, Director of Development Services

SUBJECT: Consider an amendment to SP-1405, the Site Plan for Cameron Brooks Office Complex

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Summary:

The Site Plan for the Cameron Brooks Office facility located at 1312 S.H.Highway 16 South was approved July 3, 2013 (attached). Conditions of approval included:

1. **Landscape Plan being approved before issuance of a building permit.**
2. **Site Lighting being shielded and screened from adjoining properties.**
3. **Approval of Construction Plans prior to issuance of a building permit.**
4. **TXDOT approval of the entrance drive and sidewalk prior to issuance of a building permit.**
5. **An easement for off-site parking and cross access be provided prior to issuance of a building permit.**

In February, 2014 there were changes made to the SIte Plan. Staff met with the Chair of the Planning and Zoning Commission and it was determined that we could approve the revised Site Plan administratively, so long as the conditions that were established for the previous plan be carried

forward. The Site Plan (attached) was reviewed by the Development Review Committee (DRC) and approved.

In September, 2014, the owners requested that the condition requiring them to provide a cross access easement to the property to the south be eliminated. They have attached a request along with their reasoning.

Recommendation:

The DRC has reviewed the request to eliminate the cross access easement to the property to the south. Several factors have changed since the Site Plan was approved, including that TXDOT has approved a driveway for this site and the parking that was proposed on the SMPT site has been eliminated. While we continue to believe that cross access is important, it is not necessary as a condition of approval of the Site Plan. However, we do recommend that the access to the adjoining property remain on the plan for possible future drive connection purposes.

APPLICATION FOR SITE PLAN REVIEW

Prior to submittal a pre-application meeting must be held with the Planning and Engineering Depts

APPLICATION IS HEREBY MADE TO THE PLANNING AND ZONING COMMISSION FOR SITE PLAN REVIEW IN THE CITY OF FREDERICKSBURG HEREINAFTER SET FORTH:

SITE PLAN APPLICATION FEE - $200.00

1. **APPLICANT:** Mustard Design Architects for JC ALVAREZ HOLDINGS, LLC
2. **ADDRESS:** 150 E. Main Street, Suite 201 Fredericksburg, TX 78624
3. **APPLICANT TELEPHONE NUMBER:** 830.997.7024
4. **APPLICANT FAX NUMBER:** 830.990.8424
5. **APPLICANT EMAIL ADDRESS:** abray@mustarddesign.net
6. **OWNER (if different from applicant):** JC ALVAREZ HOLDINGS, LLC: Chuck Alvarez
7. **ADDRESS:** 1133 Homestead Drive, Fredericksburg, TX 78624
8. **OWNER TELEPHONE NUMBER:** 830.997.7595
9. **OWNER EMAIL ADDRESS:** Chuck Alvarez, calvarez@cameron-brooks.com
10. **DESCRIPTION OF PROPERTY INVOLVED IN THIS REQUEST:**

ADDRESS: 1312 State HWY 16 South, Fredericksburg, TX 78624

LEGAL DESCRIPTION: BEING ALL THAT CERTAIN LOT, TRACT, OR PARCEL OF LAND SITUATED IN THE CITY OF FREDERICKSBURG, GILLESPIE COUNTY, TEXAS, BEING ALL OF LOT NO. 2AR OF A RESUBDIVISION OF LOT NO. 2 OF THE MEDICAL CENTER SUBDIVISION, AS SAID LOT IS SHOWN, DESIGNATED, AND DELINIATED ON THE MAP OR PLAT OF SAID RESUBDIVISION RECORDED IN VOL.3, PG. 61, PLAT RECORDS OF GILLESPIE COUNTY TEXAS

LOT SIZE: 2.75 acres **LOT AREA:** 119,922 SQFT

PROPOSED USE: Business Office

USE CLASSIFICATION: Business

11. **EXISTING ZONING:** C-2 Commercial DISTRICT

12. **INFORMATION TO BE PROVIDED BY THE APPLICANT**: Seven (7) copies of a site plan at least 24 x 36 inches, and 1 copy of a reduced 11 x 17 site plan, drawn to scale and sufficiently dimensioned as necessary to show the following:

A. The date, scale, north point, title, name of owner, and the name of the person preparing the site plan.

B. The location and dimensions of boundary lines, easements, and required yards and setbacks of all existing and proposed buildings and land improvements.

C. The location, height, and intended use of existing and proposed buildings on the site, and the approximate location of existing buildings on abutting site within 50 feet.

D. The location of existing and proposed improvements including parking and loading areas, pedestrian and vehicular access, utility or service areas, fencing and screening, and lighting.

E. The center line of existing water courses, drainage features and location and size of existing and proposed streets and alleys, and the 100-year flood plain.

F. The number of existing and proposed off-street parking and loading spaces, and a calculation of applicable minimum requirements.

G. For sites with an average slope greater than 10%, a plan showing existing and proposed topography and grading and proposed erosion control measures.

H. The location and size of proposed signs, if known.

I. The location and size of the existing and proposed landscaped areas.

J. A calculation of the impervious area (this includes buildings, paved areas, etc. other than natural ground or landscaped areas) of the site.

13. **SIGNATURE OF APPLICANT:** AEB

PRINTED NAME OF ABOVE: Andrew E. Bray

NOTE: If the applicant is not the legal owner of the property, a signed statement by the owner that the applicant is the authorized agent of the owner of the property, or the signature of the owner, is required:

14. **SIGNATURE OF OWNER:** _____ SIGN HERE

PRINTED NAME OF ABOVE: Chuck Alvarez

DATE: 09.15.14

TITLE SEARCH: previously submitted, on file at the city
Date

15. **CONSENT OF LIEN HOLDER:** _____
Signature

PRINTED NAME OF ABOVE: _____

NOTE: If this property is encumbered by lien, consent of the lien holder ***is required.***

16. **RETURN COMPLETED APPLICATION TO:** Tammie Loth, City of Fredericksburg, 126 West Main St., Fredericksburg, Texas 78624.

mustard DESIGN architects

Monday, September 15, 2014

Re: Revised Site Plan for Cameron Brooks Office
1312 HWY 16 South
Fredericksburg, TX 78624

We submit a revised site plan for the Cameron-Brooks Office to propose the elimination of the access easement on the south property line only. We are requesting this easement be eliminated for the following reasons:

There is an increased liability for the property owner. Currently there is not an agreement with the adjacent property owner to allow for access upon their property.

Cameron-Brooks has a drive permit from TxDOT allowing for a separate drive directly off Highway 16 South. This drive is currently constructed and operational.

Due to current development on the property the location is inconvenient to allow for cross access through each property.

The property is 2.75 acres and is zoned C-2 Commercial, it has an existing 60'-0" wide drainage easement on the west property line that shall remain.

150 E. Main St., Suite 201 Fredericksburg, TX 78624 t. 830.997.7024 f.830-990-8424 www.mustarddesign.net

SITE PLAN KEY NOTES

01 CONCRETE CURB, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
02 CONCRETE CURB RAMP, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
03 CONCRETE ENTRY DRIVE, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
04 CONCRETE PAVING/FIRELANE, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
05 CONCRETE SIDEWALK, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
06 NOT USED
07 EXISTING FIRE HYDRANT TO REMAIN
08 TRASH ENCLOSURE, REFER TO A-002
09 ILLUMINATED GROUND SIGN, REFER TO A-002
10 TREE LIGHTING: FIXTURE LOCATED IN TREE REFER TO MEP TO ADDITIONAL REQUIREMENTS
11 FUTURE PARKING, N.I.C.
12 LANDSCAPE AREA, REFER TO LANDSCAPE PLAN FOR ADDITIONAL REQUIREMENTS
13 EXISTING TREE(S) TO BE REMOVED, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
14 COVERED PARKING AREA, REFER TO A-002
15 CONCRETE RIBBON CURB
16 NEW WATER LINE TO BUILDING, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
17 NEW WATER METER, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
18 NEW IRRIGATION METER, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
19 NEW SANITARY SEWER LINE, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
20 PROPOSED TRANSFORMER LOCATION
21 ACCESSIBLE PATH STRIPING, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
22 DRAINAGE CHANNEL, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
23 PARKING STRIPE, PAVESTONE, ECO-PRIORA PERMEABLE CONCRETE PAVERS, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
24 EXISTING UTILITY POLE TO REMAIN
25 NOT USED
26 DECOMPOSED GRANITE WALKPATH WITH STEEL EDGING, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS
27 TREE LIGHTING: FIXTURE IS GOUND MOUNTED AT TRUNK, REFER TO MEP FOR ADDITIONAL REQUIREMENTS

OWNER INFORMATION:

JC ALVAREZ HOLDINGS, LLC
1133 HOMESTEAD DRIVE
FREDERICKSBURG, TX 78624

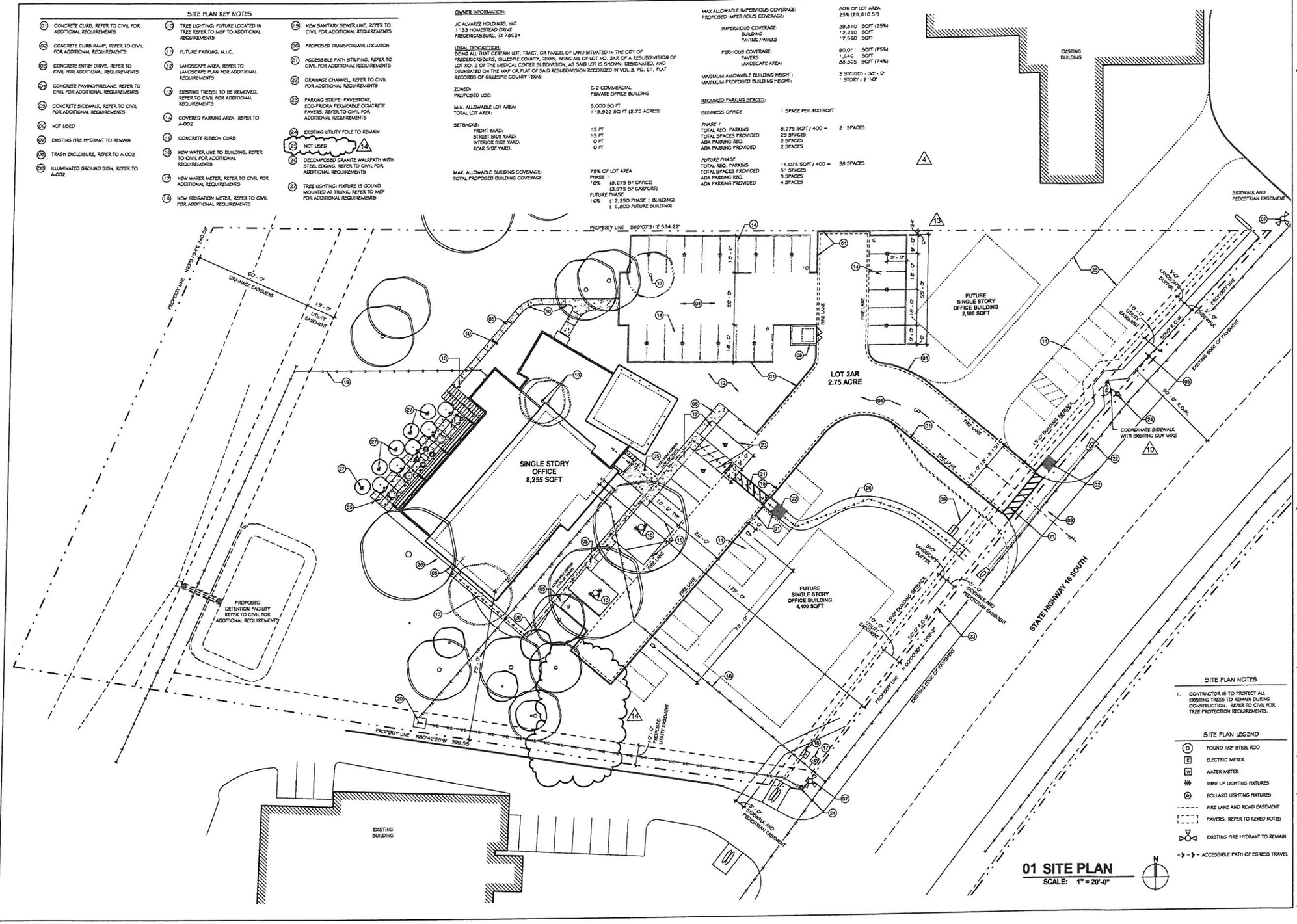
LEGAL DESCRIPTION:
BEING ALL THAT CERTAIN LOT, TRACT, OR PARCEL OF LAND SITUATED IN THE CITY OF FREDERICKSBURG, GILLESPIE COUNTY, TEXAS, BEING ALL OF LOT NO. 2AR OF A RESUBDIVISION OF LOT NO. 2 OF THE MEDICAL CENTER SUBDIVISION, AS SAID LOT IS SHOWN, DESIGNATED, AND DELINEATED ON THE MAP OR PLAT OF SAID RESUBDIVISION RECORDED IN VOL.3, PG. 61, PLAT RECORDS OF GILLESPIE COUNTY TEXAS

ZONED:	C-2 COMMERCIAL
PROPOSED USE:	PRIVATE OFFICE BUILDING
MIN. ALLOWABLE LOT AREA:	5,000 SQ FT
TOTAL LOT AREA:	119,922 SQ FT (2.75 ACRES)
SETBACKS:	
FRONT YARD:	15 FT
STREET SIDE YARD:	15 FT
INTERIOR SIDE YARD:	0 FT
REAR SIDE YARD:	0 FT
MAX. ALLOWABLE BUILDING COVERAGE:	75% OF LOT AREA
TOTAL PROPOSED BUILDING COVERAGE:	PHASE 1
	10% (8,275 SF OFFICE)
	(3,975 SF CARPORT)
	FUTURE PHASE
	16% (12,250 PHASE 1 BUILDING)
	(6,000 FUTURE BUILDING)

MAX ALLOWABLE IMPERVIOUS COVERAGE:	60% OF LOT AREA
PROPOSED IMPERVIOUS COVERAGE:	25% (29,810 SF)
IMPERVIOUS COVERAGE:	29,810 SQFT (25%)
BUILDING	12,250 SQFT
PARKING / WALKS	17,560 SQFT
PERVIOUS COVERAGE:	90,012 SQFT (75%)
PAVERS	1,646 SQFT
LANDSCAPE AREA:	88,365 SQFT (74%)
MAXIMUM ALLOWABLE BUILDING HEIGHT:	3 STORIES - 36' - 0"
MAXIMUM PROPOSED BUILDING HEIGHT:	1 STORY - 21'-0"

REQUIRED PARKING SPACES:

BUSINESS OFFICE	1 SPACE PER 400 SQFT	
PHASE 1		
TOTAL REQ. PARKING	8,275 SQFT / 400 =	21 SPACES
TOTAL SPACES PROVIDED	29 SPACES	
ADA PARKING REQ.	2 SPACES	
ADA PARKING PROVIDED	2 SPACES	
FUTURE PHASE		
TOTAL REQ. PARKING	15,075 SQFT / 400 =	38 SPACES
TOTAL SPACES PROVIDED	51 SPACES	
ADA PARKING REQ.	3 SPACES	
ADA PARKING PROVIDED	4 SPACES	



01 SITE PLAN
SCALE: 1" = 20'-0"

SITE PLAN NOTES

1. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN DURING CONSTRUCTION. REFER TO CIVIL FOR TREE PROTECTION REQUIREMENTS.

SITE PLAN LEGEND

- FOUND 1/2" STEEL ROD
- ELECTRIC METER
- WATER METER
- TREE UP LIGHTING FIXTURES
- BOLLARD LIGHTING FIXTURES
- FIRE LANE AND ROAD EASEMENT
- PAVERS, REFER TO KEYED NOTES
- EXISTING FIRE HYDRANT TO REMAIN
- ACCESSIBLE PATH OF EGRESS TRAVEL

mustard DESIGN
150 East Main Street, Suite 201
Fredericksburg, Texas 78624
830.997.7024

RECEIVED
SEP 15 2014

A NEW OFFICE DEVELOPMENT FOR
CAMERON-BROOKS
1312 HWY 16 SOUTH
FREDERICKSBURG, TX 78624

REVISIONS

NO.	DATE
1	05.08.14
19	08.29.14
13	09.09.14
14	09.15.14

REGISTERED ARCHITECT AEB STATE OF TEXAS 05.08.14

SITE PLAN

Drawn By:	AEB / WLK
Checked By:	AEB
Approved By:	AEB
Project No.	1327
Original Issue Date:	04.01.14

A-001

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34

SITE PLAN KEY NOTES

01 CONCRETE CURB, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

02 CONCRETE CURB RAMP, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

03 CONCRETE ENTRY DRIVE, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

04 CONCRETE PAVING/FIRELANE, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

05 CONCRETE SIDEWALK, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

06 PAVESTONE, ECO-PRIORA PERMEABLE CONCRETE PAVERS, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

07 EXISTING FIRE HYDRANT TO REMAIN

08 TRASH ENCLOSURE, REFER TO A-002

09 ILLUMINATED GROUND SIGN, REFER TO A-002

10 SITE LIGHTING, REFER TO MEP TO ADDITIONAL REQUIREMENTS

11 FUTURE PARKING, N.I.C.

12 LANDSCAPE AREA, REFER TO LANDSCAPE PLAN FOR ADDITIONAL REQUIREMENTS

13 EXISTING TREE(S) TO BE REMOVED, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

14 COVERED PARKING AREA, REFER TO A-002

15 CONCRETE RIBBON CURB

16 NEW WATER LINE TO BUILDING, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

17 NEW WATER METER, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

18 NEW IRRIGATION METER, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

19 NEW SANITARY SEWER LINE, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

20 PROPOSED TRANSFORMER LOCATION

21 ACCESSIBLE PATH STRIPING, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

22 DRAINAGE CHANNEL, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

23 PARKING STRIPE: PAVESTONE, ECO-PRIORA PERMEABLE CONCRETE PAVERS, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

24 EXISTING UTILITY POLE TO REMAIN

25 FUTURE ACCESS DRIVE, N.I.C.

26 DECOMPOSED GRANITE WALKPATH, REFER TO CIVIL FOR ADDITIONAL REQUIREMENTS

OWNER INFORMATION:

JC ALVAREZ HOLDINGS, LLC
1133 HOMESTEAD DRIVE
FREDERICKSBURG, TX 78624

LEGAL DESCRIPTION:
BEING ALL THAT CERTAIN LOT, TRACT, OR PARCEL OF LAND SITUATED IN THE CITY OF FREDERICKSBURG, GILLESPIE COUNTY, TEXAS, BEING ALL OF LOT NO. 2AR OF A RESUBDIVISION OF LOT NO. 2 OF THE MEDICAL CENTER SUBDIVISION, AS SAID LOT IS SHOWN, DESIGNATED, AND DELINATED ON THE MAP OR PLAT OF SAID RESUBDIVISION RECORDED IN VOL.3, PG. 61, PLAT RECORDS OF GILLESPIE COUNTY TEXAS

ZONED:	C-2 COMMERCIAL
PROPOSED USE:	PRIVATE OFFICE BUILDING
MIN. ALLOWABLE LOT AREA:	5,000 SQ FT
TOTAL LOT AREA:	119,922 SQ FT (2.75 ACRES)
SETBACKS:	
FRONT YARD:	15 FT
STREET SIDE YARD:	15 FT
INTERIOR SIDE YARD:	0 FT
REAR SIDE YARD:	0 FT
MAX. ALLOWABLE BUILDING COVERAGE:	75% OF LOT AREA
TOTAL PROPOSED BUILDING COVERAGE:	PHASE I 10% (8,275 SF OFFICE) (3,975 SF CARPORT) FUTURE PHASE 16% (12,250 PHASE I BUILDING) (6,800 FUTURE BUILDING)

MAX ALLOWABLE IMPERVIOUS COVERAGE:		80% OF LOT AREA
PROPOSED IMPERVIOUS COVERAGE:		25% (29,810 SF)
IMPERVIOUS COVERAGE:		29,810 SQFT (25%)
BUILDING		12,250 SQFT
PAVING / WALKS		17,560 SQFT
PERVIOUS COVERAGE:		90,011 SQFT (75%)
PAVERS	1,246 SQFT	
LANDSCAPE AREA:		88,765 SQFT (74%)
MAXIMUM ALLOWABLE BUILDING HEIGHT:		3 STORIES - 38' - 0"
MAXIMUM PROPOSED BUILDING HEIGHT:		1 STORY - 21'-0"

REQUIRED PARKING SPACES:

BUSINESS OFFICE	1 SPACE PER 400 SQFT	
PHASE I		
TOTAL REQ. PARKING	8,275 SQFT / 400 =	21 SPACES
TOTAL SPACES PROVIDED		34 SPACES
ADA PARKING REQ.		2 SPACES
ADA PARKING PROVIDED		2 SPACES
FUTURE PHASE		
TOTAL REQ. PARKING	15,075 SQFT / 400 =	38 SPACES
TOTAL SPACES PROVIDED		51 SPACES
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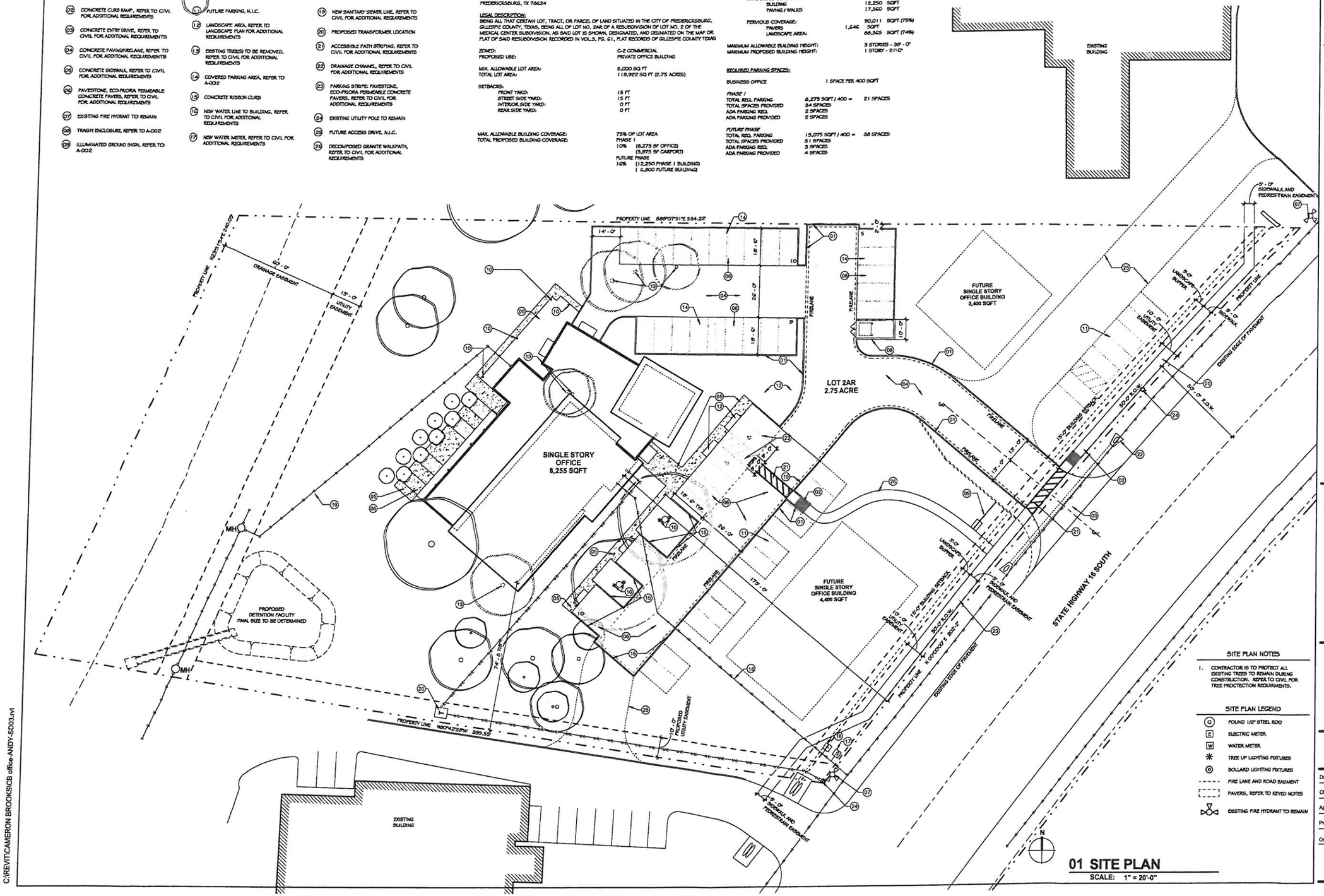
ADA PARKING PROVIDED		4 SPACES



SITE PLAN NOTES

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SITE PLAN LEGEND

- FOUND 1/2" STEEL ROD
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- BOLLARD LIGHTING FIXTURES
- FIRE LANE AND ROAD EASEMENT
- PAVERS, REFER TO KEYED NOTES
- EXISTING FIRE HYDRANT TO REMAIN

01 SITE PLAN

SCALE: 1" = 20'-0"

mustard DESIGN
150 East Main Street, Suite 201
Fredericksburg, Texas 78624
830.997.7024

RECEIVED
MAR 1 1 2014

A NEW OFFICE DEVELOPMENT FOR
CAMERON-BROOKS
1312 HWY 16 SOUTH
FREDERICKSBURG, TX 78624

REVISIONS

NO.	DATE

PRELIMINARY

THESE DRAWINGS ARE FOR INTERM REVIEW AND NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

ANDREW BRAY
18754
03.10.14

SITE PLAN

Drawn By:	AEB / WLK
Checked By:	AEB
Approved By:	AEB
Project No.	1327
Original Issue Date:	03.10.14

A-001

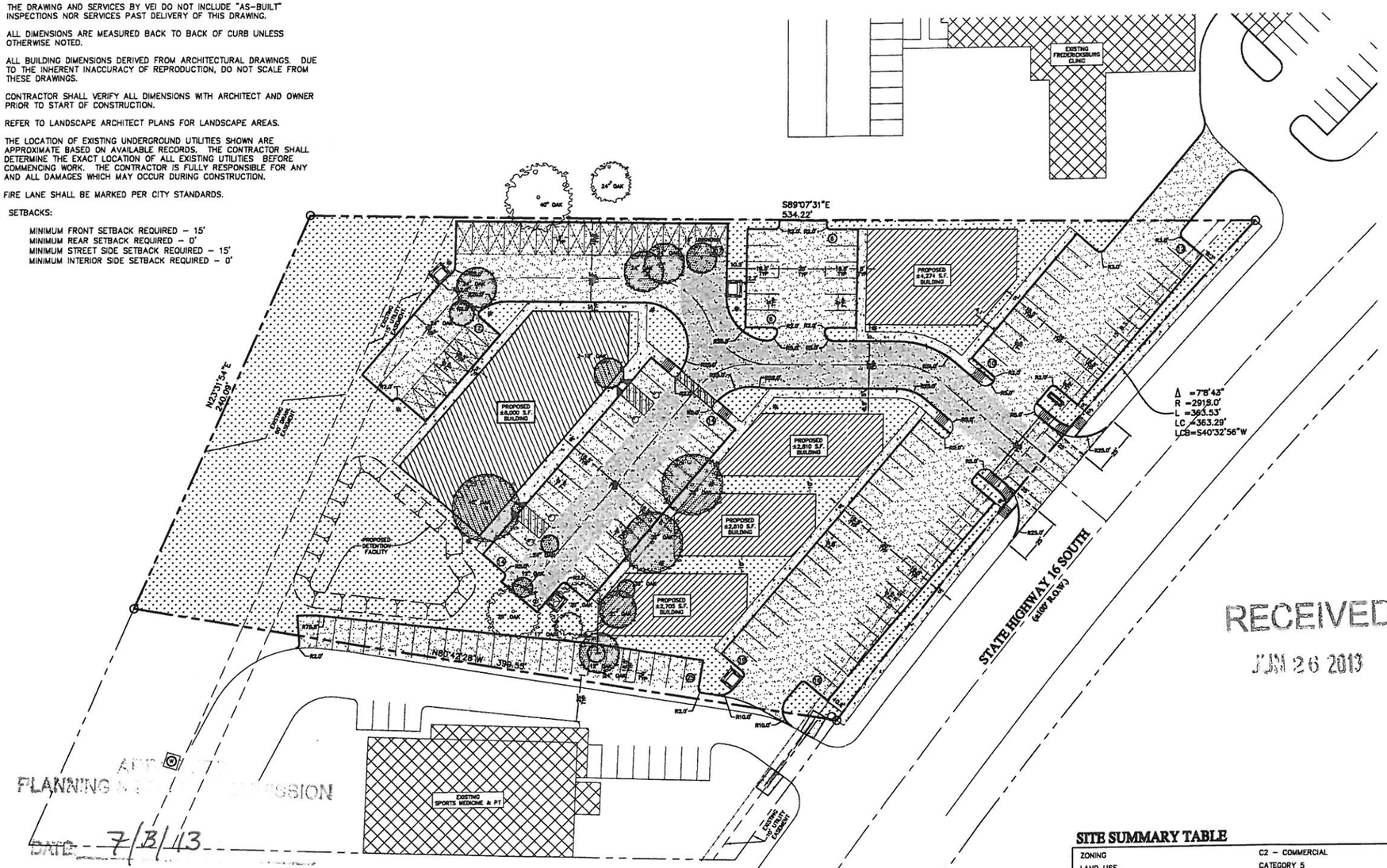
C:\REVIT\CAMERON BROOKS\CB office-ANDY-SD03.rvt

35

NOTES:

1. THIS DRAWING AND SERVICES BY VEI DO NOT INCLUDE SUBMISSION TO ARCHITECTURAL BARRIERS FOR ADA REVIEW. REVIEW, IF REQUIRED, IS BY OTHERS.
2. SIDEWALK FROM HANDICAP PARKING AREA TO BUILDING ENTRANCES MUST COMPLY WITH ALL ADA GUIDELINES.
3. THE DRAWING AND SERVICES BY VEI DO NOT INCLUDE "AS-BUILT" INSPECTIONS NOR SERVICES PAST DELIVERY OF THIS DRAWING.
4. ALL DIMENSIONS ARE MEASURED BACK TO BACK OF CURB UNLESS OTHERWISE NOTED.
5. ALL BUILDING DIMENSIONS DERIVED FROM ARCHITECTURAL DRAWINGS. DUE TO THE INHERENT INACCURACY OF REPRODUCTION, DO NOT SCALE FROM THESE DRAWINGS.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH ARCHITECT AND OWNER PRIOR TO START OF CONSTRUCTION.
7. REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPE AREAS.
8. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE BASED ON AVAILABLE RECORDS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DURING CONSTRUCTION.
9. FIRE LANE SHALL BE MARKED PER CITY STANDARDS.
10. SETBACKS:

    MINIMUM FRONT SETBACK REQUIRED – 15'
    MINIMUM REAR SETBACK REQUIRED – 0'
    MINIMUM STREET SIDE SETBACK REQUIRED – 15'
    MINIMUM INTERIOR SIDE SETBACK REQUIRED – 0'



LEGEND

EXISTING

- EXISTING STRUCTURES
- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EXISTING EASEMENT
- BUILDING SETBACK LINE
- EXISTING CONCRETE CURB
- IRON ROD FOUND
- IRON ROD SET
- PROPERTY CORNER

PROPOSED

- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVEMENT STRIPING
- PROPOSED LANDSCAPE AREAS
- PROPOSED ASPHALT
- PROPOSED FIRE LANE
- PROPOSED CONCRETE CURB
- PROPOSED NUMBER OF PARKING SPACES
- PROPOSED HANDICAP SPACE
- PROPOSED COVERED PARKING SPACES
- PROPOSED DUMPSTER
- PROPOSED EXTERIOR LIGHT
- PROPOSED SIGN
- VISIBILITY TRIANGLE
- EXISTING TREES TO BE REMOVED
- EXISTING CAPPED WELL

RECEIVED
JUN 26 2013

APPROVED
PLANNING & ZONING COMMISSION
DATE 7/3/13

1) Landscape plan be approved by staff before issuance of a building permit.
2) Site lighting being shielded and screened from adjoining properties.
3) Approval of Construction Plans prior to issuance of a Building Permit.
4) TXDOT approval of the entrance drive and sidewalk prior to issuance of a building permit.
5) An easement for off-site parking and cross access be provided prior to issuance of a building permit.

SITE SUMMARY TABLE

ZONING	C2 – COMMERCIAL
LAND USE	CATEGORY 5
LOT AREA	119,922 sq. ft. / 2.75 Ac.
TOTAL PROPOSED BUILDING AREA	20,399 sq. ft. / 0.47 Ac.
PARKING SPACES REQUIRED	68
PARKING SPACES PROVIDED	121
HANDICAP PARKING SPACES REQUIRED	3 (INCLUDES 1 VAN)
HANDICAP PARKING SPACES PROVIDED	4
PERVIOUS AREA	42,662 sq. ft. / 0.98 Ac.
IMPERVIOUS AREA	77,260 sq. ft. / 1.77 Ac.
ALLOWABLE IMPERVIOUS PERCENTAGE	80%
PROPOSED IMPERVIOUS PERCENTAGE	64%
BUILDING COVERAGE ALLOWED	75%
BUILDING COVERAGE PROVIDED	17%

A
SITE PLAN
FOR

PROFESSIONAL OFFICE CENTER

BEING ALL THAT CERTAIN LOT, TRACT, OR PARCEL OF LAND SITUATED IN THE CITY OF FREDERICKSBURG, GILLESPIE COUNTY, TEXAS, BEING ALL OF LOT NO. 2AR, OF A RESUBDIVISION OF LOT NO. 2 OF THE MEDICAL CENTER SUBDIVISION, AS SAID LOT IS SHOWN, DESIGNATED, AND DELINIATED ON THE MAP OR PLAT OF SAID RESUBDIVISION RECORDED IN VOL. 3, PG. 61, PLAT RECORDS OR GILLESPIE COUNTY, TEXAS

CAMERON-BROOKS, INC — **OWNER**
CONTACT: CHUCK ALVAREZ
376 BUCKEYE RD.
FREDERICKSBURG, TX 78624
(830) 997-7595
FAX: (830) 997-9361

VEI CONSULTING ENGINEERS — **ENGINEER**
CONTACT: KEVIN W. SPRAGGINS
507-D E. HIGHWAY ST.
FREDERICKSBURG, TX 78624
(830) 997-4744
FAX: (830) 997-6967
Texas Registration # F-185

FILE NO: 13019

DATE: 06/25/13

SHEET: SP (1 OF 1)

SP-1405
N
FIRST OAK RD
GREEN MEADOWS BLVD
GREEN MEADOWS LN
GREEN CT
PYKA RD
FRIENDSHIP LANE
HWY 18 SOUTH
SHANNON DR (FVT)
WINDMILL OAKS DR (FVT)

MEMO

DATE: October 29, 2014

TO: Planning and Zoning Commission

FROM: Brian Jordan, AICP, RLA, Director of Development Services

SUBJECT: Discuss Design Standards and Guidelines for Entry Corridors from the proposed Comprehensive Plan Issues Update

---

Summary:

Design Workshop presented the draft Comprehensive Plan Issues Uptate document to the City Council and Planning and Zoning Commission on July 21, 2014. There was significant discussion and a number of concerns raised at this meeting. It was decided that the process for consideration would be slowed down, giving time for additional community input and additional workshops for discussion. The initial worksession which included the Council, Planning and Zoning Commission and the Historic Review Board was held on September 8, 2014. The primary focus of this meeting was to discuss the Gateways Plan and the Design Standards and Guidelines for Entry Corridors. The second meeting of this group was held on September 22, 2014, where the primary focus was on the Sidewalk and Trails Plan.

It was decided at this time by the City Council that they would like for the Planning and Zoning Commission and Historic Review Board to have further review of the Design Standards and Guidelines for Entry Corridors, and come up with a recommendation on whether to include all or a portion of the elements suggested.

The City of Fredericksburg

126 W. Main St. • Fredericksburg, Texas 78624-3708 • (830) 997-7521 • Fax (830) 997-1861

Recommendation:

Discuss each of the 14 Design Standards and Guidelines and determine whether all or a portion of these standards and guidelines should be applied to development within the proposed gateways. These standards include architectural style, architectural materials, architectural color, architectural features, massing and scale, signage, building height, setbacks and frontage, landscaping, lighting, service areas, parking and access, drainage and stormwater, and streetscape.

We will continue the discussion from the last meeting where we were able to get through the first 7 items. We will also review what was discussed on the first 7 items. Please bring your draft of the Comprehensive Plan Issues Update with you to the meeting.

Background / Analysis:

The current Comprehensive Plan was updated in 2006. For the most part, the plan has served the community well and there have been a number of items accomplished. It was determined at a Council Retreat in June, 2013, that the city would do a partial update rather than a complete update. The issues that were identified as not being accomplished from the 2006 Plan and being the highest priority were the Sidewalk and Trails Plan, Gateways Plan and Design Standards and Guidelines for Entry Corridors.

Based on the two worksessions that were held recently, the Sidewalk and Trails Plan as well as the Gateways Plan has generally been agreed upon. It is the application of the Design Standards and Guidelines that the Council felt needed additional consideration.

1. ARCHITECTURAL STYLE

Intent

Architectural style is the overall character or design of a building that makes it identifiable. The style is typically determined by the period when a building was built, and the culture that built it. The architecture in the Historic District can be defined as eclectic, with multiple techniques and styles throughout the area.

Historically, the settlers to the hills of central Texas brought their carpentry and stone mason skills to their buildings. The locally available white limestone and later brown sandstone were used with the local cedar to construct the well-crafted buildings throughout the region. The more rustic simple nature of Texas Hill Country style is also due to the lean times when the area was being settled, resulting in a simple style. The Hill Country style has a modern elegance because of its simplicity, materials and craftsmanship in construction.

The intent of the Architectural Style Standards are to:

- Create a uniform and cohesive corridor of development;
- Preserve the City's historic and cultural resources, so that they contribute to the special character and quality of Fredericksburg;
- Protect historic resources; and
- Encourage adaptive reuse, rehabilitation, and retrofitting of historic buildings in which the original use is no longer feasible.

Applicability

1.0 – Architectural Styles Design Standards apply to all redevelopment in the entry corridors.

Standards

1.1 – Adhere to the Historic District Guidelines when rehabilitating historic buildings.

1.2 – If the building is not a Pioneer, Gothic, Texas Regional, Commercial, Italianate, Bungalow, or Folk Victorian style, then it must conform to the design principles of one of these styles.

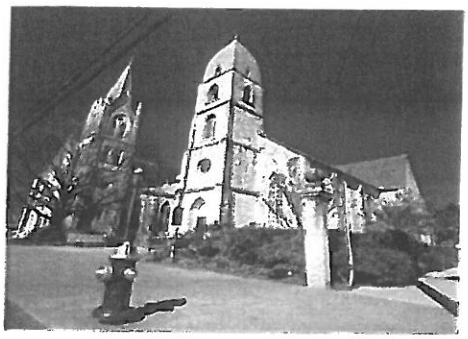
Guidelines

1.3 – The architectural style of the entry corridor should be reflective of the Texas Hill Country aesthetic.

1.4 – New designs should be compatible with the design traditions of the established neighborhoods and regional Texas Hill Country aesthetic. It is not the intent of these guidelines to require that new buildings copy older building styles. Therefore, use traditional building forms and broader similarities of design in order to be compatible with existing buildings in the area that reflect the traditional context.

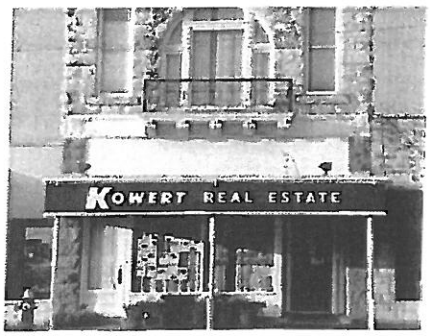
1.5 – The use of standardized "corporate" architectural designs associated with chain or franchise buildings (prevalent with restaurants, service stations and retail stores) is strongly discouraged and alternative designs consistent with this design manual may be required.

- **Pioneer** - Split logs, rock facades, wide chinking, limestone additions, Sunday houses



- **Gothic Revival** - Steeply pitched roofs, arches, towers

- **Texas Regional (Not in Historic Guidelines)** - sophisticated, modern, local materials, regional design techniques, metal brackets with awnings



- **Commercial** - One to three story, three bay façade, recessed entrance, transom windows, decorative cornice

- **Italianate** - wide overhanging eaves, low pitched roof, grouped supports

- **Bungalow** - decorative beams, partial width, deep porches, exposed roof rafters, gabled roofs

- **Folk Victorian** - symmetrical façade, spindle work on supports and railings, one story

2. ARCHITECTURAL MATERIALS

Intent

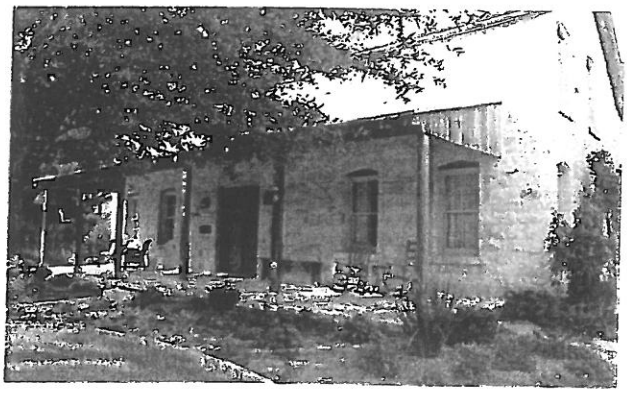
The materials used in construction are a primary element in the appearance of the building. Much of the newer construction along the entry corridors utilizes modern materials, including metal facades, tilt wall concrete, etc. These materials allow for more efficient and cost effective construction; however, they do not contribute to the overall character and appearance. Design guidelines for materials will address this to ensure new construction utilizes appropriate materials to enhance entryway appearance.

The intent of the Architectural Materials Standards are to:

- Adhere to the Historic District Guidelines when rehabilitating historic buildings;
- Ensure materials are fitting with the Texas Hill Country style prevalent in Fredericksburg;
- Utilize materials that have minimum environmental impacts (glare, SRI, excessive heat, etc.);
- Use materials that contribute to the visual interest of the structures; and
- Use efficient and cost effective construction.

Applicability

2.0 – Architectural Materials Design Standards apply to all redevelopment in the entry corridors.



Standards

2.1 – Buildings shall employ authentic, textured materials, compatible with the traditional Hill Country aesthetic. Highly reflective materials are unacceptable, because of their tendency to create uncomfortable glare conditions.

2.2 – Use cedar, limestone and brown sandstone.

2.3 – Abide by Historic District Guidelines for preserving historic buildings.

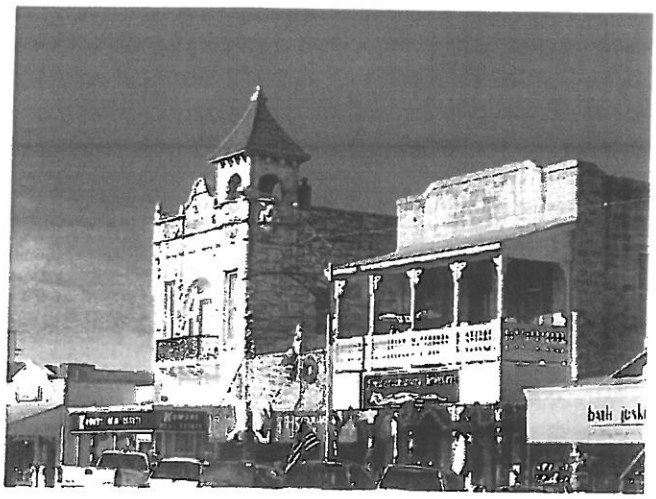
2.4 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines).

2.5 – Do not create a false sense of era or appearance with replacement of metal details or features that are not based upon any historical evidence (Historic Design Guidelines).

Guidelines

2.6 – New developments should choose materials that offer texture and avoid monotonous faces to add visual interest and reduce its apparent scale.

- Building materials are well preserved to maintain the historical nature of the City.



- Common materials create the sense of a district and identity.

- The historical building facade promotes the historical characteristics of the City through the use of stone and wood.

- The use of different materials on a building can break up the visual scale of the building, allowing for a more relaxed and comfortable pedestrian experience.

3. ARCHITECTURAL COLOR

Intent

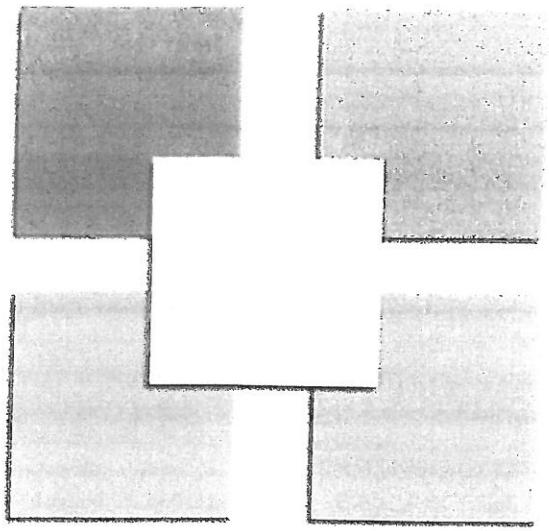
Color may seem a small element in overall community design, but it plays a significant role in appearance. Colors that would be perfectly appropriate in one community, such as the pastels found on homes and businesses in Port Aransas, would look wildly out of place in Fredericksburg. This section shouldn't limit landowners to four shades of beige; however, there should be consideration of what colors coordinate with existing development and the overall character of the community.

The intent of the Architectural Color Standards are to:

- Create a pleasing color scheme that preserves and highlights the heritage of Fredericksburg; and
- Create a robust but form-fitting color palate which allows enough variation to not seem repetitive, but still restrictive enough to keep outlandish color scheme from occurring.

Applicability

3.0 – Architectural Colors Design Standards apply to all redevelopment in the entry corridors.



Standards

3.1 – Choose colors used traditionally in Fredericksburg such as muted shades of greens, blues, and tans (Historic Design Guidelines).

3.2 – Use color to coordinate façade elements in an overall composition and tie all of the building elements together.

3.3 – Reserve bright colors for accents only. Limit the use of bright colors to no more than 30 percent of the overall exterior building façade.

Guidelines

3.4 – Predominate building colors shall be of earth tones, but may be accented with brighter colors to provide color variation, punctuation, and eclecticism unique to Fredericksburg.

- Architectural colors are muted and fit nicely in the Hill Country.

- Bright, architectural colors are used with restrain and sophistication.

- The use of traditional colors against the historic limestone rock creates a visually appealing and eye-catching structure.

- Landscaping provides a sense of scale and color to the front of a building.

4. ARCHITECTURAL FEATURES

Intent

Architectural features are the specific elements that create the appearance of the building. These include the windows, canopies and awnings, roof, parapets, etc. To create a consistent look throughout an area, buildings should share common features and elements. It is not that they need to be uniform on every building, rather that there is a consistency to them.

The intent of the Architectural Features Standards are to:

- Use listed features on buildings to help promote not only historical aesthetic value, but also create strong social settings when applicable;
- Create retail and commercial spaces that feel open with use of large windows, and architectural features which promote a "human scale;"
- Maintain a feeling of historical character in architecture throughout the city;
- Provide detailed façade treatments on any elevation that is visible from streets/corridors or from any primary elevations of adjoining buildings; and
- Avoid use of unadorned blank walls on elevations facing entry corridors and side streets.

Applicability

4.0 – Architectural Features Design Standards apply to all redevelopment in the entry corridors.

Standards

4.1 – Blank or featureless walls will not be approved along parks, plazas, entry corridors or side streets.

4.2 – Design buildings with a "human scale" by using architectural enhancements. The building facade facing the parks, plazas, entry corridors or side streets shall have visible, clearly defined customer entrances that include at least three of the following elements: canopies or porticos, overhangs, recesses or projections, arcades, raised cornice parapets over the entrance door, distinctive roof forms, arches, outdoor patios or plazas, display windows, or integral planters.

4.3 – Choose features that fit the scale of the building and its surroundings.

4.4 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines)

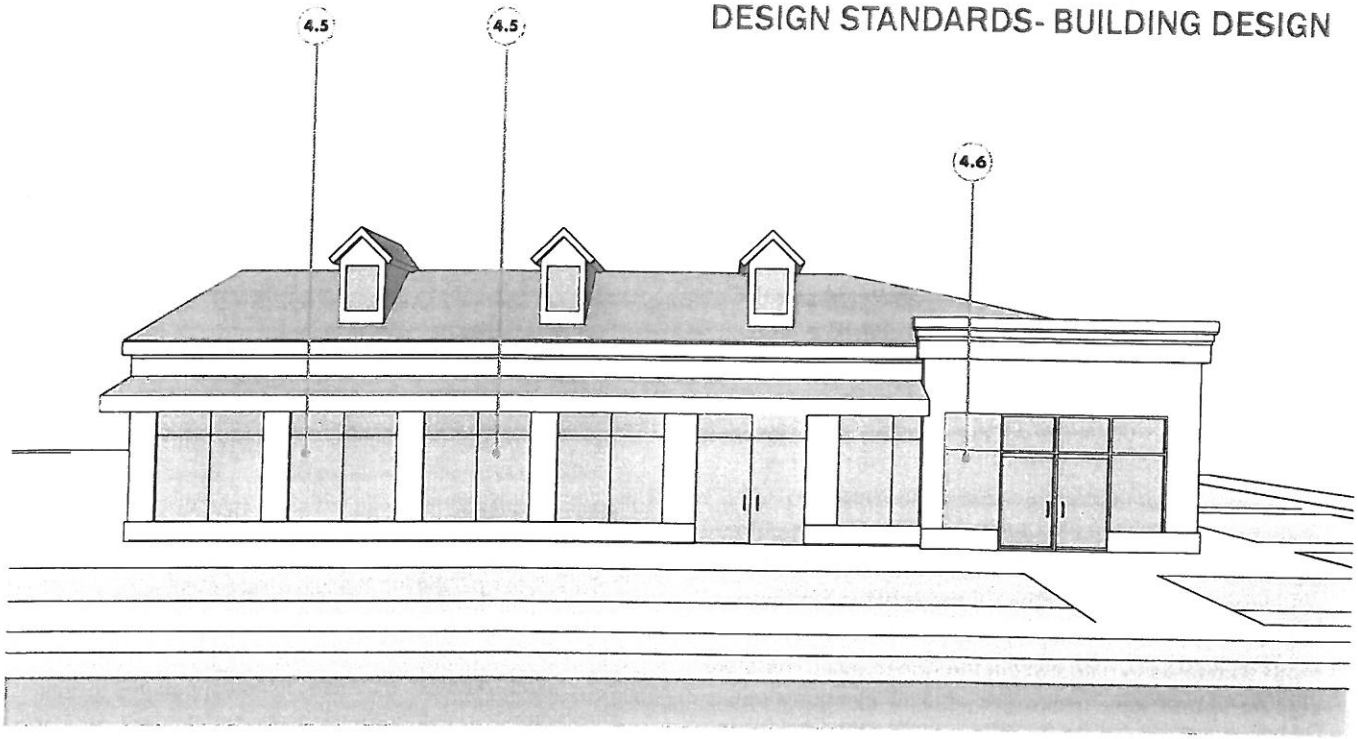
4.5 – Windows and doors shall be equally spaced and provide rhythm along the façade of the building.

4.6 – At least 40 percent of the ground floor façade facing parks, plazas, entry corridors or side streets shall be constructed of clear and non-tinted windows.

4.7 – For any multi-tenant commercial development, a covered arcade/structural canopy shall be provided along the front facade of the building. Arcades are covered walkways connected to the principal building. They should be a minimum of five feet in width and designed to provide covered areas for relief from the weather. Different arcade/structural canopy designs may be used for each individual tenant/business within a multi-tenant commercial development provided that they blend aesthetically with the front facade of the building.

Guidelines

4.8 – If a shed roof or flat roof design is used, add a parapet wall to screen the roof.



- Window awnings and roof overhangs are not only visually appealing but also provide cover from the weather and give spaces definition and character.

- Plazas are an incredibly useful and visible public space, allowing for social and recreational programs to take place within their borders.

5. MASSING AND SCALE

Intent

The massing and scale of buildings helps preserve the historic and "small town" feel of the region. Residents and property owners identify with this character and would like to see it maintained, thus it is important for new development to be consistent.

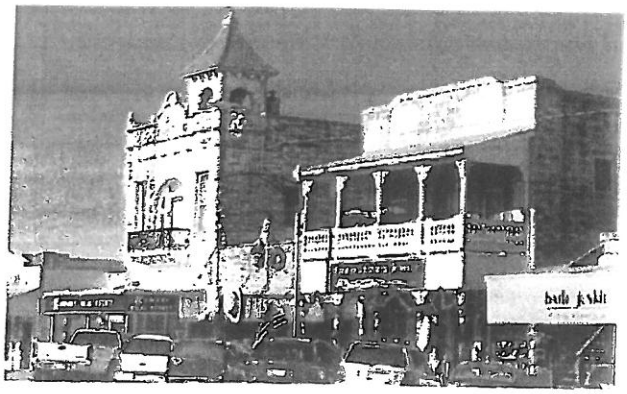
The mass and scale of a development relates to the mass of the building and its scale of architectural features related to the structures size. If the mass of the building is too large, it will not properly integrate within the surrounding environment. If the scale is too large, the building will look disproportional and out of touch with standards in place within the community. Therefore the mass and scale of buildings built within the Historic District and entry corridors should encompass the ideas of size and location on lots relating to the architectural style already in place within the built environment.

The intent of the Massing and Scale Standards are to:

- Fit the mass and scale of the broader context of the landscape and surrounding development; and
- Break up larger building mass by varied façade treatments and articulated roof treatments to keep scale accurate.

Applicability

5.0 – Massing and Scale Design Standards apply to all redevelopment in the entry corridors except for single family residential.



Standards

5.1 – Break up the front of large retail buildings by dividing it into individual bays 25 to 40 feet wide.

5.2 – Use variation in materials, textures, patterns, colors, and details to break down the mass and scale of a building

5.3 – When making transitions to lower density areas, modulate the mass of the building to relate to smaller buildings. Heights can be greater if the mass is modulated and other scale techniques are adopted. Reduce height near lower density uses.

5.4 – Building mass shall be used that is appropriate to the site. Buildings of the greatest footprint, when possible, should be located towards the center of a development where the impact on adjacent uses is the least.

5.5 – Each building shall have sufficient facade relief and interruption every 30 feet so as to provide visual architectural interest.

Guidelines

5.6 – Fake window and similar details are not appropriate articulation.

5.7 – Buildings are encouraged to be contiguously arranged along the street face, and large breaks between buildings in identified development sites should be avoided.

- Neighboring buildings are similar in mass and scale to maintain a visual flow along the street.
- The building scale maintains a pedestrian feel.

- By placing a setback between first and second floors, streets seem more approachable and open from the pedestrian level.

- Courtyards create both private and public social spaces which can be used for a variety of activities.

- By adding different textures and materials to different parts of the building, what is a large and expansive building to the eye looks properly sized and approachable.

6. SIGNAGE

Intent

Signage is one issue that can create significant conflict between developers, business owners, and the City. This is because owners want to maximize their visibility to passersby, while the City wants to protect overall safety and appearance and not have a profusion of signs. Appropriate sign regulations balance the concerns of business owners with the public welfare concerns. Signs are effective in garnering attention, while not detracting from overall appearance or distracting passersby. Signs should also be scaled to their environment. Signs along a highway will be different from those in a primarily pedestrian area. This picture shows a sign appropriate for a high speed thoroughfare. It is large, but in muted colors, made to look like it is made of wood, and appropriate for the business being advertised.

The intent of the Signage Standards are to:

- Ensure preservation of historic heritage and atmosphere; and
- Improve aesthetic appeal around signage.

Applicability

6.0 – Signage Design Standards apply to all redevelopment in the entry corridors.

Standards

6.1 – Reflective, fluorescent, neon and flashing signs shall not be allowed.

6.2 – Limit the height of free standing signs to 5 feet (Signage Ordinance)

6.3 – A landscaped base area shall be provided for monument or ground signs appropriate to the mass and height of the sign. All areas within 5 feet of the base of any sign shall be landscaped. The landscaped area may include trees, shrubs, flowering perennials, ornamental tall grass, fountains, water features, decorative stonework, planters, sculpture and decorative paving.

6.4 – Integrate signs into building and site design so they do not appear as an afterthought.

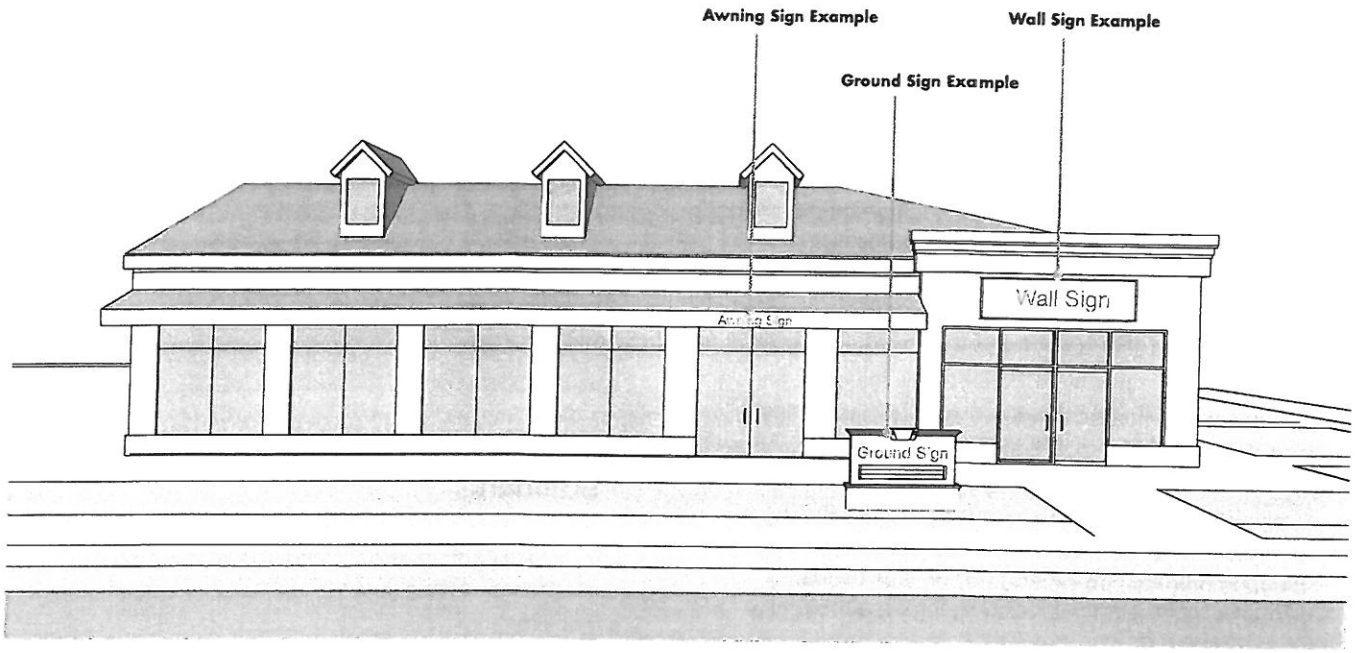
6.5 – Attached signs shall be located above the building entrance, storefront opening, or at other locations that are compatible with the architectural features of the building.

6.6 – Prohibit the use of billboard, illuminated or excessive signage throughout the entry corridors.

Guidelines

6.7 – A minimal number of colors should be used per sign where possible. Bright colors should be reserved for accent only.

6.8 – Exterior neon lighting is to be discouraged.



- Signage is low to the ground and made of local materials such as stone.
- Signage fits within the landscape and doesn't detract from the surrounding environment.

- Signage is incorporated into building design.
- Fonts and text styles are incorporated into the color scheme and design of the building.

7. BUILDING HEIGHT

Intent

Building height is important to maintain character of a place and to improve the general quality of the building environment, pedestrian spaces and pedestrian relationships to buildings. The goal is not uniformity, rather heights should be within a range that work well together. When buildings are too tall, they can create a canyon effect, making an area feel enclosed and unpleasant. Buildings that are too short lose definition and do not contribute to the character of an area. The key is to work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency. The image shows how different heights can work together, with two story buildings (occasionally higher buildings are present at key intersections).

The intent of the Building Height Standards are to:

- Create a unique corridor and downtown feeling with consistent building heights which correspond to the historic streetscape feeling of central Fredericksburg;
- Ensure adherence to maximum building height so that the character is not lost or damaged; and
- Step roof down towards front of building to keep streetscape from becoming overbuilt and to form pedestrian gathering places.

Applicability

7.0 – Building Height Design Standards apply to all redevelopment in the entry corridors.

Standards

7.1 – Use existing height standards from the Zoning Ordinance as a base, and indicate where the standards are different.

7.2 – Three (3) Stories (38 ft) max in commercial districts (C-1, C-2, CBD, M-1, M-2, M-3 zones).

7.3 – Four (4) stories (50ft) for public facilities.

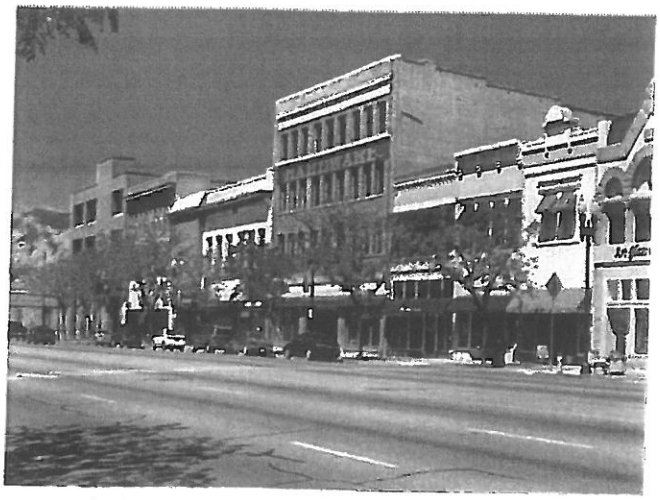
7.4 – Work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency.

Guidelines

7.5 – Use building height to define neighborhood and district edges, and to provide a "human scale."

7.6 – Floor to floor heights of a building can have an impact on the mass of the building. Typical ceilings in a residence are 8-9 feet. First floors of office buildings or retail shops can range from 10-15 feet. Upper floors that include residential or office are generally 8-12 feet in height. Actual or implied floor-to-floor heights above 15-20 feet on the exterior should be avoided, as a building may begin to lose its "human scale" appearance.

- By using different materials and heights, large sized buildings can appear to be separate and smaller in scale.



- With proper setbacks and landscaping, buildings of different but similar height can easily blend together and create a lively and varied streetscape.

- By using different building heights, downtown areas can add character and sense of place.

- An example of how one, two and three story buildings can mesh well in areas that have proper landscaping, setbacks, and material use.

8. SETBACKS & FRONTAGE

Intent

Setbacks define the relationship of a building to the street frontage, and how far the building is from the ROW or sidewalk. Along highways, it may be appropriate for buildings to be set farther back away from the roadway; while in pedestrian areas, it is preferable to have buildings up to the sidewalk. In conventional development, buildings are setback from the road behind parking lots. This ensures adequate parking and high visibility for the business; however, it does not contribute to the aesthetics of an area. Much of the development within the entryways to Fredericksburg follows this pattern.

The intent of the Setbacks and Frontage Standards are to:

- Preserve characteristics of Fredericksburg's small town downtown heritage through the use of building setback.

Applicability

8.0 – Setback Design Standards apply to all redevelopment in the entry corridors except for single family residential.

Standards

8.1 – Setbacks shall be a maximum of 25 feet except for single family residential.

8.2 – No parking lots shall be constructed on the corner of a street.

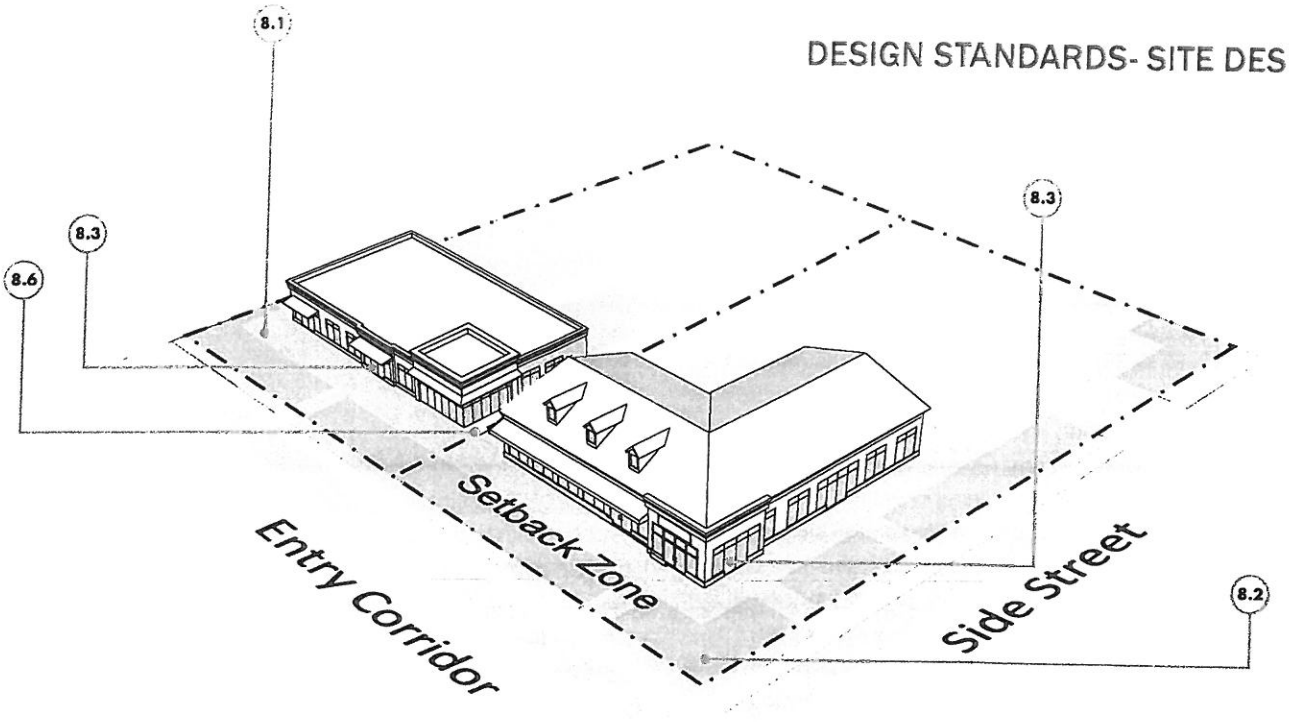
8.3 – Doors and entryways shall be constructed facing the entry corridor and any side streets. Secondary entrances may be constructed to allow convenient access from secondary streets, adjacent buildings, sidewalks, or parking.

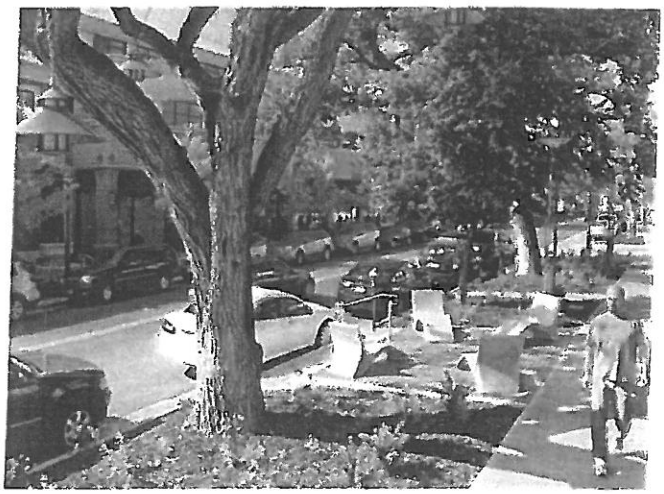
8.4 – The front door must connect to the sidewalk along the entry corridor.

8.5 – In areas adjacent to or near the Historic District, new buildings shall match adjacent building setback in order to preserve the Historic District character and to encourage walkability.

Guidelines

8.6 – A contiguous building arrangement without large breaks between buildings along the street face is encouraged.





- By encouraging building set back along entry corridors, the city will have room to provide not only landscaping but also areas of public social space along pathways and pedestrian walkways.

- Buildings along Town's Creek or Barons Creek have a pedestrian oriented frontage along the creek
- Parking is not located between the building and creek
- Buildings should take advantage of adjacencies to Town Creek and Barons Creek by providing amenities between the building and the creek

9. LANDSCAPING

Intent

Appropriate landscaping plays a significant role in the character and appearance of an area. Landscaping can be used as a buffer to disguise unappealing features, like utilities and parking. Landscaping can also enhance pedestrian areas, offering shade and a visual break from the built environment and serving as a buffer to the street. The challenge of landscaping is the on-going maintenance required to keep it attractive, as well as water usage. Xeriscaping should be utilized to ensure minimal water use and lower maintenance for landscape features. The City can work with property owners and civic organizations, such as the Garden Club, to adopt landscape features to provide on-going maintenance and care for them.

The intent of the Landscaping Standards are to:

- Create street-to-building buffering landscapes with native and drought resistant plant species for more pleasurable vehicular and pedestrian experience;
- Create a cohesive and consistent tree canopy along pedestrian pathways to create a pleasing and comfortable environment for non-vehicular traffic;
- Restore existing natural areas where possible; and
- Create public spaces and common areas that invite residents and tourists to visit with appealing and beautiful landscaping.

Applicability

9.0 – Landscaping Design Standards apply to all redevelopment in the entry corridors.

Standards

9.1 – Landscaping, including planting and trees, shall be provided as a buffer between the street and parking area.

9.2 – To create a cohesive tree canopy that provides for consistent shade, street trees shall be planted a minimum of every 30 feet on center (centered between the curb and sidewalk).

Guidelines

9.3 – Native, drought tolerant and adapted landscape species should be used to the greatest extent possible.

9.4 – A minimum of 50 percent of the plant species should be selected from the approved plant list.

9.5 – Minimize impervious coverage to reduce the need for energy and water consumption.

9.6 – Utilize parks, open spaces and natural areas as buffers between incompatible uses or as a means of maintaining natural viewsheds.

9.7 – Planting is preferable to turf within the right-of-way, including spaces between sidewalks and the street. Landscaping between the curb and sidewalk should be no taller 24" tall and adhere to the clear sight distance triangle.

9.8 – Every effort should be made to protect underground utilities such as water, sewer, phone and cable from tree or plant roots.

9.9 – Restoration of natural areas is strongly encouraged during new development and, to the extent possible, redevelopment.

9.10 – Wherever possible, parks should take advantage of existing mature vegetation by preserving it and incorporating it as a feature of the park to maximize use of shaded areas.

9.11 – Minimize grading and preserve existing vegetation whenever possible.

9.12 – Landscapes should be irrigated to establish planting and provide the correct water levels to support the long term growth of landscape. Irrigation systems must use efficient water methods, group planting into similar hydro-zones, and use moisture sensors to control the use of water.

9.13 – Root barriers should be used in planting areas between the sidewalk and street which are less than 10 feet in width.

- Drought tolerant plantings such as bulbine and silver pony foot are encouraged.
- Planting is provided as a buffer between the sidewalk and street.

- Agaves, grasses, and cacti are appropriate plant materials that have low water requirements.

- Seasonal planting is provided between the street and the sidewalk, creating a buffer between automobile and pedestrian sidewalk, while keeping within the maximum height of 2 feet.

DESIGN STANDARDS- SITE DESIGN

Table 1: *Recommended Street Trees (Planting Areas >10')*

STREET TREES	
Common Name	Scientific Name
Shumard Oak	Quercus shumardii
Chinquapin Oak	Quercus muehlenbergii
Live Oak	Quercus virginiana
Montezuma Cypress	Taxodium mucronatum
Lacey Oak	Quercus laceyi
River Birch	Betula nigra
Mexican Sycamore	Platanus mexicana

Table 2: *Recommended Trees*

SCREENING	
Common Name	Scientific Name
Red Maple	Acer rubrum
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Live Oak	Quercus virginiana
Bald Cypress	Taxodium Distichum

Table 3: *Recommended Trees for Screening*

SCREENING	
Common Name	Scientific Name
River Birch	Betula nigra
Bottlebrush	Callistemmon sp.
Texas Redbud	Cercis canadensis 'Texensis'
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'

Table 4: *Recommended Trees for General Landscaping*

TREES	
Common Name	Scientific Name
Florida Maple	Acer barbatum
Red Maple	Acer rubrum
River Birch	Betula nigra
Bottlebrush	Callistemmon
Pecan	Carya illinoinensis
Texas Redbud	Cercis canadensis 'Texensis'
Texas Persimmon	Diospyros texana
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Savannah Holly	Ilex x 'Savannah'
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'
Sweetbay Magnolia	Magnolia virginiana
Slash Pine	Pinus elliottii
Loblolly Pine	Pinus taeda
Texas Pistache	Pistacia texensis
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Mexican Plum	Prunus Mexicana
Sawtooth Oak	Quercus acutissima
Bur Oak	Quercus macrocarpa
Cow Oak	Quercus michauxii
Nuttall Oak	Quercus nuttallii
Live Oak	Quercus virginiana
Eve's Necklace	Sophora affinis
Bald Cypress	Taxodium Distichum
American Elm	Ulmus Americana

Table 5: *Recommended Plants for General Landscaping*

GROUND COVERS	
Common Name	Scientific Name
Ajuga	Ajuga sp.
Centipedegrass	Eremochloa ophiuriodes
Homestead Verbena	Glandularia canadensis
Daylily	Hemerocallis sp.
Red Yucca	Hesperaloe parvifolia
Trailing Juniper	Juniperus sp.
Trailing Lantana	Lantana sp.
Liriope	Liriope sp.
Dwarf Nandina	Nandina sp.
Katie Ruellia	Ruellia elegans
Yucca	Yucca sp.
Rain Lily	Zephyranthes sp.
ORNAMENTAL GRASSES	
Common Name	Scientific Name
Bluestem	Andropogon sp.
Sideoats Gamma	Bouteloua curtipendula
Weeping Lovegrass	Eragrostis curvala
Purple Lovegrass	Eragrostis spectabilis
Sand Lovegrass	Eragrostis trichocolea
Fiber Optic Grass	Isolepis cernua
Purple Autumn	Miscanthus sinesis
Zebra	Miscanthus sinesis 'Zebri'
Muhly	Muehlenbergia sp.
Little Bunny Fountain	Pennisetum alopecuriodes
Fountain	Pennisetum rueppellii
Mexican Feather	Stipa tenuissima
VINES	
Common Name	Scientific Name
Crossvine	Bignonia capriolata
Trumpet Creeper	Camsis radicans
Coral Honeysuckle	Lonicera sempervirens
Evergreen Wisteria	Melletia reticulata
Virginia Creeper	Parthenocissus quinquefolia
Lady Banks Rose	Rosa banksia
PLANTING BEDS	
Common Name	Scientific Name
Abelia	Abelia sp.
Agave	Agave sp.
Yarrow	Achillea sp.
Butterfly Bush	Buddlea davidii
Beautyberry	Callicarpa americana
Coreopsis	Coreopsis sp.
Coneflower	Echinacea sp.
Indian Blanket	Gaillardia sp.
Hummingbird Bush	Hamelia patens
Burford Holly	Ilex cornuta
Yaupon Holly	Ilex vomitoria
Dwarf Yaupon Holly	Ilex vomitoria 'nana'
Juniper	Juniperus sp.
Lantana	Lantana sp.
Texas Sage	Leucophyllum sp.
Gayfeather	Liatrus sp.
Turk's Cap	Malvaviscus arboreus
Blackfoot Daisy	Melampodium leucanthum
Wax Myrtle	Myrica cerifera
Blue Plumbago	Plumbago auriculata
Pomegranate	Punica granatum
Rosemary	Rosmarinus officianalis
Black-eyed Susan	Rudbeckia sp.
Dwarf Palmetto	Sabal minor
Mealy Blue Sage	Salvia farinacea
Autumn Sage	Salvia greggii
Mexican Sage	Salvia leucantha
TX Mountain Laurel	Sophora secundiflora
Bridal Wreath Spirea	Spirea cantoniensis
Yellow Bells	Tecoma stans
Viburnum	Viburnum sp.

- Seasonal color is thoughtfully incorporated into planting design.

- The park takes advantage of maintaining existing trees on site.
- The park maximizes the use of shaded areas by aligning trails underneath dense tree canopy.

- The use of a low stone seat wall is creatively incorporated into the landscape to preserve an existing stand of oak trees.
- Cacti s and native plants fit the planting scheme of the larger context of central Texas.

- An allee of street trees planted a minimum of 30 feet on center frames the sidewalk and provides comfort to pedestrians.
- A mix of tree species offers seasonal interest along the street.

10. LIGHTING

Intent

Lighting is necessary to make a building visible to passersby and for safety and security on site. However, lighting can also become a nuisance, as light spills onto adjacent property, distracts drivers, and detracts from community appearance. Well-designed lighting focuses light where it is needed, with minimal glare and excess. Shielding and proper aiming can provide appropriate safety and security while having minimal impact on adjacent properties. Pole location, height, and design all affect how lighting will be seen, so thought should be given to all of these variables when designing a lighting system for a property.

The intent of the Lighting Standards are to:

- Provide continuity and high aesthetic value through the creation of a cohesive lighting strategy; and
- Create, safe, secure places with lighting strategies while protecting the night sky and nearby residential properties.

Applicability

Architectural Lighting Design Standards apply to all redevelopment in the entry corridors.

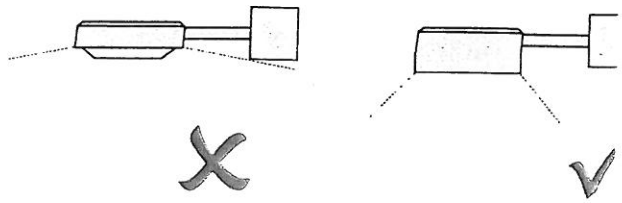
Standards

10.0 – Lighting fixtures should be selected from the International Dark-Sky Association Approved Fixtures.

Guidelines

10.1 – Lighting should be used to provide illumination for the security and safety of on-site areas such as parking, loading/unloading, pedestrian pathways and working areas. Excessive use of lighting fixtures is prohibited.

10.2 – Fixture style and location must be compatible with the building's architecture, site design and landscape design. Decorative fixtures are highly recommended and where warranted, may be required. Light fixture style is to be consistent throughout the project.



10.3 – Light fixtures shall be located facing away from adjacent sites (particularly residential parcels) so that the light does not spill-over onto abutting properties. Parking and building light fixtures must be cut-off luminaries that have less than 90 degree cut-off so that the light is not emitted horizontally or upward.

10.4 – Projects located near residential or open space areas shall use low intensity/wattage lights and all lighting is to be extinguished or reduced in intensity 30 minutes after the close of business.

10.5 – Off-site street lighting may be required over driveways to provide safe entrances and exits.

10.6 – Decorative seasonal lighting encouraged.

LIGHTING SELECTION MATRIX

Location	Fixture
Streetscape Pedestrian Lighting	Sternberg Lighting Omega Series
Site Lighting	Strenberg Lighting Medterra BB
Public Space Lighting	Strenberg Lighting Medterra BB

- This Dark Sky light fixture is an example of an approved light fixture for Fredericksburg.
- Sternberg Lighting Omega Series

- Lighting can include planters and decorative features to fit within the context of Fredericksburg

- This Dark Sky light fixture is an example of an approved light fixture for Fredericksburg.
- Sternberg Lighting Mediterra BB

- Lighting can be erected within the entry corridors and along path and trails.

11. SERVICE AREAS

Intent

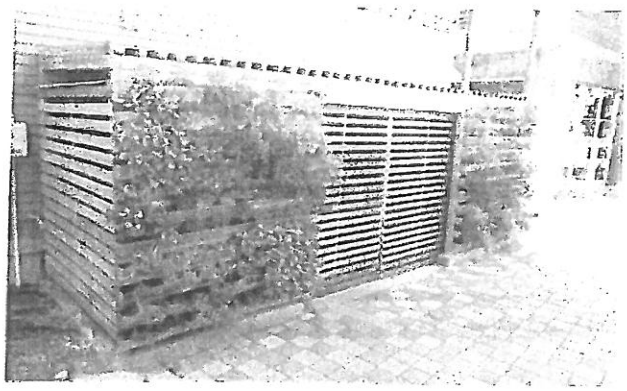
Every site plan needs to account for building facilities like HVAC systems, dumpsters, drainage, etc. These are necessary features that have to be located; however, they can present a challenge to balance needed access with aesthetics. It is appropriate to place these facilities in the back of the property, shielded by the building if possible. If that is not available, due to access issues, service areas should be shielded with fencing and landscaping to maintain the overall site appearance. Good site planning will ensure that needed facilities are incorporated on site, with minimal visibility from roadways and adjacent properties.

The intent of the Service Areas Standards are to:

- Use visually screened service areas to hide unsightly private space areas; and
- Use appropriate landscaping, fencing, and/or green screens around service areas for buffering.

Applicability

11.0 – Service Areas Design Standards apply to all redevelopment in the entry corridors.



Standards

11.1 – Loading/unloading areas shall be clearly identified by installing no parking signs and/ or striping of the space. The areas must be located in the rear or the sides of the building and shielded so that they are not visible from the street. The size and number of the loading/ unloading areas must be consistent with the requirements of the Zoning Ordinance.

Guidelines

11.2 – All trash, recycling and utilities facilities must be visually and acoustically screened from pedestrian rights of way.

11.3 – Screening shall be achieved through the installation of a wall or fence six foot in height or a height sufficient to obscure the area or equipment, whichever is less.

11.4 – Screening may be provided by using a semi-opaque fence, solid vegetative surface or combination of both.

11.5 – The height of screening plants shall be based on typical plant size within five growing seasons.

11.6 – All roof-top equipment shall be screened from entry corridors, side streets, plazas and parks.

11.7 – It is encouraged to provide a separate waste and recycling unit to encourage environmental sustainability and support efforts to reduce, reuse, and recycle in Fredericksburg. The City of Fredericksburg Recycling Center provides recycling and safe disposal options. Fredericksburg Shines has compiled a list of items that can be recycled along with the location where that recycling occurs.

- The use of wood softens the visual effect of the waste receptacle.
- The waste receptacle visually blends into the surrounding public space, and the wood material matches the adjacent bench.

- Waste receptacles are screened with vegetation.
- Waste is separated into trash and recycling units.

- Service areas are located to the rear of the site.
- Trees and landscaping screen views to dumpsters and service areas.

- Compost areas are hidden from view and designed in an esthetically pleasing manner.

12. PARKING & ACCESS

Intent

Parking uses a significant portion of most conventional development. Developers typically have to provide sufficient parking for infrequent, high volume days like the day after Thanksgiving. This, combined with a desire for visibility and access, means most parking lots are put in front of the building. Adequate landscaping and buffering can improve the appearance of parking lots; however, having parking to the front detracts from pedestrian connectivity and appeal. Having parking to the rear of the property would allow the building to front onto the roadway. It would also allow for consolidation of driveways and access points. This can be a tremendous benefit for traffic flow, to reduce curb cuts and points of conflict along roadways.

The intent of the Parking and Access Standards are to:

- Follow New Urbanism models to help conceal and beautify parking areas, such as parking located in the rear or side of buildings;
- Create parking spaces that flow smoothly and create logical connections between parking spot and destination; and
- Use landscaping to buffer parking lots from adjacent uses.

Applicability

12.0 – Parking Design Standards apply to all new development in the entry corridors.

Standards

12.1 – Bicycle parking facilities must be provided at all new development that occurs on any street intersection. The design, color, and materials must coordinate with other site elements and must be well-light for night time uses.

12.2 – When a property abuts a creek, the parking lot should not be located between the building and the creek.

12.3 – When a property abuts a creek, a 10 foot

landscaped buffer shall be provided between the parking lot and the creek, where applicable. Utilize rain gardens and/or plant species that filter toxins between the parking lot and the creek.

12.4 – All parking shall comply with the most current American with Disabilities Act (ADA) standards and regulations.

12.5 – Whenever parking areas/drive aisles are connected to adjacent sites, the circulation must provide for similar direction of travel (both vehicular and pedestrian) and parking stalls to reduce conflict at points of connection.

12.6 – Pedestrian walkways connecting to adjacent development shall be provided.

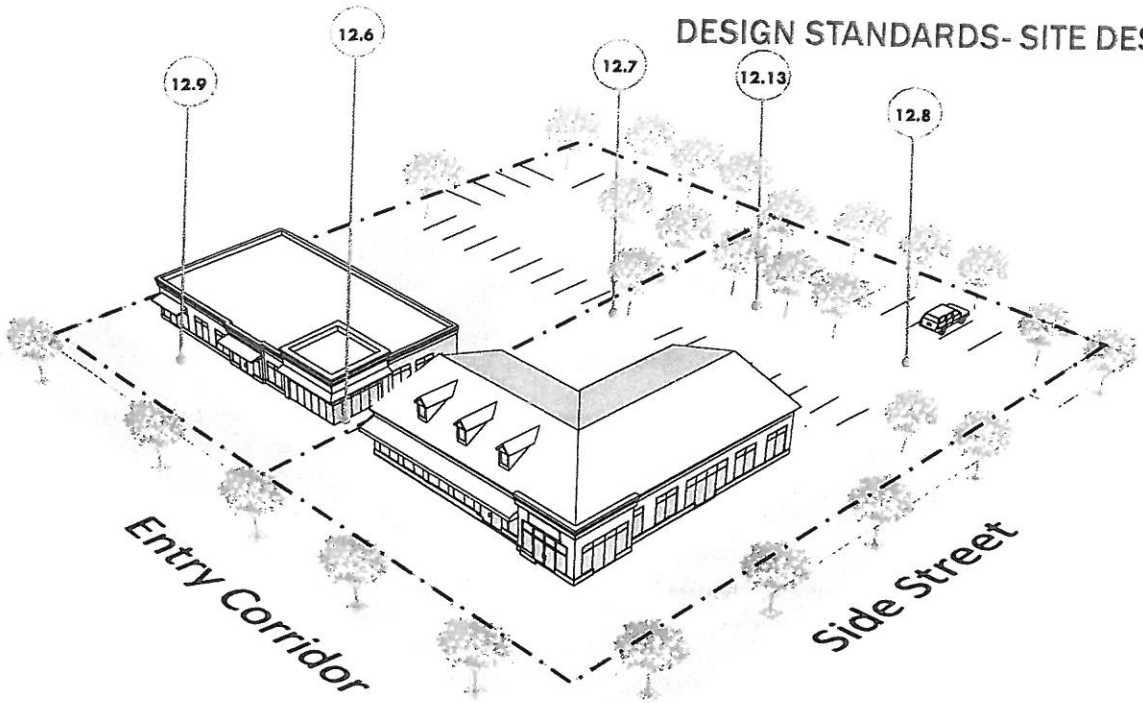
12.7 – A minimum of a 4" diameter tree per 8 parking spaces shall be planted in planting beds located in the corners of parking lots and 'islands.'

12.8 – Parking shall be located behind buildings or on the side.

12.9 – Continuous, 5' sidewalks must be provided along the full length of the building featuring customer entrances and along any façade facing public parking areas.

Guidelines

12.10 – Parking areas abutting properties residentially used or designated shall be separated by a landscape buffer a minimum of 10 feet in width. In addition to landscaping, perimeter earth berms are recommended as an effective way to reduce the visual impact of surface parking lots.



12.11 – At least one parking and drive aisles should be designed to provide sufficient emergency vehicle access and maneuverability.

12.12 – Establishments that typically require or generate frequent passenger loading and unloading shall provide specifically designated loading/unloading stopping bays. Direct ingress and egress should be provided so that vehicles are not directed into the on-site drive aisles.

12.13 – Parking lots should be located and designed with stormwater Best Management Practices to capture, treat and infiltrate storm water.

12.14 – The on-site circulation must be logical and provide convenient, safe and direct flow of pedestrians and vehicles.

12.15 – New surface parking areas are discouraged within view of US290. New parking areas should be situated behind buildings and screened from street views.

12.16 – Parking aisles should be arranged to direct pedestrians parallel to moving cars thereby minimizing the need for pedestrians to cross parking aisles and landscape areas. As an alternative, separated pedestrian walkways should be incorporated in the parking lot design.

12.17 – Detached parking structures should be architecturally compatible with their setting or be screened by other buildings or by landscaping. If a detached parking structure abuts a street or major pedestrian path, ground floor design should incorporate a façade with storefronts, display windows, bay divisions, and other pedestrian oriented features.

12.18 – Shared driveways are encouraged.

Planting buffer of 10 feet is placed around parking.

13. DRAINAGE AND STORMWATER

Intent

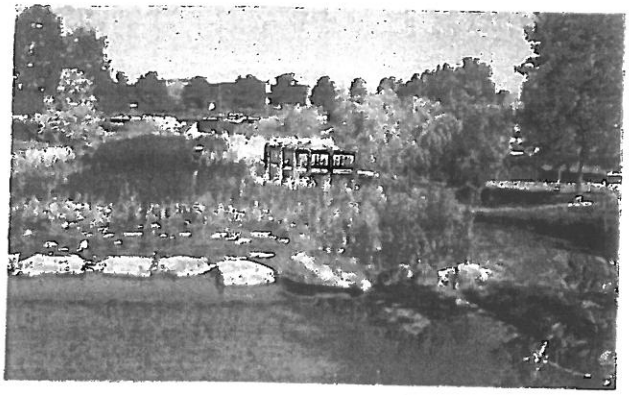
Development leads to increased stormwater runoff. Some communities manage drainage for larger areas, so developers put in facilities to convey water off the property to these larger drainage utilities. Other times, each property has to create on site facilities to manage stormwater. A fairly new direction in stormwater management is called low impact design. This utilizes natural features, such as rain gardens and swales, along with technology fixes like rainwater harvesting and pervious pavement, to manage stormwater. This type of development can be a lower maintenance and more aesthetic option for future development. It is important for stormwater to be managed in such a way to protect public health and safety.

The intent of the Drainage and Stormwater Standards are to:

- Create aesthetically pleasing detention and stormwater infrastructure;
- Use Best Management Practices to mitigate flooding and runoff backup;
- Capitalize upon the use of detention features to double as recreational elements where feasible;
- Use Low Impact Development (LID) techniques when possible; and
- Buffer detention ponds with native landscaping.

Applicability

13.0 – Drainage and Stormwater Design Standards apply to all redevelopment in the entry corridors.



Standards

NA

Guidelines

13.1 – LID techniques such as rain barrels, cisterns, rain gardens, naturalized landscaping, porous pavement and roof gardens are encouraged.

13.2 – When possible, site stormwater management facilities in parks and open space if there is a benefit to the surrounding area and/or water quality is demonstrated.

13.3 – Existing drainage patterns and flows on site should be preserved to the greatest extent possible.

13.4 – Decorative or aesthetically pleasing stormwater mechanisms should be incorporated into stormwater designs to the greatest extent possible.

- Bio-filtration areas slow stormwater runoff and absorb pollutants to encourage increased water quality.

- Decorative storm grates provide visual interest to otherwise unappealing design features.

- A rain water cistern captures water for re-use in the landscape.
- The materials on the rain water cistern match the architecture of the building and double as signage for the park.

- LID techniques such as rain gardens are aesthetically pleasing and contribute to an increase in water quality and reduce peak flows of stormwater runoff.
- Rain gardens are valuable Best Management Practices that mitigate flooding and stormwater runoff.

14. STREETSCAPE

Intent

Most of the streets being included for the entryways are state highways. This means that TxDOT has jurisdiction over the design of the streetscape and any elements to be included in them. The City has a productive relationship with TxDOT staff and can work with them to incorporate improvements to the streetscape over time as projects and upgrades are made to roads in the entryways.

The intent of the Streetscape Standards are to:

- Create a connected sidewalk system throughout the city to ensure safety and connectivity between destinations;
- Increase the mobility to persons walking throughout the city into all areas;
- Create a continuous street tree canopy and landscaping along roadways to create more visually pleasing thoroughfares and pedestrian pathways;
- Use ADA compliant ramp sand pedestrian facilities throughout the network to ensure ease of movement; and
- Ensure that the ground floor creates comfort and interest for pedestrian use.

Applicability

14.0 – Streetscape Design Standards apply to all redevelopment in the entry corridors.

Standards

14.1 – Sidewalks along the street right of way must be a minimum of 5 feet wide.

14.2 – To create a cohesive tree canopy that provides for consistent shade, street trees shall be planted a minimum of every 30 feet on center (centered between the curb and sidewalk).

Guidelines

14.3 – Sidewalks and pedestrian pathways should safely connect from the street to commercial buildings, surrounding residential areas, and parks and open spaces.

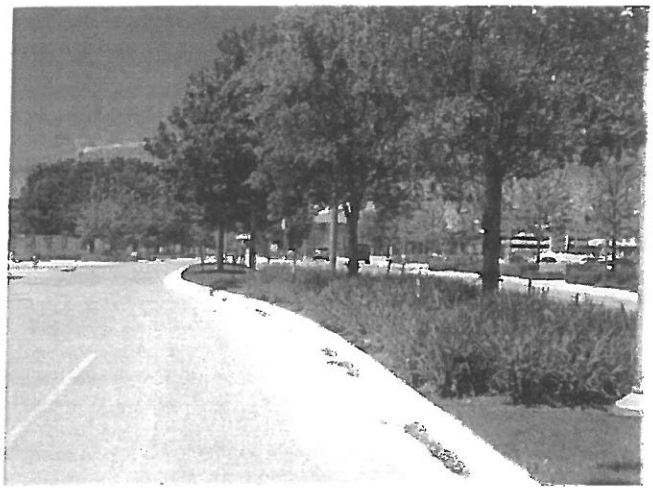
14.4 – Seating is encouraged in front of businesses, in public spaces and other instances where appropriate.

14.5 – All pedestrian areas shall comply with the most current American with Disabilities Act (ADA) standards and regulations. Particular attention shall be given to ramps, accessible paths of travel, level landings and handrails.

14.6 – Create a quality built environment with the inclusion of amenities such as street furnishing, plantings, art works, and water features to enhance the places that people will walk, gather, or recreate.

14.7 – Developments adjacent to multi-use trails shall provide a direct connection from the trail to the development's internal pedestrian circulation system.

14.8 – Streetscape furnishing should be made of high quality materials and be coordinated with the architecture of the building.



- A continuous canopy of street trees at 30 feet on center provides visual interest along the road.

- Benches, landscaping, street trees, and seating provide a comfortable pedestrian environment.

- Street trees are provided every 30 feet on center along the street.
- Ample shade and seating are provided for a comfortable pedestrian environment.

- Streetscape furnishings are made of high quality materials and create a brand and identity.