CITY OF FREDERICKSBURG
HISTORIC REVIEW BOARD
Tuesday, October 14, 2014
City Hall
Conference Room
126 W. Main St.
5:30 P.M.

1. Call to Order

2. Approve Minutes of September 2014 Regular Meeting *Pp 1 - 5*

APPLICATIONS

3. Application #14-58 by H & H Vinyl Fencing on behalf of Melvin and DeLana Littleton to replace approximately 215 linear foot of wood privacy fence with simulated stone vinyl fencing at 202 S. Bowie *Pp 6 - 13*

4. Application #14-82 by Mark & Pam Harmon to paint window trim and replace front door on property located at 305 N. Llano *Pp 14 – 22*

5. Application #14-86 by Alex Eskenasy on behalf of William Sutherland to construct a new residence at 302 N. Lincoln *Pp 23 - 33*

6. Application #14-87 by Sarah Eckert on behalf of Becky Brickner to demolish all buildings located on property at 515 W. Main Street *Pp 34 - 38*

DISCUSSIONS

7. 105 N. Acorn – Demo by Neglect *Pp 39 - 45*

8. 102 E. Main – Demo by Neglect *Pp 46 - 53*

9. Discuss Design Standards and Guidelines for Entry Corridors from the proposed Comprehensive Plan Issues Update *Pp 54 - 85*

SIGN OFF APPLICATIONS

10. #14-77 – Construct 7' high fence – 212 S. Acorn (Bennett)
11. #14-78 – Add porch on side of buidling – 501 N. Llano (Mud Boot)
12. #14-79 – Paint exterior – 123 & 125 E. Main St. (Zwei Schneiders)
13. #14-80 – Paint exterior – 111 E. Schubert (Reichenau)
14. #14-81 – Replace fence with metal ornamental fence – 206 N. Bowie (Stotz)
15. #14-84 - Construct double carport with attached storage – 110 S. Acorn (Gentry)
16. #14-85 Replace roof – 202 S. Crockett (Boatwright)

ADJOURN

DRAFT

STATE OF TEXAS
COUNTY OF GILLESPIE
CITY OF FREDERICKSBURG

HISTORIC REVIEW BOARD
September 9, 2014
5:30 PM

On this 9th day of September, 2014 the Historic Review Board convened in regular session at the regular meeting place thereof, with the following members present to constitute a quorum:

STAN KLEIN
KAREN OESTREICH
ERIC PARKER
DAVID BULLION
MIKE PENICK

ABSENT:
SHARON JOSEPH
LARRY JACKSON
CHARLES SCHMIDT
JOHN MURAGLIA

ALSO PRESENT:
BRIAN JORDAN – Director of Development Services
KYLE STAUDT - Building Official
TAMMIE LOTH – Development Coordinator

Neither the Chair or Vice-Chair were in attendance. Karen Oestreich moved to nominate Mike Penick as Interim Chair. David Bullion seconded the motion. All voted in favor and the motion carried.

The meeting was called to order at 5:30 PM by Mike Penick.

MINUTES

David Bullion moved to approve the minutes from the August 2014 regular meeting. Eric Parker seconded the motion. All voted in favor and the motion carried.

APPLICATIONS

Application #14-58 by H&H Vinyl Fencing on behalf of Melvin and DeLana Littleton to replace approximately 215 linear foot of wood privacy fence with simulated stone vinyl fencing at 202 S. Bowie. – No one was in attendance at the meeting to present the application and the Board took no action.

Application #14-70 by Elihu Washburne at 312 E. Austin to: A) Close off front door and stucco over to match house B) Replace two downstairs front windows that flank chimney with similar casement doors C) Expand opening from 36" to 38" and extend height opening 9" to 84" – Hugh Washburne presented the application and noted he purchased the

property as a residence and the front door is very narrow and short and is not able to be widened. Mr. Washburne noted it is 31" wide and he would like to close the door off and replace the two windows that are flanking the chimney with doors. Mike Penick asked if he had any plan for the covered porch portion of the house and Mr. Washburne stated he did not. David Bullion asked if the door entry could be moved to the other side of the house where there is another window and Mr. Washburn stated he does not want to do that because the door would enter into the wrong room and he wants to keep symmetry on the house with two doors and let light into the house. Mr. Bullion asked Mr. Washburne if he planned to construct any door coverings and Mr. Washburn stated he isn't planning anything now. Mr. Penick asked if he would put any slab in front of the doors and Mr. Washburn stated he would like to put in a sidewalk to the doors. Karen Oestreich asked about the sidewalk and Mr. Washburn noted he would like to do a wide sidewalk that would go straight into the door on the right and then split. Mr. Bullion noted the Board is charged with minimizing alterations to a historic property and what he is requesting has been allowed, but he does not believe a covering over the new doors would be allowed because that changes the façade of the historic structure. Eric Parker asked what kind of siding will be used when the door is taken out and Mr. Washburn noted he will use cinder block and added the house is made out of terracotta tile which isn't available any longer.

Karen Oestreich moved to approve Application #14-70 and Eric Parker seconded the motion. All voted in favor and the motion carried.

Application #14-72 by Curl's Construction on behalf of Maria Tyng at 124 E. Main Street to replace staircase on exterior of building – David Curl of Curl's Construction presented the application and noted there is an old wooden staircase on the side of the building in the alleyway that is in very bad shape. Mr. Curl noted they suggested the owner put up a steel stairway so there would not be much maintenance needed. Karen Oestreich confirmed the decorative scrollwork would not be on the stairwell and Mr. Curl verified it would not. David Bullion asked if the design will be similar and Mr. Curl noted it will look the same as it does now, but in the material will be steel instead of wood.

David Bullion moved to approve Application #14-72 and Eric Parker seconded the motion. All voted in favor and the motion carried.

Application #14-73 by Andy Bray on behalf of Fredericksburg Chamber of Commerce at 306 E. Austin to construct a 1250 square foot addition and 120 square foot porch to the existing private office building – Andy Bray and Whitney Koch of Mustard Design and Richard Laughlin, contractor for the project, were in attendance to present the application. Mr. Bray noted there is an existing 1910 house that the Chamber would like to put an addition on for office space. Mr. Bray noted the existing structure is approximately 1150 square feet and they are proposing a 1200 square foot addition towards the back. Mr. Bray noted they positioned the addition so it is set back. Mr. Bray noted the roofline will continue nicely and the proposed addition will be cement board siding. Eric Parker asked if there would be any changes to the existing structure and Mr. Bray noted there would not be on the exterior, except possibly some new paint. David Bullion asked if one of the windows on the back will be taken out for the door and Mr. Bray noted there is an existing door on the back and that will be removed to connect to the hallway. Mr. Bullion asked if it would about the same scale and Mr. Bray stated it would be and the eave heights will all be about the same. Richard Laughlin commented there

is an existing tank house on the property that they would like to rotate and use as storage. Mr. Bullion noted only a small percentage of the addition will be visible from the street.

David Bullion moved to approve Application #14-73 and Karen Oestreich seconded the motion. All voted in favor and the motion carried.

Application #14-74 by Andy Bray on behalf of Matthew and Melissa Mabery to renovate and construct addition to existing house for use as a B&B and construct two new B&B units at 618 W. Main Street – Andy Bray of Mustard Design and Matthew Mabery, owner of the property, presented the application. Mr. Bray distributed revised plans that were updated after meeting with City Staff about the project. Mr. Bray noted there is an existing home on the property that was built in the 1850's. Mr. Bray noted the building is still in pretty good shape and they are proposing to restore the front of the house and add a guest bedroom. Mr. Bray commented they would also like to construct two new bed and breakfast units on the site. Mr. Bray noted the Acorn Street side elevation of the existing house will have no modifications and on the north elevation there is some siding that is in bad shape and needs to be removed and replaced. Mr. Bray added they are being sensitive to how the roof is framed into an existing stone piece and would like to keep the same pitch. Mr. Bray noted the east elevation will house the new bedroom with a gable roof and porch extension to the west. Mr. Bray continued the south elevation has a lot of overgrown shrubs that will be cleaned up and they may plant some additional screening. Mr. Bray noted off the new bedroom there will be a small porch for the outdoor area of that B&B suite. Mr. Bray explained the existing door will remain on the rear and create the entry into the foyer. Mike Penick asked if there would be any changes to the doors or windows and Mr. Bray noted there would not. Mr. Penick noted there was a drawing error on the plans because it shows a 2 over 2 window and Mr. Bray confirmed that was a mistake and the windows will not be changed. Mr. Penick asked what the windows on the addition will be and Mr. Bray noted they will probably be 4 over 4. Mr. Bray added the windows on the building now don't all match, but there will not be any modifications made to the existing. Stan Klein asked if the applicant was going to do anything to the front porch and Mr. Bray stated they were only repairing the rotten wood. Mr. Bray stated they will have to come back for the paint colors because that decision is not made yet.

Mr. Bullion asked if the new structures were approximately nine feet higher than the existing and Mr. Bray confirmed they would be roughly nine feet higher to the peak and the reason was so they could get a 2-story volume. Mr. Bray noted the existing house does have a second floor, but it is pretty inhabitable now and was used for sleeping quarters. Mr. Bullion noted there is a pretty drastic change on the pitches from the original and Mr. Bray stated he purposely made them different so they would not match the historic property. Mr. Penick asked what the pitch was and Mr. Bray noted it was 12 on 12. Mr. Klein noted the south elevation on guesthouse B is a lower pitch and Mr. Bullion noted that one is more tolerable. Mr. Penick noted both 12 on 12 and 10 on 12 pitches are used and Mr. Bray noted the 10 on 12 is so the ridge will die underneath. Mr. Klein noted the pitch is his only concern on the new construction and added the addition is compatible and not even visible from the west side and set back on the south side. Mr. Klein asked about the turn column and asked if it was just being taken off the porch that is being demolished and moved to the east elevation and Mr. Bray stated since it was on the back porch, he thought it was appropriate to put it back. Mr. Penick asked if there are outbuildings that will be removed and Mr. Bray noted there is a barn that is in pretty bad shape

that will have to come down. Mr. Bray commented they looked for square nails on the barn and had hoped to use some of the material, but there were no square nails and probably no material that is able to be saved. There was discussion about the existing barn and it was determined the Board looked at this before. Brian Jordan, Director of Development Services, clarified accessory buildings are not rated the same as the main structure and if the Board wishes them to be rated, they will need to go through town and rate the structures that are located on historic properties. Mr. Klein noted the existing outbuilding has a low pitched roof and the high pitches on the new structures make too much of a statement. The Board then looked at Google Earth to see the roof pitches on surrounding properties. Mr. Bullion asked Mr. Bray if he would consider flattening the roof pitches. Mr. Bray noted he could look at doing so, but he doesn't want the new B&Bs to look historic. Mr. Klein stated he thinks they look historic and the intent is to make the forms compatible to the district. Mr. Klein added the Board does not want new structures in the district that shout and added the existing ridge looks to be about 17 or 18 feet and the new form is 27 feet which is significant. Mr. Bullion commented he understands the need for additional height to get the functionality for the building, but flattening the roof a little helps soften the look.

Stan Klein moved to approve Application #14-74 with the following conditions:

1) Adjustments be made to the windows of the existing historic building that they are compliant with the existing window openings and light.
2) Repairs are made and nothing is changed on the porch and columns.
3) The applicant will come back for approval of paint colors.
4) The roof pitch be lowered to at least 8 on 12 on the new construction.

Karen Oestreich seconded the motion. All voted in favor and the motion carried.

Application #14-75 by Gus and Jacquelyn Rios at 319 E. Main to construct new 1200 square foot building on rear of property for additional retail space – Shayna Thompson, draftsman, and Gus and Jackie Rios, owners of the property, presented the application. David Bullion commented the building will not be visible except from the alley and the parking lot next door and Ms. Thompson verified that was true. Ms. Thompson presented a photo shopped picture of what the view will be from the sidewalk on Main Street. Mr. Bullion asked about the scale and Ms. Rios noted the new structure will be approximately 1200 square feet and the existing building is approximately 2800 square feet. Mr. Bullion asked if the materials are consistent and Ms. Rios noted they will be using stone, a standing seam metal roof and a porch overhang. Stan Klein noted the north elevation has a lot of glass and allows for visibility.

David Bullion moved to approve Application #14-75 and Eric Parker seconded the motion. All voted in favor and the motion carried. Stan Klein questioned what colors will be used and Ms. Thompson noted they will be using bronze windows, bronze exterior, stained wood doors and the porch posts will be natural cedar. Mr. Klein directed the applicants to be sure the colors are appropriate for the historic district.

DISCUSSIONS

Old Methodist Episcopal Church – 600 E. Main Street – Kyle Staudt, Building Official, noted he gave Bernardo's phone number to Glen Treibs because Mr. Treibs has some people

that are interested in working on the church. Mr. Klein stated he will send Paul Phillips an email checking on the status of the church. Brian Jordan, Director of Development Services, noted the Council has approved the budget for the coming year and the $25,000 has been replenished for use on historic properties.

ADJOURN

With nothing further to come before the Board, Eric Parker moved to adjourn. Karen Oestreich seconded the motion. All voted in favor and the meeting was adjourned at 6:30 p.m.

PASSED AND APPROVED this the 14th day of October, 2014.

SHELLEY BRITTON, CITY SECRETARY

SHARON JOSEPH, CHAIRMAN

Historic Review Board
Application Information

Application Number:	14-58
Date:	September 3, 2014
Address:	202 S. Bowie
Owner:	Melvin and DeLana Littleton
Applicant:	H & H Vinyl Fencing
Rating:	Medium
Proposed Modifications:	Install 215' of vinyl fence.
Neighborhood Characteristics:	The subject property is in the Historic District.
Staff Comments:	The scope of the project justifies Board review.

General Notes:

The mandatory functions of the Board include the following:

(1) Removal, addition or modification of architectural detail. The distinguishing historic qualities or character of a building, structure, or site and its environment shall not be destroyed. Removal or modification of any historic material or distinctive architectural features may be accomplished upon issue of certificate of appropriateness; however, this should be avoided when possible. Architectural features include but are not limited to exterior wall materials, windows, railings, decorative woodwork, masonry, or stone elements.
(2) Paint color and application. Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.
(3) New construction in historic districts. The board will review all new construction plans within Historic Districts in order to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion, design harmony and setback.

The advisory functions of the Board include the following:

(1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
(2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
(3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
(4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
(5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
(6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
(7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

Preservation Priority Rating. Three-tier rating system used in the 2002 *Fredericksburg Historic Resource Survey* to evaluate all properties within, and adjoining to, the City's Historic District. Ratings are based upon current determinations of architectural value and integrity and, if known, historical and cultural value, and may be altered from time to time as additional information is discovered or circumstances change.

HIGH rating. The most significant properties identified in the 2002 *Fredericksburg Historic Resource Survey*. These properties are considered to be outstanding, unique, or good examples of architecture, engineering, or design. Some are unique to the Fredericksburg area and are indicative of German-Texan vernacular forms and/or building techniques. Others are noteworthy examples of 19th and early 20th century architectural types, styles, and forms, erected using local building materials and construction technologies. Properties designated with a high rating are to be the most protected from alteration and demolition.

MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

LOW rating. Properties that minimally enhance the district's ability to convey a sense of time and place. These properties may be typical examples of more recent, common local building forms, architectural styles, or plan types; be examples of distinctive building forms, architectural styles, or plan types that have been significantly altered; lack the necessary age to meet the usual fifty (50) year threshold for possible National Register of Historic Places listing and do not appear to meet the National Register of Historic Places standard for exceptional significance for properties less than fifty (50) years of age, but which nevertheless may have relative value within the Historic District, meriting preservation. Properties or improvements with a low rating may be considered for relocation or demolition upon a determination by the Historic Review Board that the same can be accomplished with little or no consequence to the historical, cultural, architectural, or archeological character of the district or property.

14-58

Application for Certificate of Appropriateness

Application Date: 7.25.14 Application Complete: 7.25.14

Property Address: 202 South Bowie Street, Fredericksburg, TX 78624

Owner: Melvin and DeLana Littleton Phone No. 361.749.7333

Address: 420 E. Cotter Ave Port Aransas, TX 78373

Applicant: H&H Vinyl Fencing on behalf of the Littletons Phone No. (830) 779-5050 664 Shoeline Cr.

Address: 3902 FM 775 La Vernia, Tx 78121

Description of External Alteration/Repair or Demolition: Remove approximately 215 linear feet of existing wood privacy fence and replace with approximately 215 linear feet of Simulated stone vinyl fencing that will closely match the existing stone columns.

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site: Simulated stone will closely match in color and style the existing stone columns. Material comes with a 25-year to lifetime warranty, has a wind rating that meets Dade County Florida hurricane requirements, is fade & graffiti resistant, & is maintenance free.

Any circumstances or conditions concerning the property which may affect compliance with the ordinance:

None

☐ Drawing ■ Sketch Date Submitted: _____ ☐ Historic Photograph

Desired Starting Date: Summer 2014 Desired Completion Date: Summer 2014

SURVEY RATING: ☐High ☐Medium ☐Low ☐None

☐ RTHL: Estimated Date of Construction _____

APPLICANT SIGNATURE: Theresa Pinnell

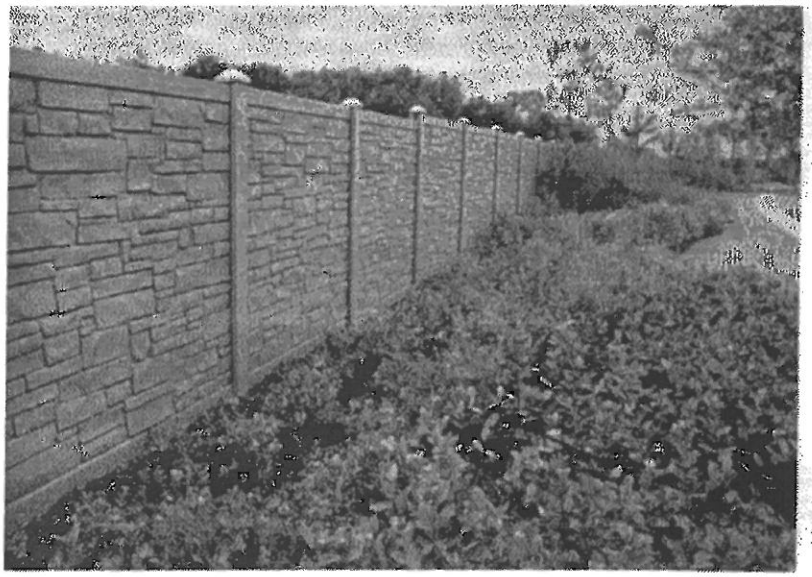
The Applicant *certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property*

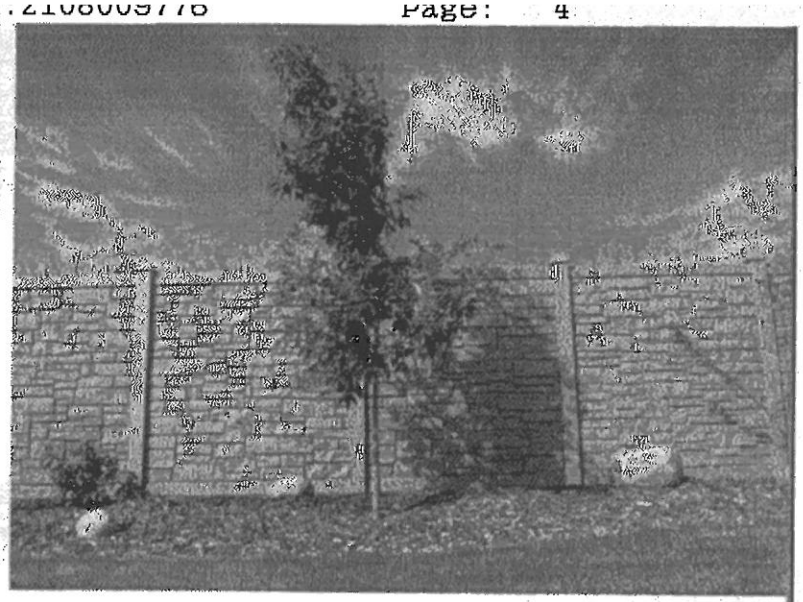
_____ Date 8/4/14 ☐*Insignificant* ■*Significant*
Building Official's Determination *(Max 7 days)*

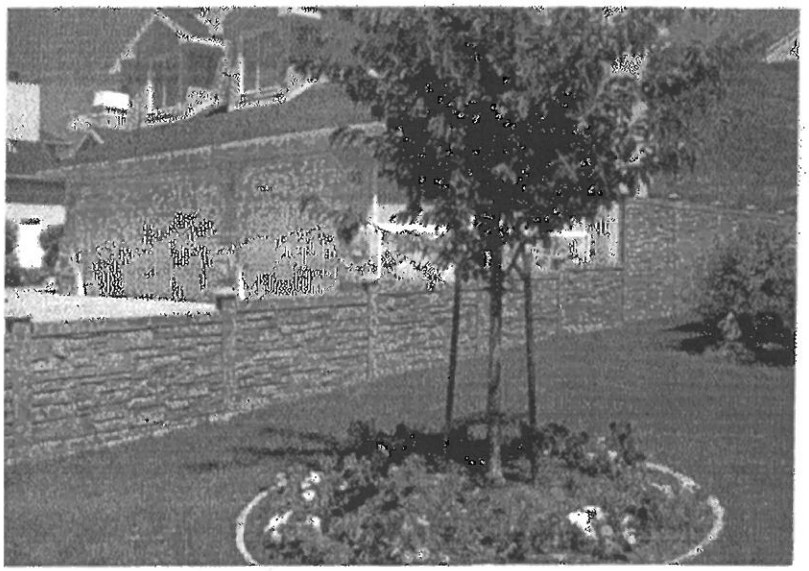
_____ Date 8/4/14 ☐*Insignificant* ■*Significant*
Chairman's Determination *(Max 7 days)*

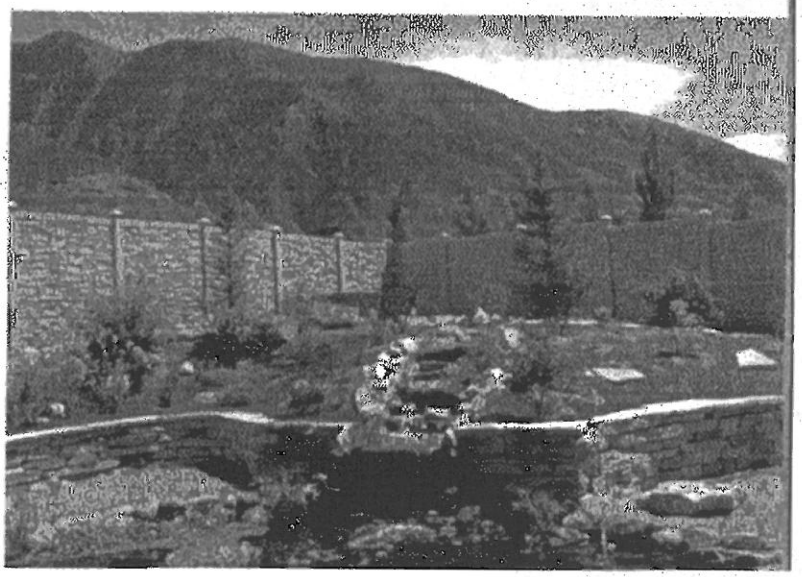
Meeting Date (40 days max. after complete application) _____ Notice to Applicant: _____

APPLICATION FEE:-*$10.00 plus ☐ Board Review*; CERTIFICATE OF APPROPRIATENESS-*$20.00*

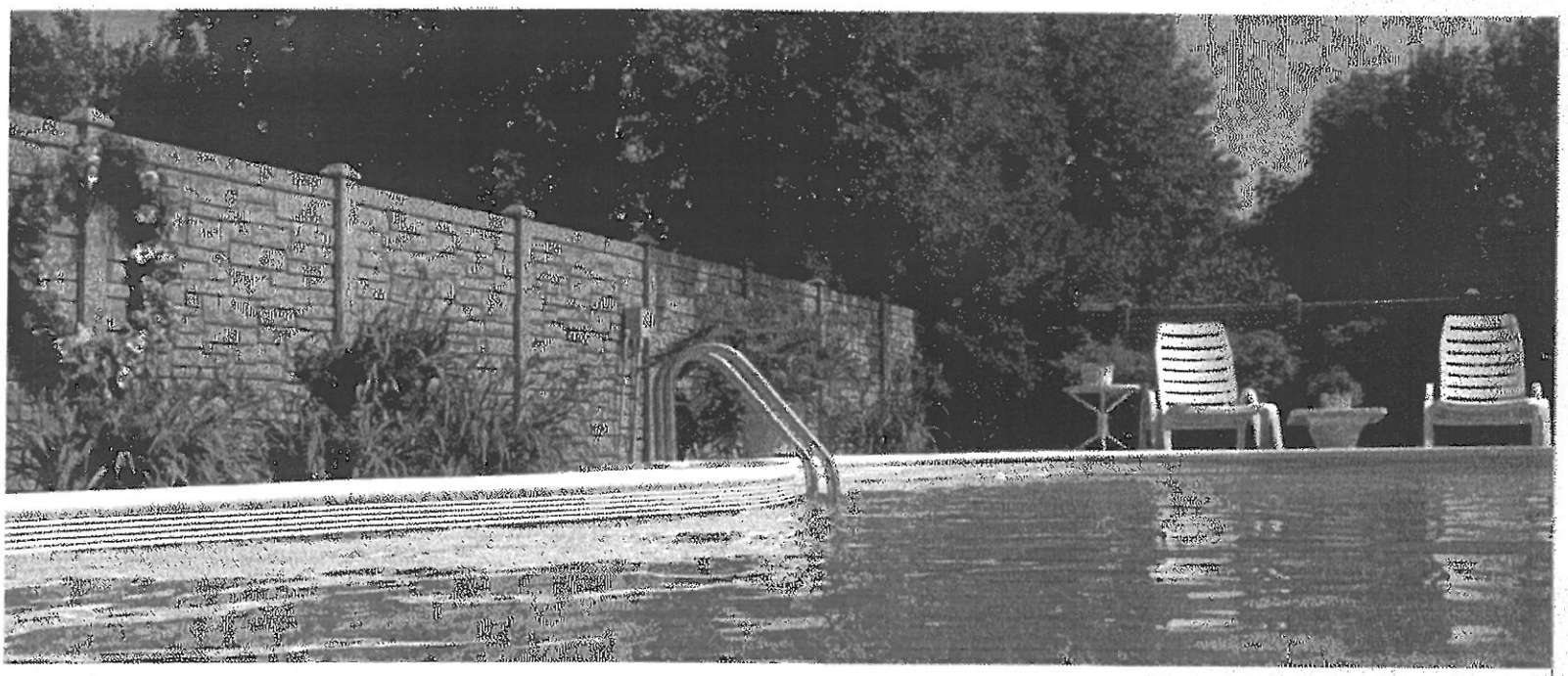








Stunning Beauty - Lifetime Durability



Authentic - Granite-look walls and gates.

Durable - Molded of exceptionally tough polyethylene, reinforced with galvanized steel.

Impact - Superior strength - baseballs, golf balls, and rocks bounce off.

Temperature - Stable in hot and cold weather extremes. Withstands tests at -40° to +140° F.

Wind - Superior wind resistance, 110 mph sustained, 130 mph gusts, certified to Dade County, Florida hurricane requirements.

Fade Resistant - UV stabilized for a lifetime of vibrant color.

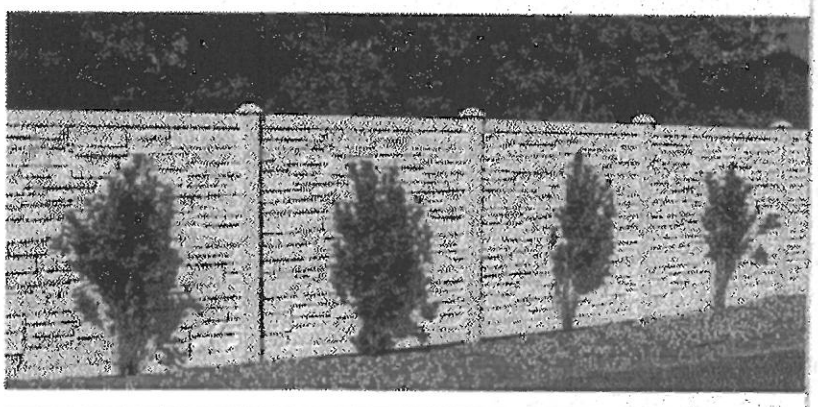
Sound Barrier - Blocks 98% of direct sound. Wood fences block 75%, concrete 100%.

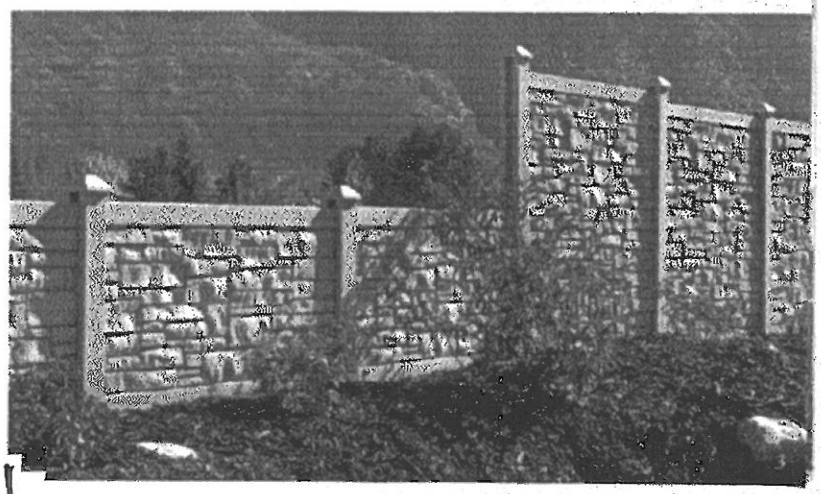
Graffiti Resistant - Easily remove graffiti using a high powered pressure washer.

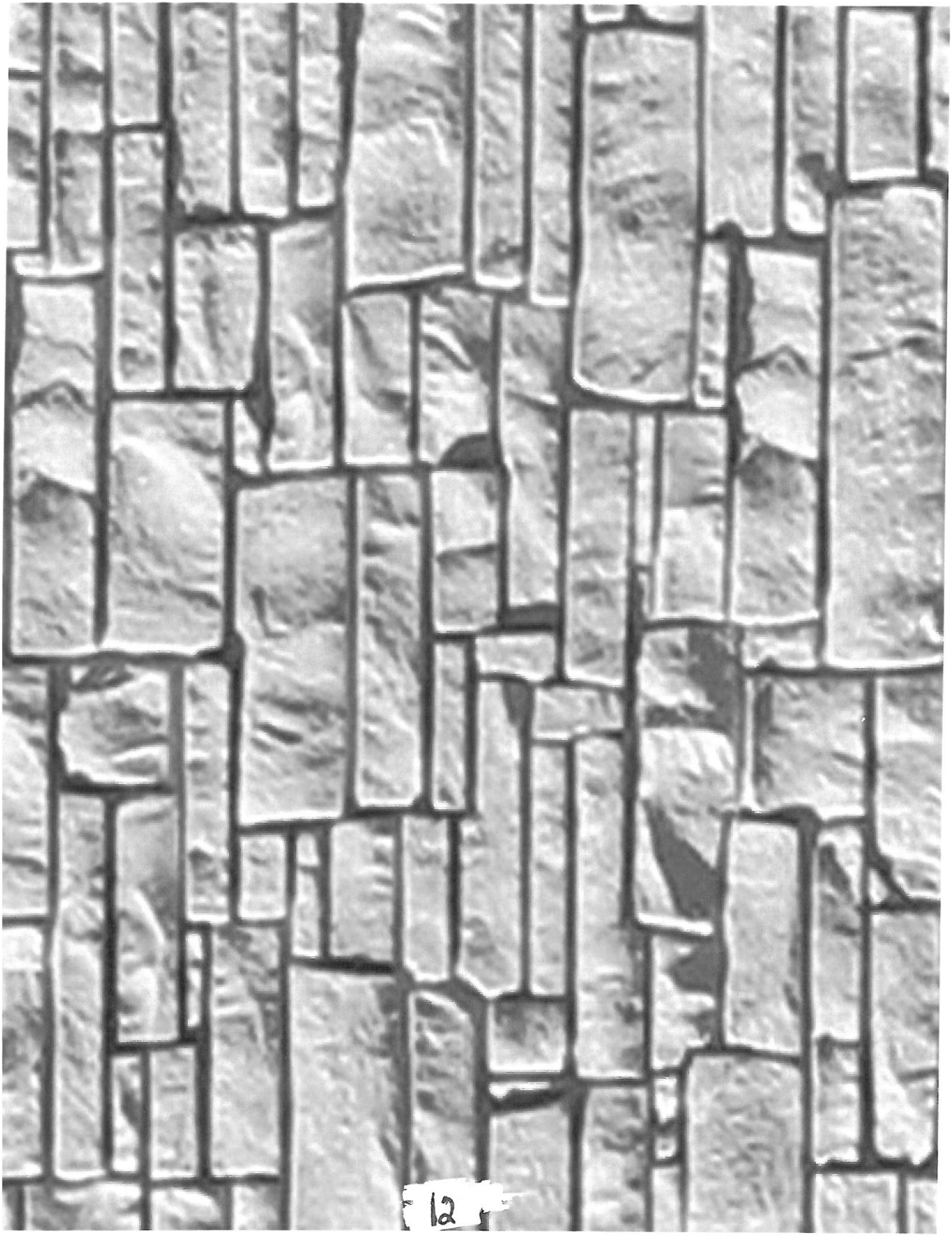
Maintenance Free - Install and enjoy.

Warranty - Manufacturer's Lifetime Warranty.

Made in the USA - out of recycled and new materials.







302 N. Bowie

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	767
Address	302 N. Bowie
Date	1950
Stylistic Influence	
GCAD Hyperlink	R26746
Owner	BIERSCHWALE, CREDIT & LENDING
Historic District	No Outside Historic District
Assessment	Typical example of a common building form, architectural style, or plan type that has suffered severe alterations or deterioration, resulting in a loss of historical integrity.
Notes	

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

108 ? S. Bowie

2002-05 Re-evaluation

☐ High ☐ Medium ☐ Low

Site ID No.	773
Address	108 ? S. Bowie
Date	
Stylistic Influence	
GCAD Hyperlink	
Owner	
Historic District	Yes Historic District
Assessment	Resource is an empty lot.
Notes	

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

109 S. Bowie

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	533
Address	109 S. Bowie
Date	1950
Stylistic Influence	
GCAD Hyperlink	R21134
Owner	WALLACE, GRACE LORAINE
Historic District	Yes Historic District
Assessment	The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority.
Notes	

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

110 S. Bowie

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	774
Address	110 S. Bowie
Date	1905
Stylistic Influence	Queen Anne
GCAD Hyperlink	R28335
Owner	LEE, RONALD E JR
Historic District	Yes Historic District
Assessment	Example of a distinctive building type or architectural style that has suffered severe alterations or deterioration, resulting in a loss of historical integrity.
Notes	Resource has a significant addition

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

202 S. Bowie

2002-05 Re-evaluation

☐ High ☑ Medium ☐ Low

Site ID No.	775
Address	202 S. Bowie
Date	1880
Stylistic Influence	vernacular
GCAD Hyperlink	R58755
Owner	COX, LINDA JANE P
Historic District	Yes Historic District
Assessment	Example of a distinctive building type or architectural style that has undergone alterations or deterioration.
Notes	Garage has been attached to the rear of this resource.

1983 Historic Resources Survey

Previous Site No.	135
Previous Ranking	2
Previous Photo References	
Roll	22 22
Frame	31 32

Historic Review Board
Application Information

Application Number:	14-82
Date:	October 8, 2014
Address:	305 N. Llano
Owner:	Mark and Pam Harman
Applicant:	Pam Harman
Rating:	High
Proposed Modifications:	See attached
Neighborhood Characteristics:	The subject property is in the Historic District.
Staff Comments:	The scope of the project justifies Board review.

General Notes:

The mandatory functions of the Board include the following:

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(2) Paint color and application. Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.
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The advisory functions of the Board include the following:

(1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
(2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
(3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
(4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
(5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
(6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
(7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

Preservation Priority Rating. Three-tier rating system used in the 2002 *Fredericksburg Historic Resource Survey* to evaluate all properties within, and adjoining to, the City's Historic District. Ratings are based upon current determinations of architectural value and integrity and, if known, historical and cultural value, and may be altered from time to time as additional information is discovered or circumstances change.

HIGH rating. The most significant properties identified in the 2002 *Fredericksburg Historic Resource Survey*. These properties are considered to be outstanding, unique, or good examples of architecture, engineering, or design. Some are unique to the Fredericksburg area and are indicative of German-Texan vernacular forms and/or building techniques. Others are noteworthy examples of 19th and early 20th century architectural types, styles, and forms, erected using local building materials and construction technologies. Properties designated with a high rating are to be the most protected from alteration and demolition.

MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

LOW rating. Properties that minimally enhance the district's ability to convey a sense of time and place. These properties may be typical examples of more recent, common local building forms, architectural styles, or plan types; be examples of distinctive building forms, architectural styles, or plan types that have been significantly altered; lack the necessary age to meet the usual fifty (50) year threshold for possible National Register of Historic Places listing and do not appear to meet the National Register of Historic Places standard for exceptional significance for properties less than fifty (50) years of age, but which nevertheless may have relative value within the Historic District, meriting preservation. Properties or improvements with a low rating may be considered for relocation or demolition upon a determination by the Historic Review Board that the same can be accomplished with little or no consequence to the historical, cultural, architectural, or archeological character of the district or property.

14-82

Application for Certificate of Appropriateness

Application Date: 9-22-14 Application Complete: _____

Property Address: 305 N. LLANO

Owner: MARK + PAM HARMAN Phone No. PAM 972-658-5621

Address: 210 E. HACKBERRY

Applicant: PAM Phone No. _____

Address: _____ Fax No. _____

Description of External Alteration/Repair or Demolition: ~~to~~ window trim

Sherman Williams - Emotional # 6621

Use same door frame but instead stationary window on left. Adding 2nd door opening

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site:

paint - grey

Any circumstances or conditions concerning the property which may affect compliance with the ordinance: _____

☐ Drawing ☐ Sketch Date Submitted: _____ ☐ Historic Photograph

Desired Starting Date: _____ Desired Completion Date: 9-20-14

SURVEY RATING: ☑High ☐Medium ☐Low ☐None

☐ RTHL: Estimated Date of Construction _____

APPLICANT SIGNATURE: _____

The Applicant *certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property*

_____ Date _____ ☐*Insignificant* ☐*Significant*

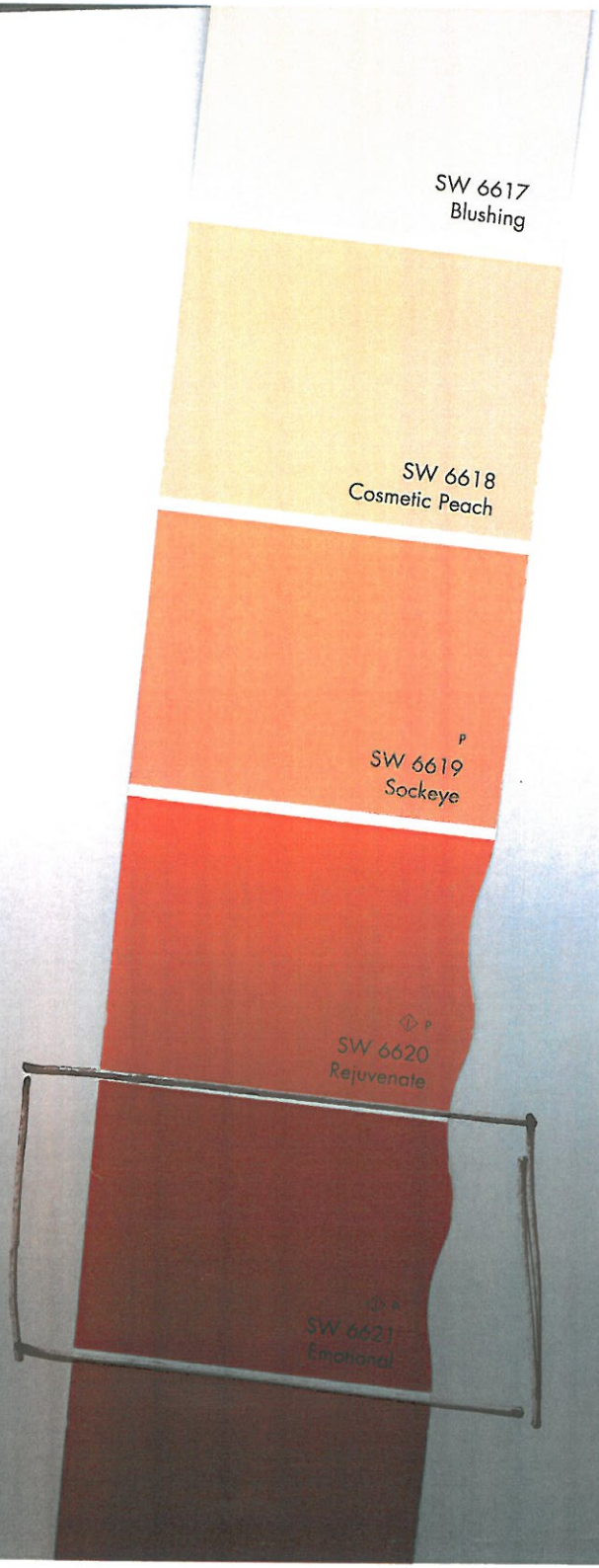
Building Official's Determination *(Max 7 days)*

Joseph Date 9/23/14 ☐*Insignificant* ☑*Significant*

Chairman's Determination *(Max 7 days)*

Meeting Date (40 days max. after complete application) _____ Notice to Applicant: _____

APPLICATION FEE:-*$10.00 plus ☐Board Review*; CERTIFICATE OF APPROPRIATENESS-*$40.00*


SW 6617
Blushing
SW 6618
Cosmetic Peach
P
SW 6619
Sockeye
P
SW 6620
Rejuvenate
P
SW 6621
Emotional

4


2014/10/10


CLOSED
2014/10/10

20

Friday
9-26-14

Tommy –

This is door for
front door of my shop.
305 N. Llano
The Shops on Llano
Painted or stained
whichever would be
approved.

Thanks,
Pam Harman

304 N. Llano

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	825
Address	304 N. Llano
Date	1980
Stylistic Influence	
GCAD Hyperlink	R8123
Owner	TEAGUE INVESTMENTS
Historic District	Yes Historic District
Assessment	The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority.
Notes	

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

305 N. Llano

2002-05 Re-evaluation

☑ High ☐ Medium ☐ Low

Site ID No.	595
Address	305 N. Llano
Date	1900
Stylistic Influence	
GCAD Hyperlink	R29014
Owner	WOERNER WAREHOUSE INC
Historic District	Yes Potential Historic District
Assessment	An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations.
Notes	

1983 Historic Resources Survey

Previous Site No.	363
Previous Ranking	4
Previous Photo References	
Roll	14
Frame	29

308 N. Llano

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	824
Address	308 N. Llano
Date	1970
Stylistic Influence	
GCAD Hyperlink	R18208
Owner	FRITZ, FAMILY ENTERPRIZES LIMITED PARTNERSHIP
Historic District	Yes Historic District
Assessment	The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority.
Notes	

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

408 N. Llano

2002-05 Re-evaluation

☑ High ☐ Medium ☐ Low

Site ID No.	956
Address	408 N. Llano
Date	1900
Stylistic Influence	Craftsman
GCAD Hyperlink	R17519
Owner	ANDERSON, PHILLIP
Historic District	No Local Landmark
Assessment	An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations.
Notes	Brick veneer applied over original exterior; historic read addition; historic garage.

1983 Historic Resources Survey

Previous Site No.	364
Previous Ranking	2
Previous Photo References	
Roll	14
Frame	8

Historic Review Board
Application Information

Application Number:	14-86
Date:	October 8, 2014
Address:	212 E. Schubert
Owner:	William Sutherland
Applicant:	Alex Eskenasy
Rating:	N/A
Proposed Modifications:	New residence
Neighborhood Characteristics:	The subject property is in the Historic District.
Staff Comments:	The scope of the project justifies Board review.

General Notes:

The mandatory functions of the Board include the following:

(1) Removal, addition or modification of architectural detail. The distinguishing historic qualities or character of a building, structure, or site and its environment shall not be destroyed. Removal or modification of any historic material or distinctive architectural features may be accomplished upon issue of certificate of appropriateness; however, this should be avoided when possible. Architectural features include but are not limited to exterior wall materials, windows, railings, decorative woodwork, masonry, or stone elements.
(2) Paint color and application. Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.
(3) New construction in historic districts. The board will review all new construction plans within Historic Districts in order to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion, design harmony and setback.

The advisory functions of the Board include the following:

(1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
(2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
(3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
(4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
(5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
(6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
(7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

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14-86

Application for Certificate of Appropriateness

Application Date: 9/29/14 Application Complete: TES

Property Address: 302 N. LINCOLN STREET, FREDERICKSBURG TX

Owner: WILLIAM SUTHERLAND Phone No. (214) 357-9991

Address: 3211 ARMSTRONG AVE. DALLAS, TX 75205

Applicant: ALEX ESKENASY Phone No. (214) 789-8715

Address: 11316 VALLEYDALE DR. DALLAS TX Fax No.

Description of External Alteration/Repair or Demolition: NEW RESIDENCE, STONE EXTERIOR WALLS & STANDING SEAM METAL ROOF

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site:

THE NEW HOME IS DESIGNED IN THE SCALE & SIMILAR MASSING TO ADJACENT BUILDINGS.

Any circumstances or conditions concerning the property which may affect compliance with the ordinance:

NONE.

☑ Drawing ☐ Sketch Date Submitted: ☐ Historic Photograph

Desired Starting Date: 10/1/14 Desired Completion Date: 8/1/15

SURVEY RATING: ☑High ☐Medium ☐Low ☐None

☐ RTHL: Estimated Date of Construction

APPLICANT SIGNATURE: AEskenasy

The Applicant *certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property*

Date 10/2/14 ☐*Insignificant* ■*Significant*

Building Official's Determination *(Max 7 days)*

Date ☐*Insignificant* ☐*Significant*

Chairman's Determination *(Max 7 days)*

Meeting Date (40 days max. after complete application) Notice to Applicant:

APPLICATION FEE:-*$10.00 plus ☐Board Review*; CERTIFICATE OF APPROPRIATENESS-*$40.00*

RECEIVED SEP 29 2014

September 29, 2014

Historic Review Board
City of Fredericksburg, Texas
126 W. Main St.
Fredericksburg, TX 78624-3708

RE: The Residence for Bill & Patty Sutherland
302 N. Lincoln Street
Fredericksburg, TX 78624

Description:

The historical buildings and homes of Fredericksburg, TX, their presence and heritage, have been the source and the inspiration for the design of the home of Bill & Patty Sutherland.

Through the design process we developed ideas and concepts through hand sketching, 3D modeling, and photography. Each added to the process and was helpful in the development of the project.

Our approach was to analyze and interpret the fundamentals of the historical architecture in the area such as the union of style, aesthetics, materials, livability, and preservation.

We focused on articulating the massing of the building in a manner that would not impose but rather blend in the neighborhood by respecting the scale of adjacent buildings. The taller elements are in the back while the one story areas face the front.

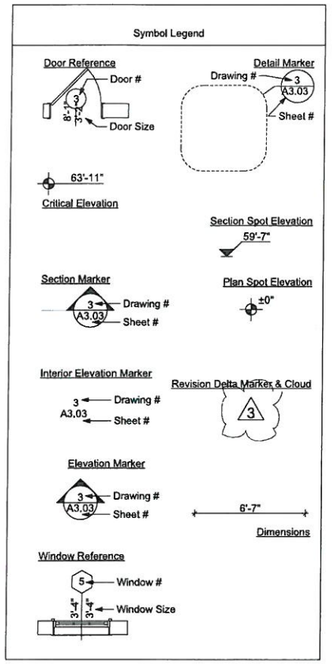
Utilizing vernacular materials shared by other buildings in the community such as stone walls, board and batten surfaces, and metal roofs we feel that we accomplished a building that will integrate and blend in.

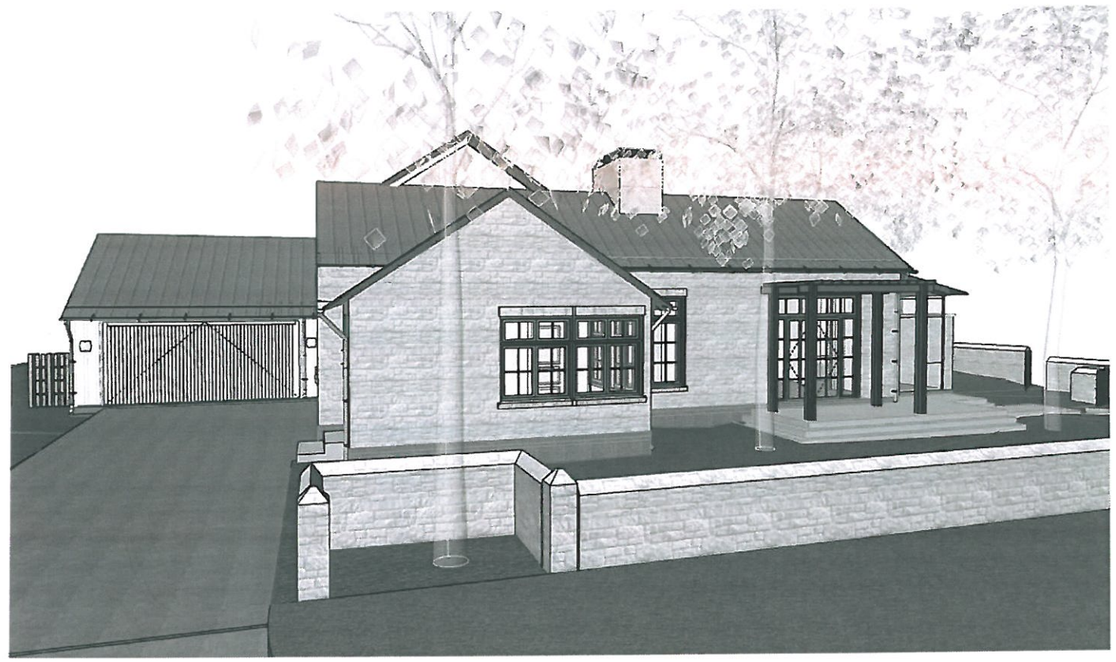
Bill & Patty Sutherland are esteemed members of their community who possess a special talent for human relations. They are accomplished entrepreneurs, respected patrons of the arts, and lovers of architecture and historic preservation.

Sincerely, Alex Eskenasy
Eskenasy Design
Principal

Bill & Patty Sutherland Residence

302 North Lincoln Street Fredericksburg, TX 78624





SHEET INDEX		
Sheet	Name	CD's
A1.01	Cover Sheet	X
A1.02	General Notes	X
A1.03	Survey	X
A1.04	Site Plan	X
A1.05	3D Views	X
A1.06	3D Views	X
A1.20	Proposed1st Floor Plan	X
A1.21	Proposed 2nd Floor Plan	X
A1.22	Proposed Roof Plan	X
A1.40	1st And 2nd Flr RCP	X
A1.50	1st Floor Patterns	
A1.51	2nd Floor Patterns	
A1.60	1st And 2nd Floor Electrical Plan	X
A1.70	Lighting Plans	X
A2.01	East and West Elevations	X
A2.02	North and South Elevations	X
A3.01	Building Sections	X
A3.02	Building Sections	X
A3.03	Building Sections	X
A3.04	Wall Sections	X
A3.05	Wall Sections	X
A4.01	Living Room SW	
A4.02	Dining Room	
A4.03	Kitchen	
A4.04	Master Bedroom	
A4.05	Master Bathroom	
A6.01	Doors And Windows Reference Plans	X
A6.02	Doors And Windows Schedules And Ty...	X
A7.01	Details	X
A7.02	Details	X
A7.03	Bathroom Details	X
A7.04	Chimney Cap Detail	X

ZONING

Fredericksburg TX Zoning
R2 Mixed Residential

Height: 2 1/2 Stories = 28'
Front Yard Minimum Required Setback = 15'-0" & 20'-0" For Garage
Street Side Yard Minimum Required Setback = 15'-0"
Interior Side Yard Minimum Required Setback 5'-0"
Rear Yard:Minimum Required Setback 10'-0"
Residential Density: 1 Bedroom = 2500 Sq.Ft. 2 Bedroom = 3,500 Sq.Ft.
Maximum Impervious Coverage = 65%
Maximum Building Coverage 55% of Lot Area

CONTACTS

GENERAL CONTRACTOR	DESIGN	INTERIORS	STRUCTURAL
Bill Dunn Construction Inc. Bill Dunn 1211 East Main Street Fredericksburg, Texas 78624 phone. 830.990.8500 fax. 830.990.8522 billdunnconstruction@Austin.rr.com	Alex Eskenasy Eskenasy Design 11316 Valleydale Drive Dallas, Texas 75230 (214) 789-8715 Alex@myhousesketch.com	Kenneth Craighead Interiors Kenneth Craighead 1011 Dragon Street Dallas, TX 75207 Cell. 214.855.0779 Off. 214.855.0779 krcjr@aol.com	Hill Country Structural, Inc. Jim Dunn P.E. 603 FM 2093 # 1202, Fredericksburg, TX 78624 (830) 990-4700 jm@hillcountrystructural.com

GREEN

Lavatory Faucets - Average flow flow rate of 2.0 gpm or less.
Toilet - Average flow rate of 1.28 gpf.

Exterior Doors - Weather stripping to be installed
Maximum lamp wattage for incandescent bulbs is 100 watts; compact fluorescents is 32 watts.

Roof will have a properly installed radiant barrier under composition shingles.

A/C Condensers outside of home on west side, away from garage. Air handler and furnace in proposed attic and mechanical areas.

Air filters will be MERV 8 or greater.
Air handler will be sized to maintain air pressure and air flow.
Air filter housing will be airtight.

Coverage Study

Fredericksburg TX Zoning
R2 Mixed Residential

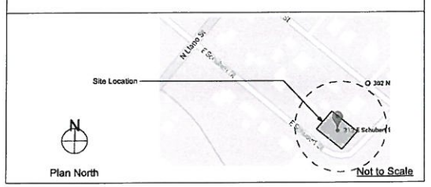
Total Lot Area: 10,355.92 SqFt
Eff Front: 85.87
Eff Depth: 120.60

Building Footprint :xxxx SqFt

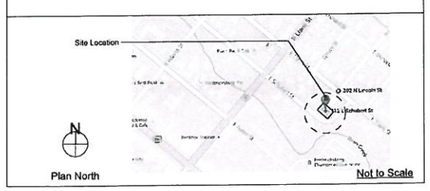
Maximum Building Coverage Allowed = 55% of Lot Area

Proposed Coverage : xx%

SITE VICINITY MAP



SITE LOCATION MAP



Building Areas	
First Floor A/C	2,636.43 sq ft
Garage	595.16 sq ft
Second Floor A/C	641.91 sq ft
Total Non A/C	595.16 sq ft
Total A/C	3,278.34 sq ft

ALEX ESKENASY DESIGN
11316 Valleydale Dr. Dallas, TX 75230
214-789-8715
Alex@myhousesketch.com

ISSUE	DATE	REMARKS
Delta Set △		
Cons. Docs.		
Permit Set		
Pricing	09/18/2014	Not For Construction

Bill & Patty Sutherland Residence

#Architect Address1

Sheet Title: Cover Sheet

Sheet Number: A1.01

9/28/2014

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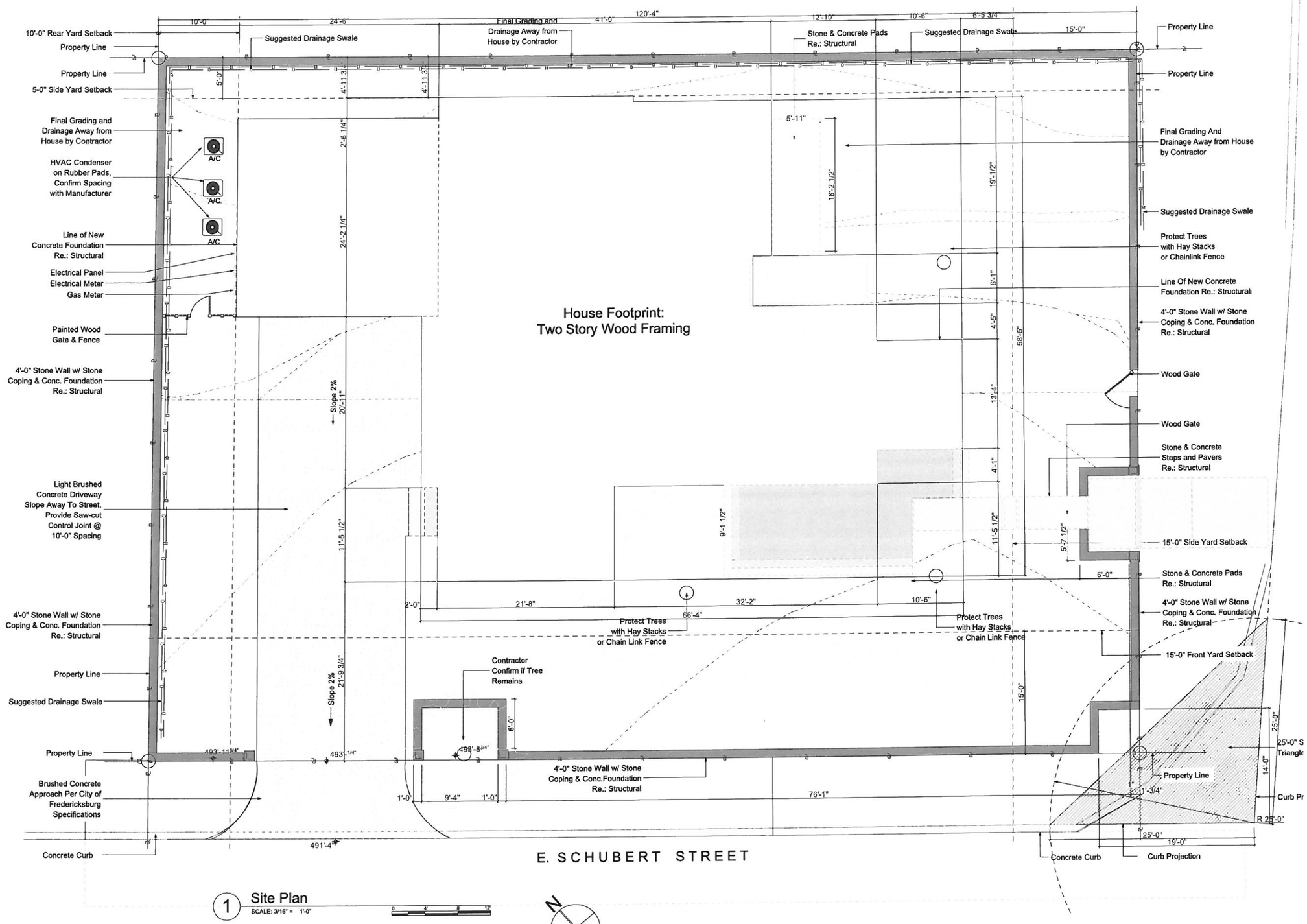
27



1 Site Plan
SCALE: 3/16" = 1'-0"

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ALEX ESKENASY DESIGN
11316 Valley Lake Dr. Dallas, TX 75230
214-799-8715 Alex@myweb-sketch.com

ISSUE	DATE	REMARKS
Delta Set Δ		
Cons. Docs.		
Permit Set		
Pricing	09/19/2014	Not For Construction

Bill & Patty Sutherland Residence

Site Plan

#Architect Address1

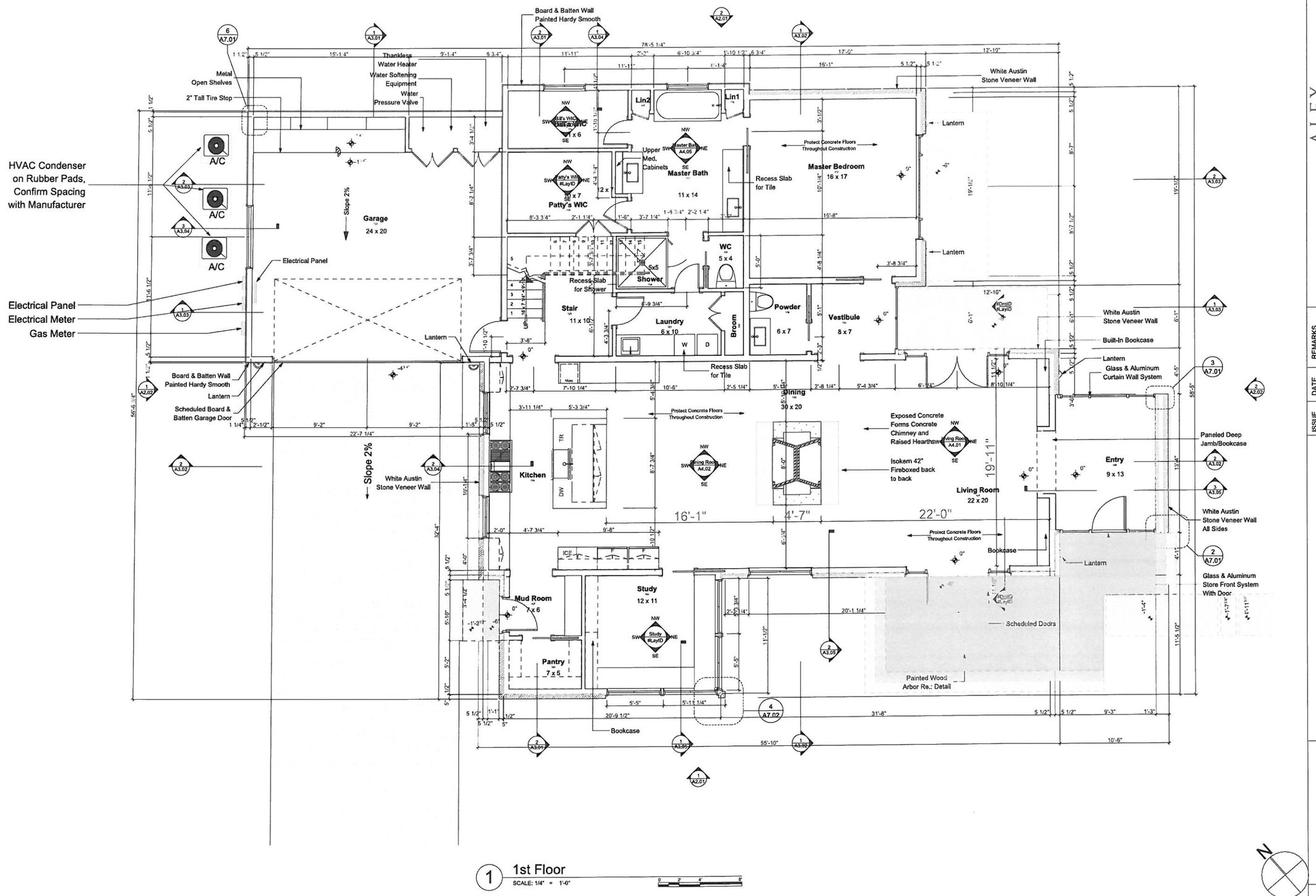
A1.04

Sheet Title

Sheet Number

9/28/2014

28



1 1st Floor
SCALE: 1/4" = 1'-0"

ALEX ESKENASY DESIGN
11316 Valle dale Dr Dallas, TX 75230
214-769-8712
Alex@mydesignsketch.com

ISSUE	DATE	REMARKS
Delta Set Δ		
Cons. Docs.		
Permit Set		
Pricing	09/18/2014	Not For Construction

Bill & Patty Sutherland Residence

Proposed1st Floor Plan

Sheet Title

#Architect Address1

A1.20

Sheet Number

9/28/2014

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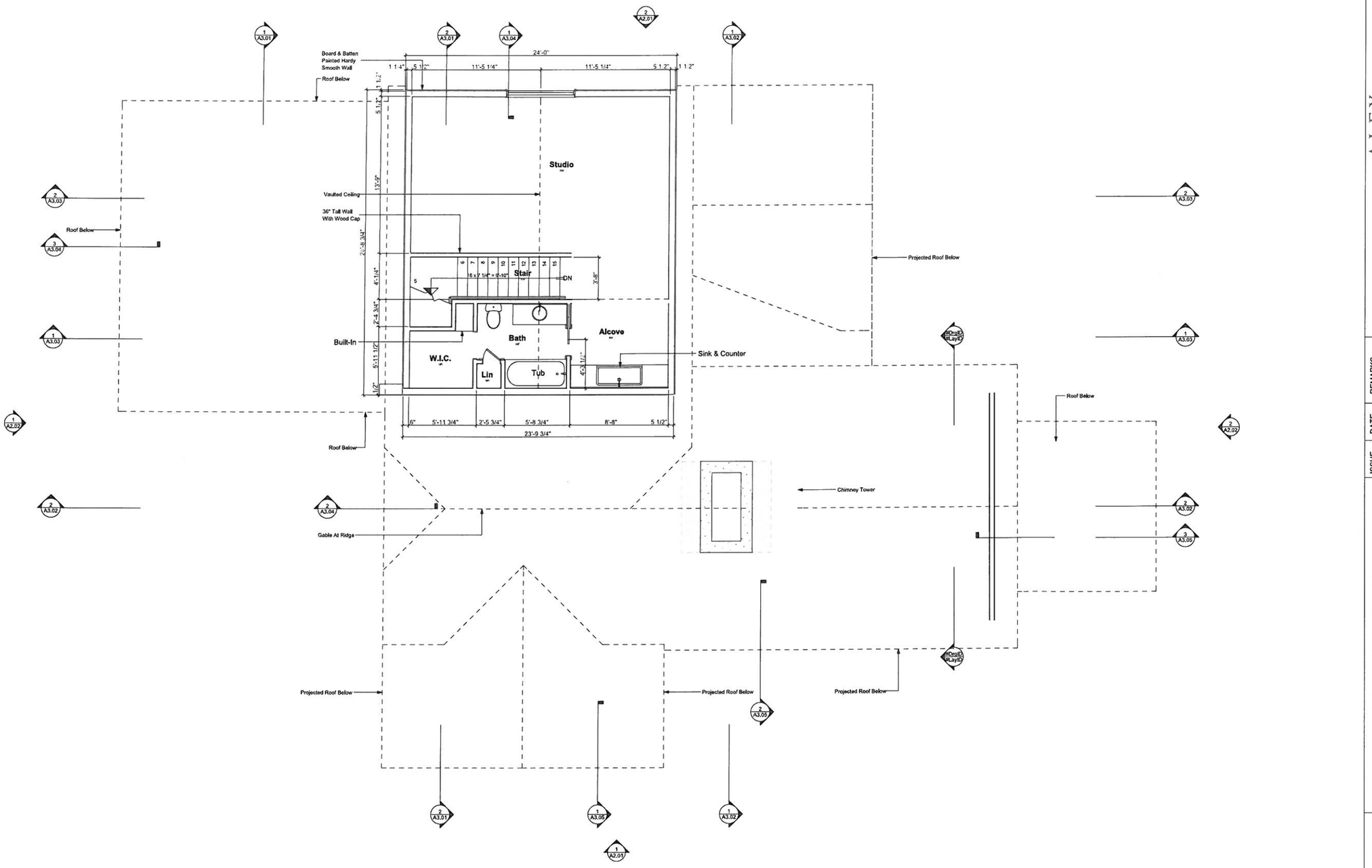
29



1 2nd Floor
SCALE: 1/4" = 1'-0"

N

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ALEX ESKENASY DESIGN
11316 Valleydale Dr. Dallas, TX 75230
214-799-8715 Alex@houseseed.com

ISSUE	DATE	REMARKS
Delta Set Δ		
Cons. Docs.		
Permit Set		
Pricing	09/19/2014	Not For Construction

Bill & Patty Sutherland Residence

Proposed 2nd Floor Plan

Sheet Title

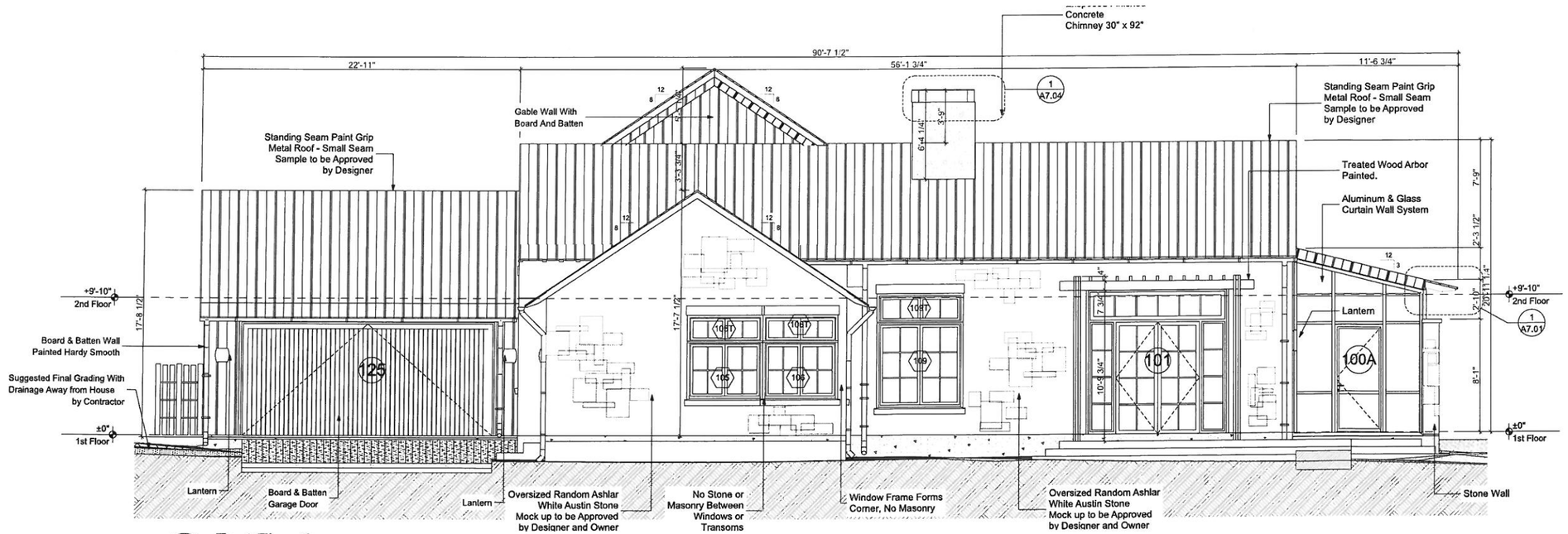
#Architect Address1

A1.21

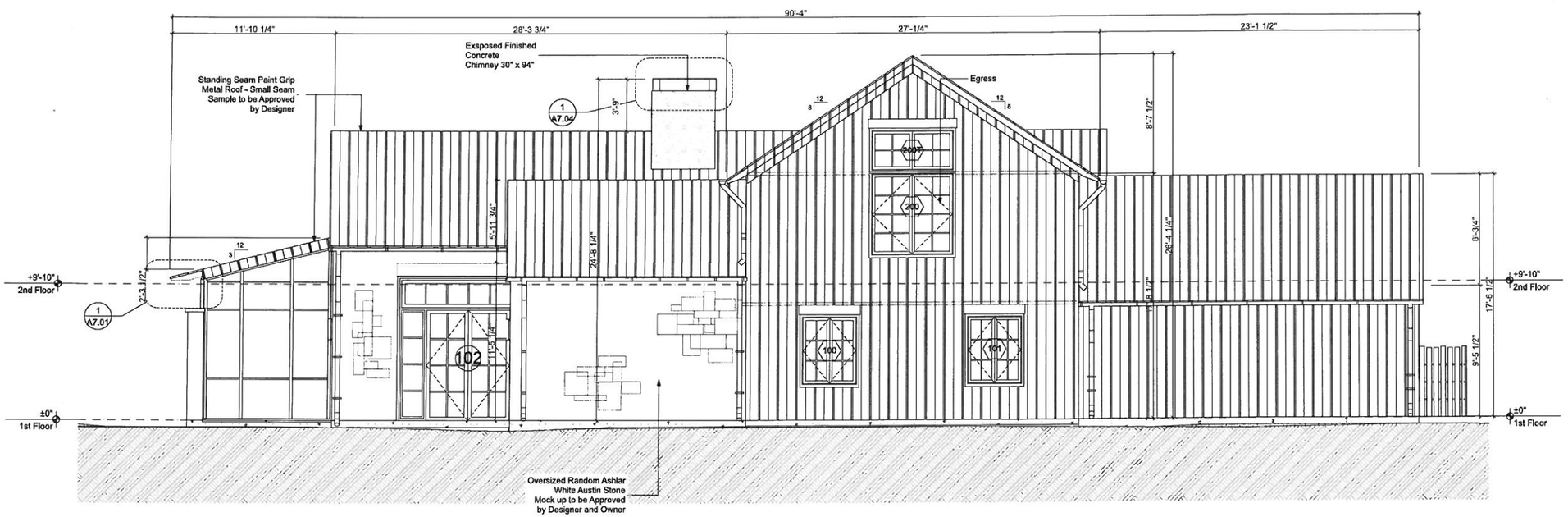
Sheet Number

9/28/2014

30



1 East Elevation
SCALE: 1/4" = 1'-0"



2 West Elevation
SCALE: 1/4" = 1'-0"

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ALEX ESKENASY DESIGN
11316 Valkdale Dr. Dallas, TX 75230
214-789-8715 Alex@myhousesketch.com

ISSUE	DATE	REMARKS
Delta Set		
Cons. Docs.		
Permit Set		
Pricing	09/18/2014	Not For Construction

Bill & Patty Sutherland Residence

Sheet Title: East and West Elevations

#Architect Address1

Sheet Number: A2.01

9/28/2014

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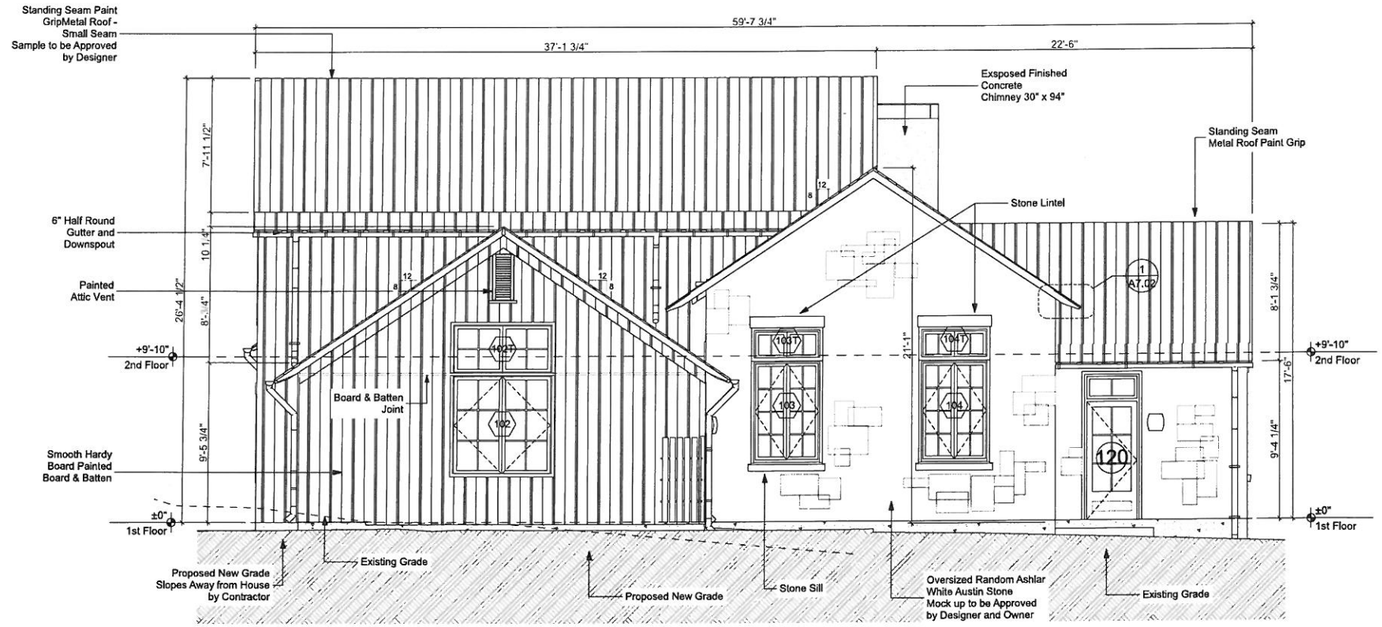
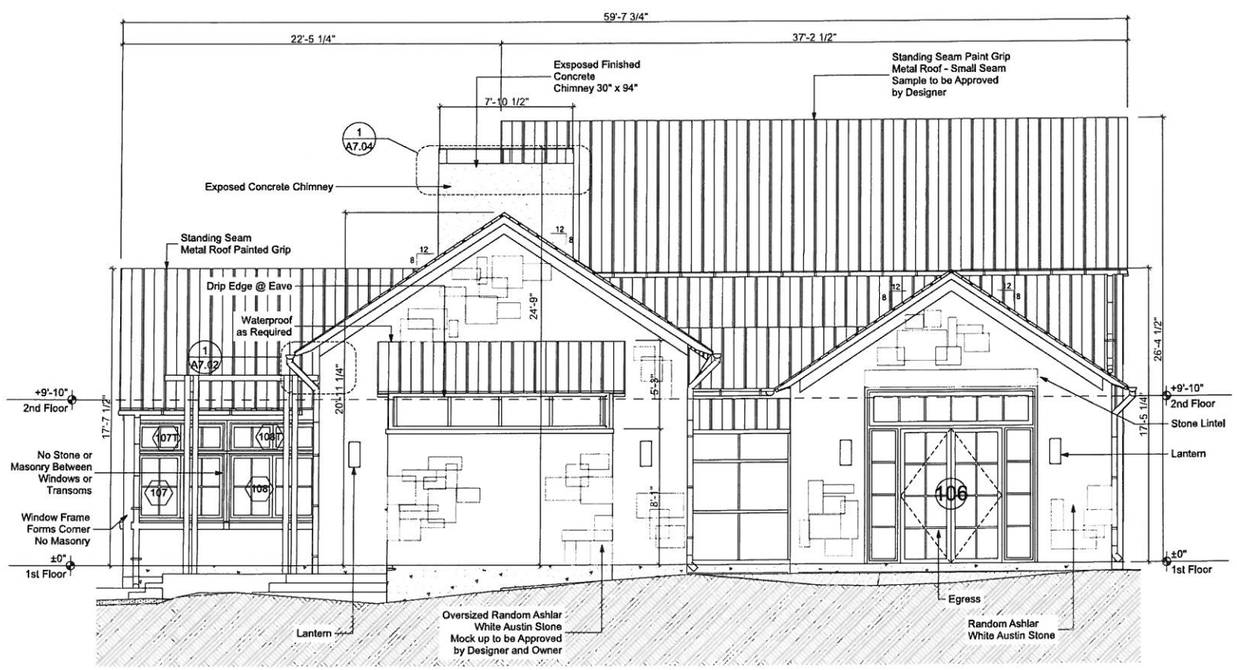


1 North Elevation
SCALE: 1/4" = 1'-0"



2 South Elevation
SCALE: 1/4" = 1'-0"

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32

ALEX ESKENASY DESIGN
11310 Valleydale Dr Dallas, TX 75230
214-789-8712
Alex@mybluesketch.com

ISSUE	DATE	REMARKS
Delta Set		
Cons. Docs.		
Permit Set		
Pricing	09/18/2014	Not For Construction

Bill & Patty Sutherland Residence

Facade directions

North and South Elevations

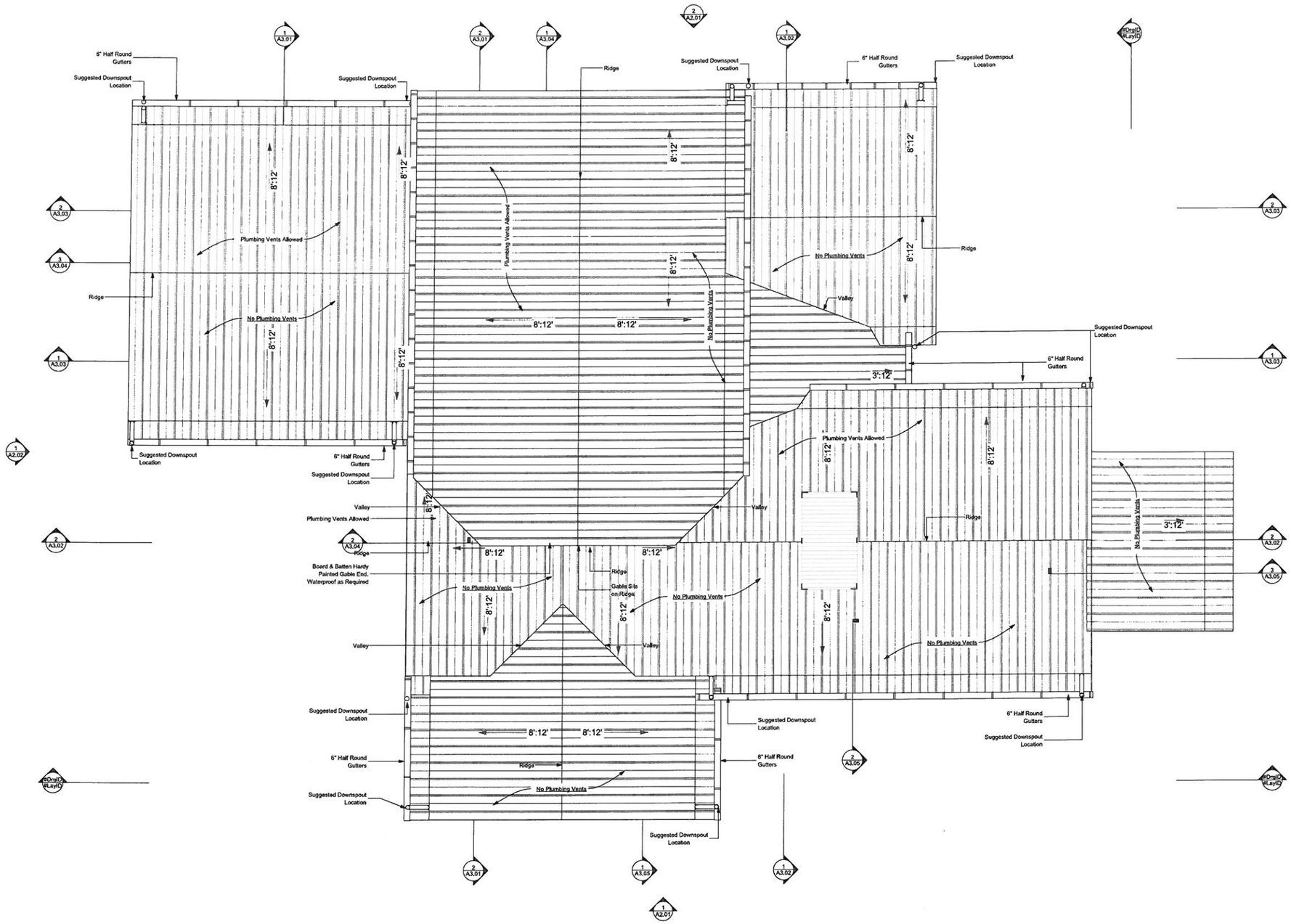
#Architect Address1

A2.02

Sheet Number

Sheet Title

9/28/2014



1 Roof Plan
SCALE: 1/4" = 1'-0"

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ALEX ESKENASY DESIGN
11516 Valleydale Dr. Dallas, TX 75230
214-785-5715
Alex@mylittlesketch.com

ISSUE	DATE	REMARKS
Delta Set Δ		
Cons. Docs.		
Permit Set		
Pricing	09/18/2014	Not For Construction

Bill & Patty Sutherland Residence

Proposed Roof Plan

Sheet Title

#Architect Address1

A1.22

Sheet Number

9/28/2014

33

Historic Review Board
Application Information

Application Number:	14-87
Date:	October 8, 2014
Address:	515 W. Main
Owner:	Becky Brickner
Applicant:	Sarah Eckert
Rating:	Low
Proposed Modifications:	Demo all buildings on property
Neighborhood Characteristics:	The subject property is in the Historic District.
Staff Comments:	The scope of the project justifies Board review.

General Notes:

The mandatory functions of the Board include the following:

(1) Removal, addition or modification of architectural detail. The distinguishing historic qualities or character of a building, structure, or site and its environment shall not be destroyed. Removal or modification of any historic material or distinctive architectural features may be accomplished upon issue of certificate of appropriateness; however, this should be avoided when possible. Architectural features include but are not limited to exterior wall materials, windows, railings, decorative woodwork, masonry, or stone elements.
(2) Paint color and application. Traditionally, the base colors of Fredericksburg's buildings have been soft muted shades of greens, blues, whites, and tans. In order to continue the historic integrity of the buildings in the district, these colors continue to be acceptable today, and do not require review or issuance of a certificate. The building official shall determine whether or not the proposed color is within the approved list of colors. Base colors such as vibrant or "hot" shades, dark deep shades, and black shades are not acceptable. If one wishes to use these colors, a certificate of appropriateness must be granted in advance of paint application. The painting of existing historic buildings composed of materials such as unpainted stone or unpainted masonry is prohibited.
(3) New construction in historic districts. The board will review all new construction plans within Historic Districts in order to ensure visual compatibility with the surrounding buildings and environment in relation to height, gross volume, proportion, design harmony and setback.

The advisory functions of the Board include the following:

(1) The effect of the proposed change on the general historic, cultural, and architectural nature of the historic district or landmark.
(2) The appropriateness of exterior architectural features which can be seen from a public street, alley, or walkway.
(3) The general design, arrangement, texture, color, and material of the building, or structure, and the relation of such factors to similar features of buildings, or structures, in the district. This consideration shall not be the aesthetic appeal of the structure to the board nor the proposed remodeling, but rather its conformity to the general character of the particular historic area involved.
(4) Conformance of signage to the general historic, cultural, and architectural character of the historic district or landmark.
(5) The effects of the proposed change to the value of the historic district or landmark as an area of unique interest and character.
(6) The general and specific Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, as issued by the secretary of the interior.
(7) The importance of finding a way to meet the current needs of the property owner and the importance of approving plans that will be economically reasonable for the property owner to carry out.

Preservation Priority Rating. Three-tier rating system used in the 2002 *Fredericksburg Historic Resource Survey* to evaluate all properties within, and adjoining to, the City's Historic District. Ratings are based upon current determinations of architectural value and integrity and, if known, historical and cultural value, and may be altered from time to time as additional information is discovered or circumstances change.

HIGH rating. The most significant properties identified in the 2002 *Fredericksburg Historic Resource Survey*. These properties are considered to be outstanding, unique, or good examples of architecture, engineering, or design. Some are unique to the Fredericksburg area and are indicative of German-Texan vernacular forms and/or building techniques. Others are noteworthy examples of 19th and early 20th century architectural types, styles, and forms, erected using local building materials and construction technologies. Properties designated with a high rating are to be the most protected from alteration and demolition.

MEDIUM rating. Properties that may or may not be identified as architecturally significant on an individual basis, but are nonetheless valuable resources that add to the Historic District's overall character, and may be so ranked due to their or its proximity or contribution to the cultural, historic, architectural, or archeological character of the Historic District or surrounding properties. These properties may have been moderately altered or are typical examples of a common architectural style or form, but generally retain their historic integrity to a good or moderate degree. Properties designated with a medium rating shall be protected from demolition and where possible will be required or encouraged to maintain or improve architectural features.

LOW rating. Properties that minimally enhance the district's ability to convey a sense of time and place. These properties may be typical examples of more recent, common local building forms, architectural styles, or plan types; be examples of distinctive building forms, architectural styles, or plan types that have been significantly altered; lack the necessary age to meet the usual fifty (50) year threshold for possible National Register of Historic Places listing and do not appear to meet the National Register of Historic Places standard for exceptional significance for properties less than fifty (50) years of age, but which nevertheless may have relative value within the Historic District, meriting preservation. Properties or improvements with a low rating may be considered for relocation or demolition upon a determination by the Historic Review Board that the same can be accomplished with little or no consequence to the historical, cultural, architectural, or archeological character of the district or property.

14-87

Application for Certificate of Appropriateness

Application Date: 2 Oct 2014 Application Complete: _____

Property Address: 515 West Main St.

Owner: Becky Brickner Phone No. (830) 992.9075

Address: 507 West Main - Fbg TX 78624

Applicant: Sarah Eckert Phone No. (830) 998.8666

Address: 110 N. Milam, PMB #140 - Fbg TX 78624 Fax No. _____

Description of External Alteration/Repair or Demolition: Demolish all buildings on property

Description of how the proposed change will be in character with the architectural or historic aspect of the structure or site: _____

Any circumstances or conditions concerning the property which may affect compliance with the ordinance: _____

☐ Drawing ☐ Sketch Date Submitted: _____ ☐ Historic Photograph

Desired Starting Date: _____ Desired Completion Date: _____

SURVEY RATING: ☐High ☐Medium ☒Low ☐None

☐ RTHL: Estimated Date of Construction _____

APPLICANT SIGNATURE: Sarah B. Eckert

The Applicant *certifies that he/she is the Owner or duly authorized Agent for the Owner of the Property*

_____ Date _____ ☐*Insignificant* ☐*Significant*

Building Official's Determination *(Max 7 days)*

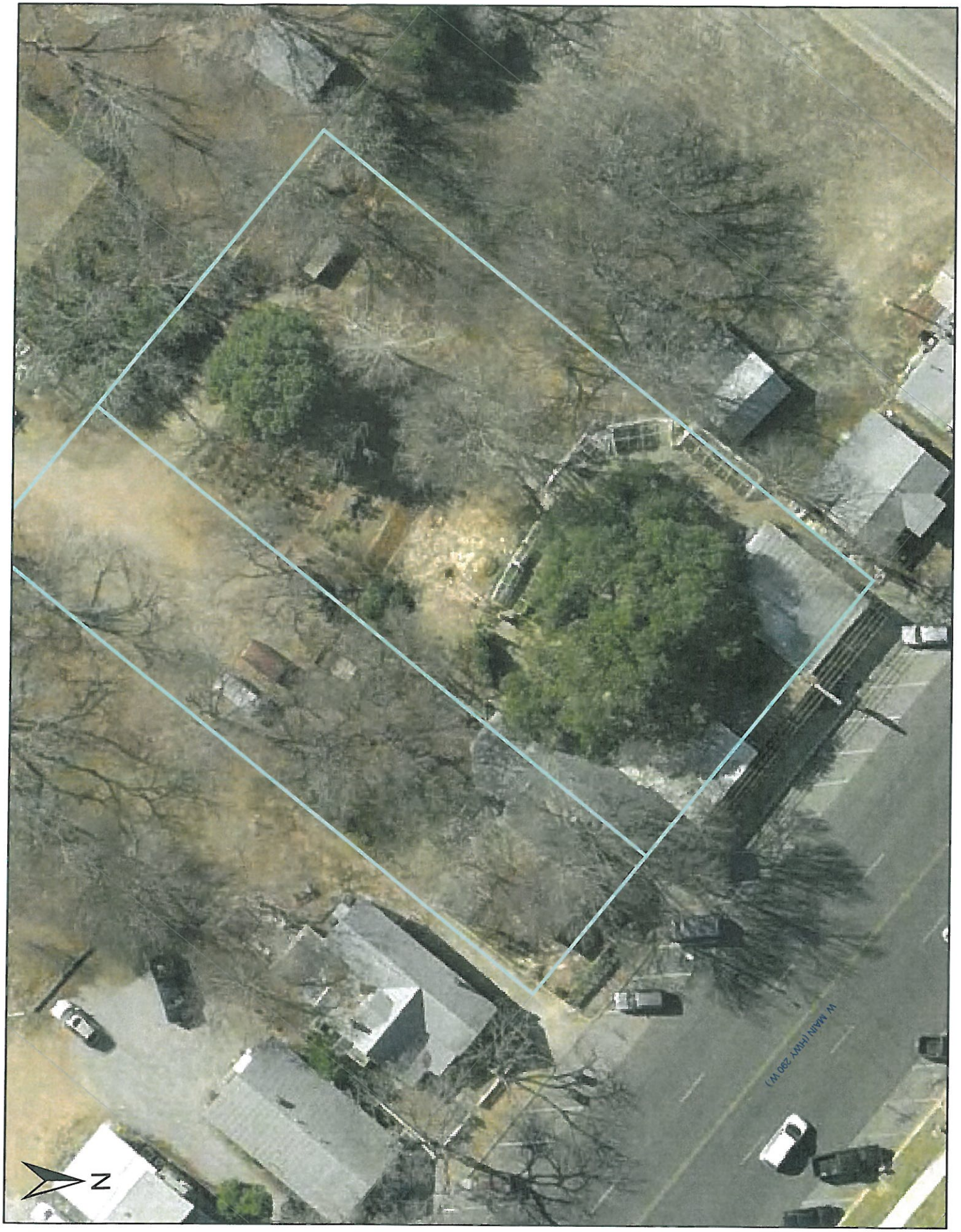
_____ Date 10/7/14 ☐*Insignificant* ☒*Significant*

Chairman's Determination *(Max 7 days)*

Meeting Date (40 days max. after complete application) _____ Notice to Applicant: _____

APPLICATION FEE:-*$10.00 plus ☐Board Review*; CERTIFICATE OF APPROPRIATENESS-*$40.00*

RECEIVED
OCT 02 2014


W MAIN (HWY 290 W)
N

515 W. Main

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	224
Address	515 W. Main
Date	1920
Stylistic Influence	
GCAD Hyperlink	R15184
Owner	DODDS, JOHN W
Historic District	Yes Historic District
Assessment	Example of a distinctive building type or architectural style that has suffered severe alterations or deterioration, resulting in a loss of historical integrity.
Notes	

1983 Historic Resources Survey

Previous Site No.	504
Previous Ranking	3
Previous Photo References	
Roll	33
Frame	11

516 W. Main

2002-05 Re-evaluation

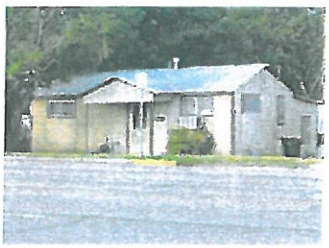
☑ High ☐ Medium ☐ Low

Site ID No.	335
Address	516 W. Main
Date	1920
Stylistic Influence	Craftsman
GCAD Hyperlink	R24054
Owner	METZGER, DIANE
Historic District	Yes Historic District
Assessment	Outstanding example of a unique building plan that displays distinctive stylistic features and retains original materials. Outstanding decorative features contribute to the resource's significance.
Notes	

1983 Historic Resources Survey

Previous Site No.	505
Previous Ranking	3
Previous Photo References	
Roll	33
Frame	20

519 W. Main



2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	223
Address	519 W. Main
Date	1950
Stylistic Influence	
GCAD Hyperlink	R13749
Owner	CANCINO, RAMONA-LIFE ESTATE-D/O JULIA CANCINO ETAL
Historic District	Yes Historic District
Assessment	Example of a more recent common local building form, architectural style or plan type with no known historical associations. Resource has undergone alterations.
Notes	

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

520 W. Main

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	334
Address	520 W. Main
Date	1960
Stylistic Influence	
GCAD Hyperlink	R24634
Owner	HOERSTER, RICHARD ETAL
Historic District	Yes Historic District
Assessment	The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority. Resource has undergone alterations.
Notes	Stucco and fixed-framed windows added to central, gabled-roof mass.

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

Fredericksburg, Texas: Historic Resources Survey Update of 2002-05

The Fredericksburg Historic Resources Supplemental Survey (2004-2005) includes a reevaluation of historic properties that had been initially identified in the 1983 Fredericksburg Historic Survey and given either a "3" or "4" priority ranking. The current survey effort also evaluated additional historic-age resources that had not been previously surveyed because they were located outside the 1983 survey boundaries, their date of construction did not met the 50-year age threshold during the initial survey, or they had been moved to their current locations after the 1983 survey was completed. Survey team members took digital images and recorded salient architectural features for each targeted property. Each surveyed property was also assigned a unique site number that was used for mapping and photographic identification purposes. In addition, all digital images taken during field investigations incorporate the site number and photo sequence number in their file names. The survey team also accessed information from the 1983 historic resources survey for cross-referencing purposes. The category GCAD Hyperlink is the parcel number that the Gillespie County Appraisal District assigned to the identified property and was obtained at the following website: www.texascountydata.com. Data in the GCAD Hyperlink and Owner categories reflect conditions at the time of the survey and may have changed since the survey was completed. The following is a comprehensive inventory that includes all resources identified during the supplementary survey in addition to those properties identified in the 2002-2003 Fredericksburg Historic Resources Survey Update.

Inventory of Properties

105 N. Acorn

2002-05 Re-evaluation

☐ High ☑ Medium ☐ Low

Site ID No.	525
Address	105 N. Acorn
Date	1880
Stylistic Influence	vernacular
GCAD Hyperlink	R28936
Owner	TRAVIS, GORDON D ETUX
Historic District	Yes Historic District
Assessment	Example of a distinctive building type or architectural style that has undergone alterations or deterioration.
Notes	Exterior walls reclad with aluminum siding.

1983 Historic Resources Survey	
Previous Site No.	1
Previous Ranking	2
Previous Photo References	
Roll	29 29
Frame	5 6

106 N. Acorn

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	759
Address	106 N. Acorn
Date	1955
Stylistic Influence	
GCAD Hyperlink	R17764
Owner	KUNZE, F J & LUCYLLE
Historic District	No Outside Historic District
Assessment	Typical example of a common building form, architectural style, or plan type that has suffered severe alterations or deterioration, resulting in a loss of historical integrity.
Notes	

1983 Historic Resources Survey	
Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

107 N. Acorn

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	524
Address	107 N. Acorn
Date	1993
Stylistic Influence	vernacular
GCAD Hyperlink	R63815
Owner	TRAVIS, GORDON D ETUX
Historic District	Yes Historic District
Assessment	The resource's construction date fails to meet the age threshold for designation as a high or medium preservation priority.
Notes	

1983 Historic Resources Survey	
Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	


Acorn House
2014/09/25


2014/09/25


2014/09/25


2014/09/25


2014/09/25


2014/09/25

308 S. Llano

2002-05 Re-evaluation

☐ High ☐ Medium ☑ Low

Site ID No.	978
Address	308 S. Llano
Date	1895
Stylistic Influence	Vernacular
GCAD Hyperlink	R29102
Owner	WUNDERLICH, RUBIN
Historic District	No Outside Historic District
Assessment	Example of a distinctive building type or architectural style that has suffered severe alterations or deterioration, resulting in a loss of historical integrity.
Notes	large non-historic additions;original windows changed; original porch enclosed; asbestos shingles added

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

101 E. Main

2002-05 Re-evaluation

☑ High ☐ Medium ☐ Low

Site ID No.	268
Address	101 E. Main
Date	1874
Stylistic Influence	vernacular
GCAD Hyperlink	R24003
Owner	PENICK, JIMMY R ETAL D/B/A M/J INV
Historic District	Yes Historic District
Assessment	An outstanding, unique, or good representative example of architecture with only minor alterations or no alterations.
Notes	

1983 Historic Resources Survey

Previous Site No.	382
Previous Ranking	2
Previous Photo References	
Roll	17 17
Frame	25 26

102 E. Main

2002-05 Re-evaluation

☐ High ☑ Medium ☐ Low

Site ID No.	366
Address	102 E. Main
Date	1920
Stylistic Influence	
GCAD Hyperlink	R16605
Owner	SCULLY, DANIEL J III & ELAINE
Historic District	Yes Historic District
Assessment	Example of a distinctive building type or architectural style that has undergone alterations or deterioration.
Notes	Front façade transom windows covered w/plywood.

1983 Historic Resources Survey

Previous Site No.	383
Previous Ranking	3
Previous Photo References	
Roll	34
Frame	17

106 E. Main

2002-05 Re-evaluation

☐ High ☑ Medium ☐ Low

Site ID No.	367
Address	106 E. Main
Date	1920
Stylistic Influence	
GCAD Hyperlink	R16605
Owner	SCULLY, DANIEL J III & ELAINE
Historic District	Yes Historic District
Assessment	Example of a distinctive building type or architectural style that has undergone alterations or deterioration.
Notes	Front façade transom windows covered w/plywood.

1983 Historic Resources Survey

Previous Site No.	
Previous Ranking	
Previous Photo References	
Roll	
Frame	

107 -109 E. Main

2002-05 Re-evaluation

☐ High ☑ Medium ☐ Low

Site ID No.	269
Address	107 -109 E. Main
Date	1900
Stylistic Influence	
GCAD Hyperlink	R16073
Owner	HELLUMS, JESSE M
Historic District	Yes Historic District
Assessment	Example of a distinctive building type or architectural style that has undergone alterations or deterioration.
Notes	

1983 Historic Resources Survey

Previous Site No.	384
Previous Ranking	2
Previous Photo References	
Roll	17
Frame	24


the SECRET GARDEN
2014/10/10


2014/10/10

46


50
2014/10/10


5
2014/10/10


2014/10/10


53
2014/10/10

DATE: October 3, 2014

TO: Historic Review Board

FROM: Brian Jordan, AICP

SUBJECT: Discuss Design Standards and Guidelines for Entry Corridors from the proposed Comprehensive Plan Issues Update

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Summary:

Design Workshop presented the draft Comprehensive Plan Issues Uptate document to the City Council and Planning and Zoning Commission on July 21, 2014. There was significant discussion and a number of concerns raised at this meeting. It was decided that the process for consideration would be slowed down, giving time for additional community input and additional workshops for discussion. The initial worksession which included the Council, Planning and Zoning Commission and the Historic Review Board was held on September 8, 2014. The primary focus of this meeting was to discuss the Gateways Plan and the Design Standards and Guidelines for Entry Corridors. The second meeting of this group was held on September 22, 2014, where the primary focus was on the Sidewalk and Trails Plan.

It was decided at this time by the City Council that they would like for the Planning and Zoning Commission and Historic Review Board to have further review of the Design Standards and Guidelines for Entry Corridors, and come up with a recommendation on whether to include all or a portion of the elements suggested.

Recommendation:

Discuss each of the 14 Design Standards and Guidelines and determine whether all or a portion of these standards and guidelines should be applied to development within the proposed gateways. These standards include architectural style, architectural materials, architectural color, architectural features, massing and scale, signage, building height, setbacks and frontage, landscaping, lighting, service areas, parking and access, drainage and stormwater, and streetscape.

Please bring your draft of the Comprehensive Plan Issues Update with you to the meeting.

Background / Analysis:

The current Comprehensive Plan was updated in 2006. For the most part, the plan has served the community well and there have been a number of items accomplished. It was determined at a Council Retreat in June, 2013, that the city would do a partial update rather than a complete update. The issues that were identified as not being accomplished from the 2006 Plan and being the highest priority were the Sidewalk and Trails Plan, Gateways Plan and Design Standards and Guidelines for Entry Corridors.

Based on the two worksessions that were held recently, the Sidewalk and Trails Plan as well as the Gateways Plan has generally been agreed upon. It is the application of the Design Standards and Guidelines that the Council felt needed additional consideration.

1. ARCHITECTURAL STYLE

Intent

Architectural style is the overall character or design of a building that makes it identifiable. The style is typically determined by the period when a building was built, and the culture that built it. The architecture in the Historic District can be defined as eclectic, with multiple techniques and styles throughout the area.

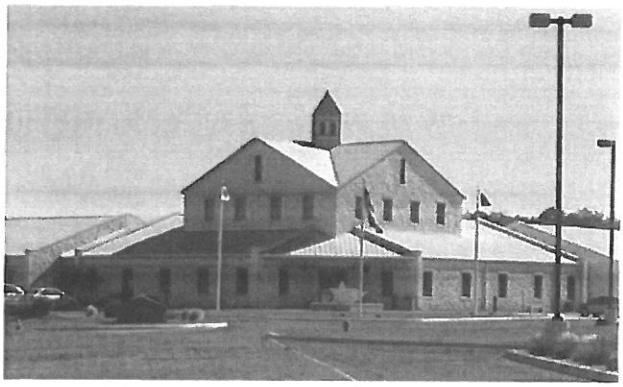
Historically, the settlers to the hills of central Texas brought their carpentry and stone mason skills to their buildings. The locally available white limestone and later brown sandstone were used with the local cedar to construct the well-crafted buildings throughout the region. The more rustic simple nature of Texas Hill Country style is also due to the lean times when the area was being settled, resulting in a simple style. The Hill Country style has a modern elegance because of its simplicity, materials and craftsmanship in construction.

The intent of the Architectural Style Standards are to:

- Create a uniform and cohesive corridor of development;
- Preserve the City's historic and cultural resources, so that they contribute to the special character and quality of Fredericksburg;
- Protect historic resources; and
- Encourage adaptive reuse, rehabilitation, and retrofitting of historic buildings in which the original use is no longer feasible.

Applicability

1.0 – Architectural Styles Design Standards apply to all redevelopment in the entry corridors.



Standards

1.1 – Adhere to the Historic District Guidelines when rehabilitating historic buildings.

1.2 – If the building is not a Pioneer, Gothic, Texas Regional, Commercial, Italianate, Bungalow, or Folk Victorian style, then it must conform to the design principles of one of these styles.

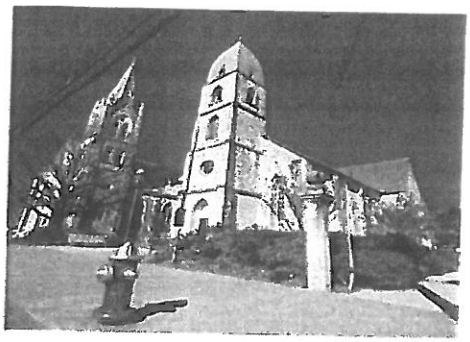
Guidelines

1.3 – The architectural style of the entry corridor should be reflective of the Texas Hill Country aesthetic.

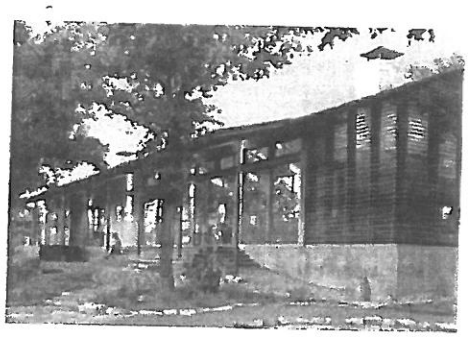
1.4 – New designs should be compatible with the design traditions of the established neighborhoods and regional Texas Hill Country aesthetic. It is not the intent of these guidelines to require that new buildings copy older building styles. Therefore, use traditional building forms and broader similarities of design in order to be compatible with existing buildings in the area that reflect the traditional context.

1.5 – The use of standardized "corporate" architectural designs associated with chain or franchise buildings (prevalent with restaurants, service stations and retail stores) is strongly discouraged and alternative designs consistent with this design manual may be required.

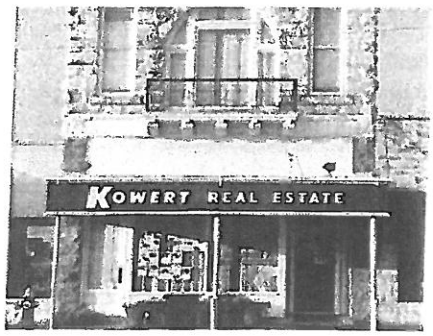
- **Pioneer** - Split logs, rock facades, wide chinking, limestone additions, Sunday houses



- **Gothic Revival** - Steeply pitched roofs, arches, towers

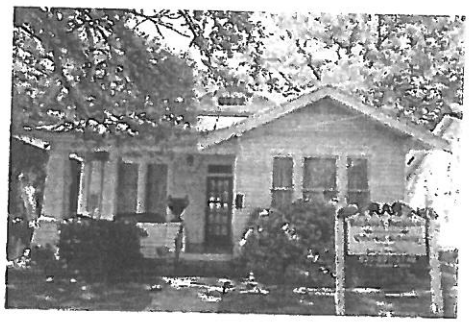


- **Texas Regional (Not in Historic Guidelines)** - sophisticated, modern, local materials, regional design techniques, metal brackets with awnings



- **Commercial** - One to three story, three bay façade, recessed entrance, transom windows, decorative cornice

- **Italianate** - wide overhanging eaves, low pitched roof, grouped supports



- **Bungalow** - decorative beams, partial width, deep porches, exposed roof rafters, gabled roofs

- **Folk Victorian** - symmetrical façade, spindle work on supports and railings, one story

2. ARCHITECTURAL MATERIALS

Intent

The materials used in construction are a primary element in the appearance of the building. Much of the newer construction along the entry corridors utilizes modern materials, including metal facades, tilt wall concrete, etc. These materials allow for more efficient and cost effective construction; however, they do not contribute to the overall character and appearance. Design guidelines for materials will address this to ensure new construction utilizes appropriate materials to enhance entryway appearance.

The intent of the Architectural Materials Standards are to:

- Adhere to the Historic District Guidelines when rehabilitating historic buildings;
- Ensure materials are fitting with the Texas Hill Country style prevalent in Fredericksburg;
- Utilize materials that have minimum environmental impacts (glare, SRI, excessive heat, etc.);
- Use materials that contribute to the visual interest of the structures; and
- Use efficient and cost effective construction.

Applicability

2.0 – Architectural Materials Design Standards apply to all redevelopment in the entry corridors.

Standards

2.1 – Buildings shall employ authentic, textured materials, compatible with the traditional Hill Country aesthetic. Highly reflective materials are unacceptable, because of their tendency to create uncomfortable glare conditions.

2.2 – Use cedar, limestone and brown sandstone.

2.3 – Abide by Historic District Guidelines for preserving historic buildings.

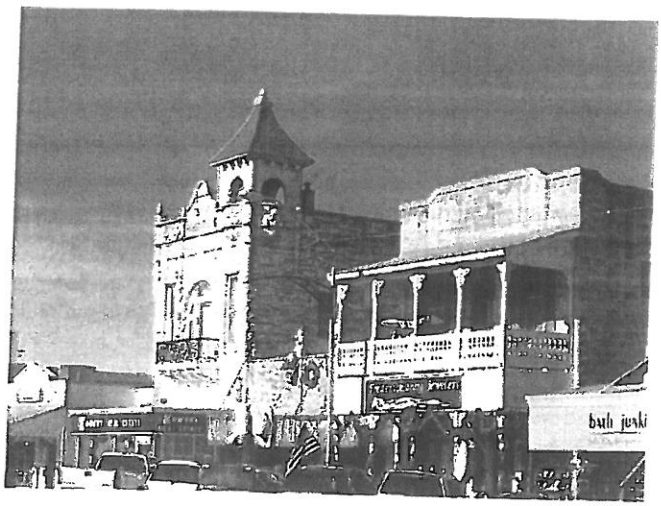
2.4 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines).

2.5 – Do not create a false sense of era or appearance with replacement of metal details or features that are not based upon any historical evidence (Historic Design Guidelines).

Guidelines

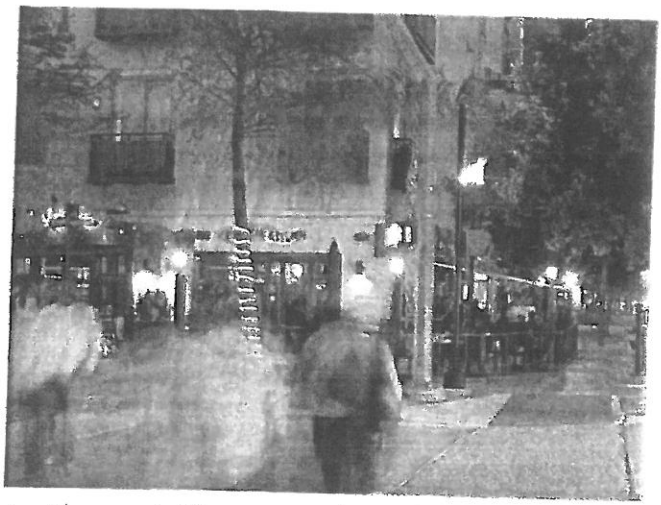
2.6 – New developments should choose materials that offer texture and avoid monotonous faces to add visual interest and reduce its apparent scale.

- Building materials are well preserved to maintain the historical nature of the City.



- Common materials create the sense of a district and identity.

- The historical building facade promotes the historical characteristics of the City through the use of stone and wood.



- The use of different materials on a building can break up the visual scale of the building, allowing for a more relaxed and comfortable pedestrian experience.

3. ARCHITECTURAL COLOR

Intent

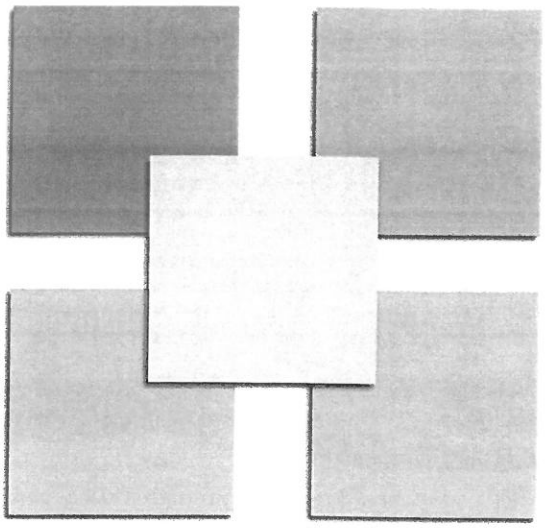
Color may seem a small element in overall community design, but it plays a significant role in appearance. Colors that would be perfectly appropriate in one community, such as the pastels found on homes and businesses in Port Aransas, would look wildly out of place in Fredericksburg. This section shouldn't limit landowners to four shades of beige; however, there should be consideration of what colors coordinate with existing development and the overall character of the community.

The intent of the Architectural Color Standards are to:

- Create a pleasing color scheme that preserves and highlights the heritage of Fredericksburg; and
- Create a robust but form-fitting color palate which allows enough variation to not seem repetitive, but still restrictive enough to keep outlandish color scheme from occurring.

Applicability

3.0 – Architectural Colors Design Standards apply to all redevelopment in the entry corridors.



Standards

3.1 – Choose colors used traditionally in Fredericksburg such as muted shades of greens, blues, and tans (Historic Design Guidelines).

3.2 – Use color to coordinate façade elements in an overall composition and tie all of the building elements together.

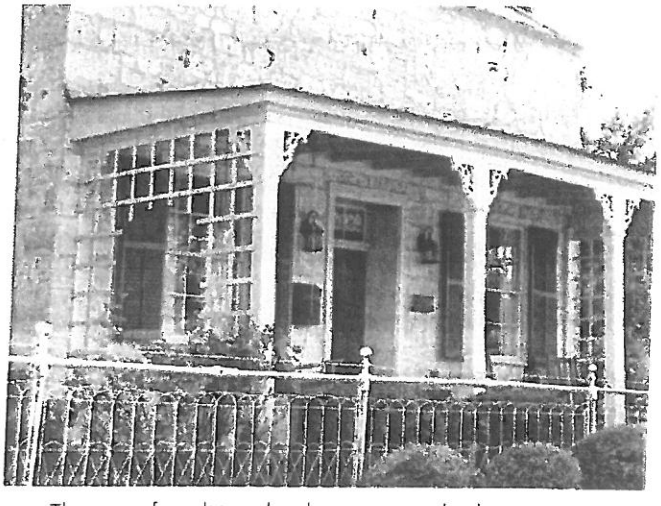
3.3 – Reserve bright colors for accents only. Limit the use of bright colors to no more than 30 percent of the overall exterior building façade.

Guidelines

3.4 – Predominate building colors shall be of earth tones, but may be accented with brighter colors to provide color variation, punctuation, and eclecticism unique to Fredericksburg.

- Architectural colors are muted and fit nicely in the Hill Country.

- Bright, architectural colors are used with restrain and sophistication.



- The use of traditional colors against the historic limestone rock creates a visually appealing and eye-catching structure.

- Landscaping provides a sense of scale and color to the front of a building.

4. ARCHITECTURAL FEATURES

Intent

Architectural features are the specific elements that create the appearance of the building. These include the windows, canopies and awnings, roof, parapets, etc. To create a consistent look throughout an area, buildings should share common features and elements. It is not that they need to be uniform on every building, rather that there is a consistency to them.

The intent of the Architectural Features Standards are to:

- Use listed features on buildings to help promote not only historical aesthetic value, but also create strong social settings when applicable;
- Create retail and commercial spaces that feel open with use of large windows, and architectural features which promote a "human scale;"
- Maintain a feeling of historical character in architecture throughout the city;
- Provide detailed façade treatments on any elevation that is visible from streets/corridors or from any primary elevations of adjoining buildings; and
- Avoid use of unadorned blank walls on elevations facing entry corridors and side streets.

Applicability

4.0 – Architectural Features Design Standards apply to all redevelopment in the entry corridors.

Standards

4.1 – Blank or featureless walls will not be approved along parks, plazas, entry corridors or side streets.

4.2 – Design buildings with a "human scale" by using architectural enhancements. The building facade facing the parks, plazas, entry corridors or side streets shall have visible, clearly defined customer entrances that include at least three of the following elements: canopies or porticos, overhangs, recesses or projections, arcades, raised cornice parapets over the entrance door, distinctive roof forms, arches, outdoor patios or plazas, display windows, or integral planters.

4.3 – Choose features that fit the scale of the building and its surroundings.

4.4 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines)

4.5 – Windows and doors shall be equally spaced and provide rhythm along the façade of the building.

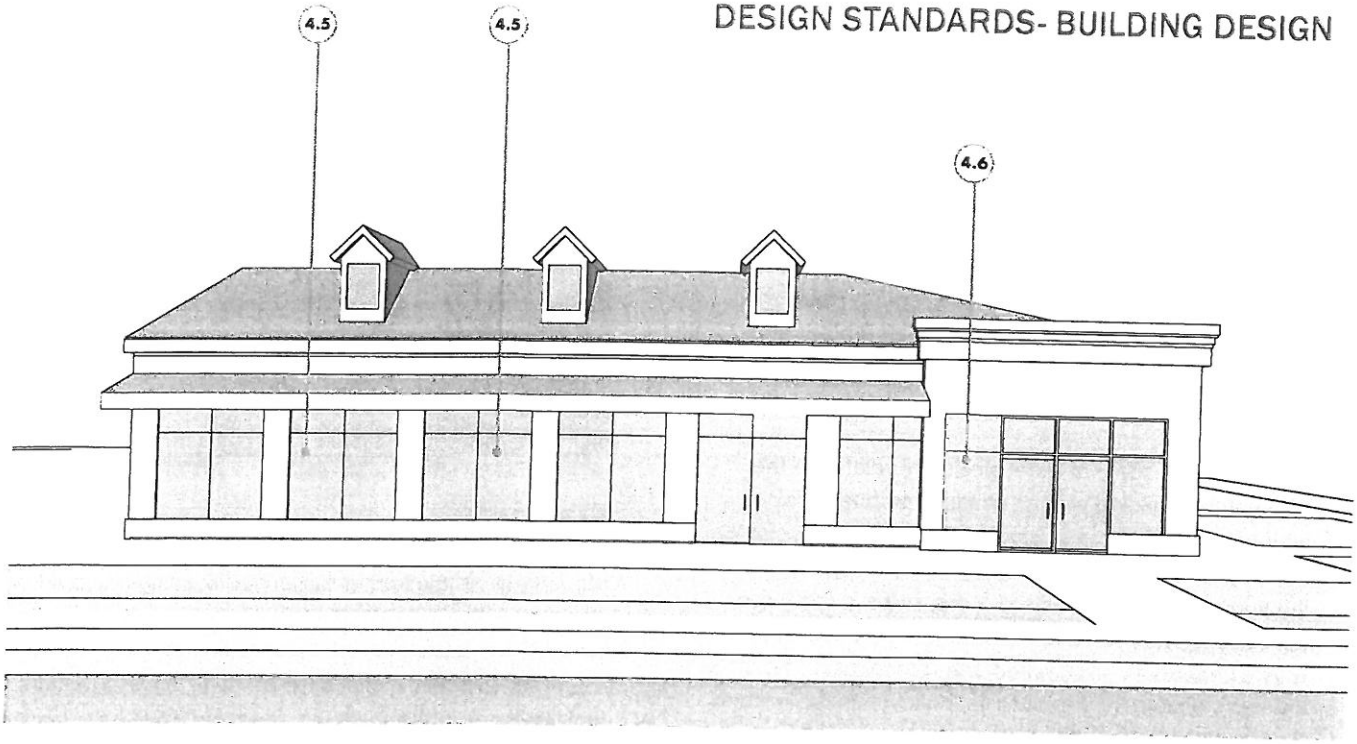
4.6 – At least 40 percent of the ground floor façade facing parks, plazas, entry corridors or side streets shall be constructed of clear and non-tinted windows.

4.7 – For any multi-tenant commercial development, a covered arcade/structural canopy shall be provided along the front facade of the building. Arcades are covered walkways connected to the principal building. They should be a minimum of five feet in width and designed to provide covered areas for relief from the weather. Different arcade/structural canopy designs may be used for each individual tenant/business within a multi-tenant commercial development provided that they blend aesthetically with the front facade of the building.

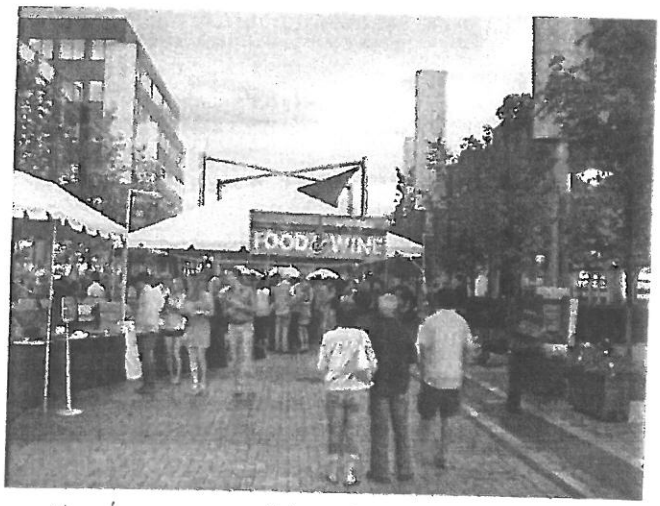
Guidelines

4.8 – If a shed roof or flat roof design is used, add a parapet wall to screen the roof.

DESIGN STANDARDS- BUILDING DESIGN



- Window awnings and roof overhangs are not only visually appealing but also provide cover from the weather and give spaces definition and character.



- Plazas are an incredibly useful and visible public space, allowing for social and recreational programs to take place within their borders.

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5. MASSING AND SCALE

Intent

The massing and scale of buildings helps preserve the historic and "small town" feel of the region. Residents and property owners identify with this character and would like to see it maintained, thus it is important for new development to be consistent.

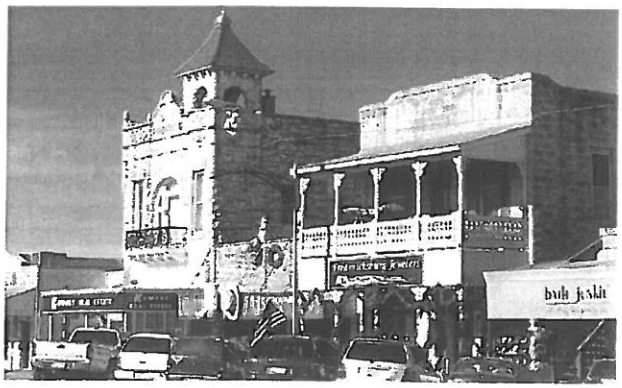
The mass and scale of a development relates to the mass of the building and its scale of architectural features related to the structures size. If the mass of the building is too large, it will not properly integrate within the surrounding environment. If the scale is too large, the building will look disproportional and out of touch with standards in place within the community. Therefore the mass and scale of buildings built within the Historic District and entry corridors should encompass the ideas of size and location on lots relating to the architectural style already in place within the built environment.

The intent of the Massing and Scale Standards are to:

- Fit the mass and scale of the broader context of the landscape and surrounding development; and
- Break up larger building mass by varied façade treatments and articulated roof treatments to keep scale accurate.

Applicability

5.0 – Massing and Scale Design Standards apply to all redevelopment in the entry corridors except for single family residential.



Standards

5.1 – Break up the front of large retail buildings by dividing it into individual bays 25 to 40 feet wide.

5.2 – Use variation in materials, textures, patterns, colors, and details to break down the mass and scale of a building

5.3 – When making transitions to lower density areas, modulate the mass of the building to relate to smaller buildings. Heights can be greater if the mass is modulated and other scale techniques are adopted. Reduce height near lower density uses.

5.4 – Building mass shall be used that is appropriate to the site. Buildings of the greatest footprint, when possible, should be located towards the center of a development where the impact on adjacent uses is the least.

5.5 – Each building shall have sufficient facade relief and interruption every 30 feet so as to provide visual architectural interest.

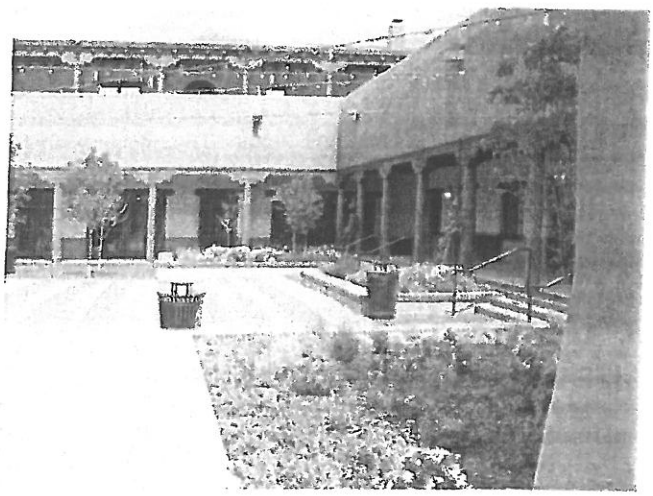
Guidelines

5.6 – Fake window and similar details are not appropriate articulation.

5.7 – Buildings are encouraged to be contiguously arranged along the street face, and large breaks between buildings in identified development sites should be avoided.

- Neighboring buildings are similar in mass and scale to maintain a visual flow along the street.
- The building scale maintains a pedestrian feel.

- By placing a setback between first and second floors, streets seem more approachable and open from the pedestrian level.



- Courtyards create both private and public social spaces which can be used for a variety of activities.

- By adding different textures and materials to different parts of the building, what is a large and expansive building to the eye looks properly sized and approachable.

6. SIGNAGE

Intent

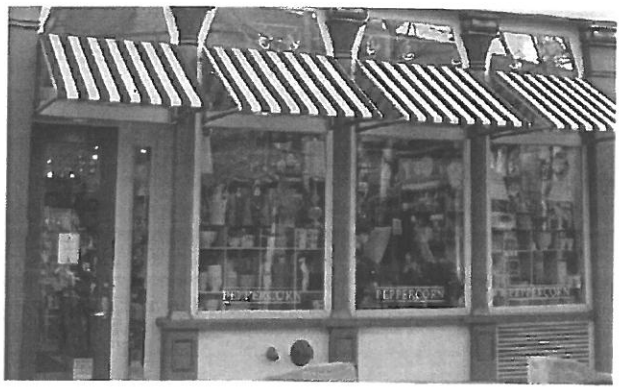
Signage is one issue that can create significant conflict between developers, business owners, and the City. This is because owners want to maximize their visibility to passersby, while the City wants to protect overall safety and appearance and not have a profusion of signs. Appropriate sign regulations balance the concerns of business owners with the public welfare concerns. Signs are effective in garnering attention, while not detracting from overall appearance or distracting passersby. Signs should also be scaled to their environment. Signs along a highway will be different from those in a primarily pedestrian area. This picture shows a sign appropriate for a high speed thoroughfare. It is large, but in muted colors, made to look like it is made of wood, and appropriate for the business being advertised.

The intent of the Signage Standards are to:

- Ensure preservation of historic heritage and atmosphere; and
- Improve aesthetic appeal around signage.

Applicability

6.0 – Signage Design Standards apply to all redevelopment in the entry corridors.



Standards

6.1 – Reflective, fluorescent, neon and flashing signs shall not be allowed.

6.2 – Limit the height of free standing signs to 5 feet (Signage Ordinance)

6.3 – A landscaped base area shall be provided for monument or ground signs appropriate to the mass and height of the sign. All areas within 5 feet of the base of any sign shall be landscaped. The landscaped area may include trees, shrubs, flowering perennials, ornamental tall grass, fountains, water features, decorative stonework, planters, sculpture and decorative paving.

6.4 – Integrate signs into building and site design so they do not appear as an afterthought.

6.5 – Attached signs shall be located above the building entrance, storefront opening, or at other locations that are compatible with the architectural features of the building.

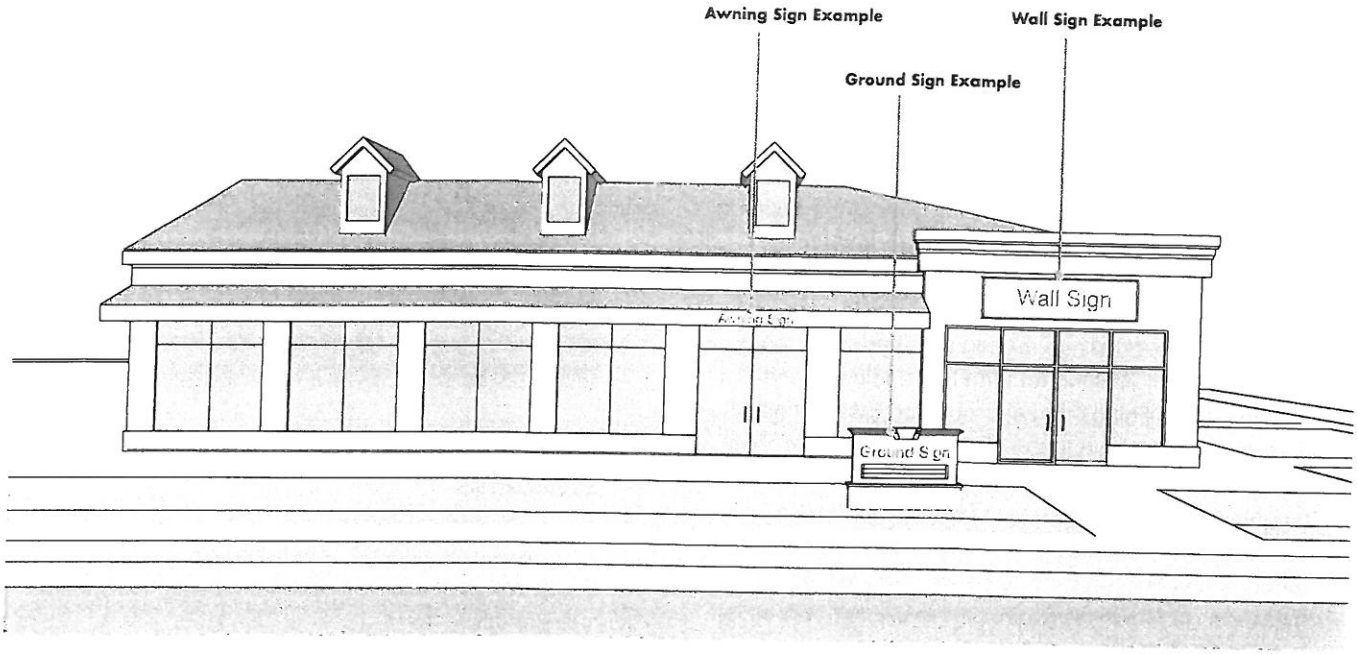
6.6 – Prohibit the use of billboard, illuminated or excessive signage throughout the entry corridors.

Guidelines

6.7 – A minimal number of colors should be used per sign where possible. Bright colors should be reserved for accent only.

6.8 – Exterior neon lighting is to be discouraged.

DESIGN STANDARDS- BUILDING DESIGN



- Signage is low to the ground and made of local materials such as stone.
- Signage fits within the landscape and doesn't detract from the surrounding environment.

- Signage is incorporated into building design.
- Fonts and text styles are incorporated into the color scheme and design of the building.

7. BUILDING HEIGHT

Intent

Building height is important to maintain character of a place and to improve the general quality of the building environment, pedestrian spaces and pedestrian relationships to buildings. The goal is not uniformity, rather heights should be within a range that work well together. When buildings are too tall, they can create a canyon effect, making an area feel enclosed and unpleasant. Buildings that are too short lose definition and do not contribute to the character of an area. The key is to work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency. The image shows how different heights can work together, with two story buildings (occasionally higher buildings are present at key intersections).

The intent of the Building Height Standards are to:

- Create a unique corridor and downtown feeling with consistent building heights which correspond to the historic streetscape feeling of central Fredericksburg;
- Ensure adherence to maximum building height so that the character is not lost or damaged; and
- Step roof down towards front of building to keep streetscape from becoming overbuilt and to form pedestrian gathering places.

Applicability

7.0 – Building Height Design Standards apply to all redevelopment in the entry corridors.

Standards

7.1 – Use existing height standards from the Zoning Ordinance as a base, and indicate where the standards are different.

7.2 – Three (3) Stories (38 ft) max in commercial districts (C-1, C-2, CBD, M-1, M-2, M-3 zones).

7.3 – Four (4) stories (50ft) for public facilities.

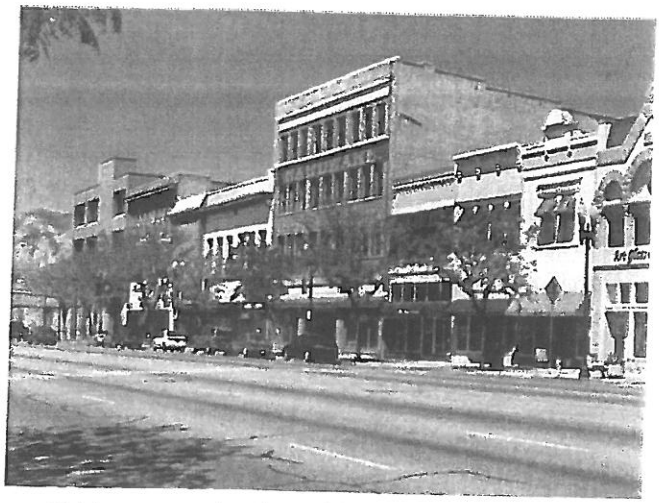
7.4 – Work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency.

Guidelines

7.5 – Use building height to define neighborhood and district edges, and to provide a "human scale."

7.6 – Floor to floor heights of a building can have an impact on the mass of the building. Typical ceilings in a residence are 8-9 feet. First floors of office buildings or retail shops can range from 10-15 feet. Upper floors that include residential or office are generally 8-12 feet in height. Actual or implied floor-to-floor heights above 15-20 feet on the exterior should be avoided, as a building may begin to lose its "human scale" appearance.

- By using different materials and heights, large sized buildings can appear to be separate and smaller in scale.



- With proper setbacks and landscaping, buildings of different but similar height can easily blend together and create a lively and varied streetscape.

- By using different building heights, downtown areas can add character and sense of place.

- An example of how one, two and three story buildings can mesh well in areas that have proper landscaping, setbacks, and material use.

8. SETBACKS & FRONTAGE

Intent

Setbacks define the relationship of a building to the street frontage, and how far the building is from the ROW or sidewalk. Along highways, it may be appropriate for buildings to be set farther back away from the roadway; while in pedestrian areas, it is preferable to have buildings up to the sidewalk. In conventional development, buildings are setback from the road behind parking lots. This ensures adequate parking and high visibility for the business; however, it does not contribute to the aesthetics of an area. Much of the development within the entryways to Fredericksburg follows this pattern.

The intent of the Setbacks and Frontage Standards are to:

- Preserve characteristics of Fredericksburg's small town downtown heritage through the use of building setback.

Applicability

8.0 – Setback Design Standards apply to all redevelopment in the entry corridors except for single family residential.

Standards

8.1 – Setbacks shall be a maximum of 25 feet except for single family residential.

8.2 – No parking lots shall be constructed on the corner of a street.

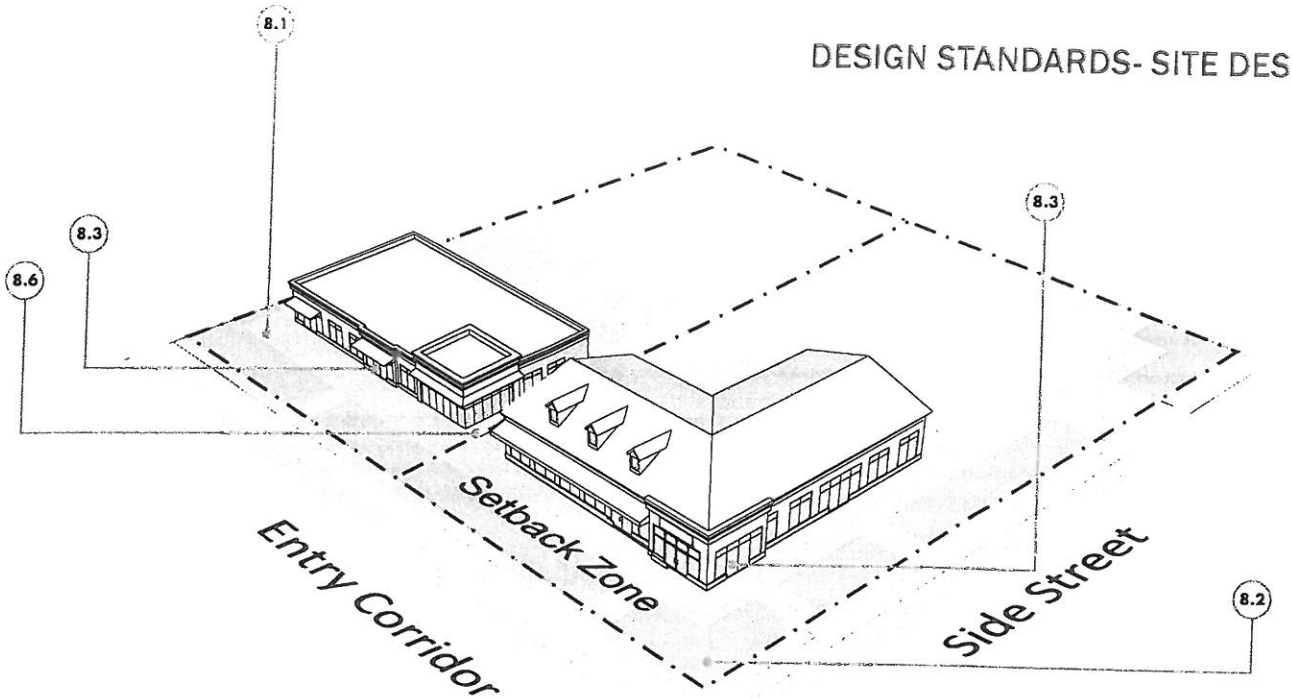
8.3 – Doors and entryways shall be constructed facing the entry corridor and any side streets. Secondary entrances may be constructed to allow convenient access from secondary streets, adjacent buildings, sidewalks, or parking.

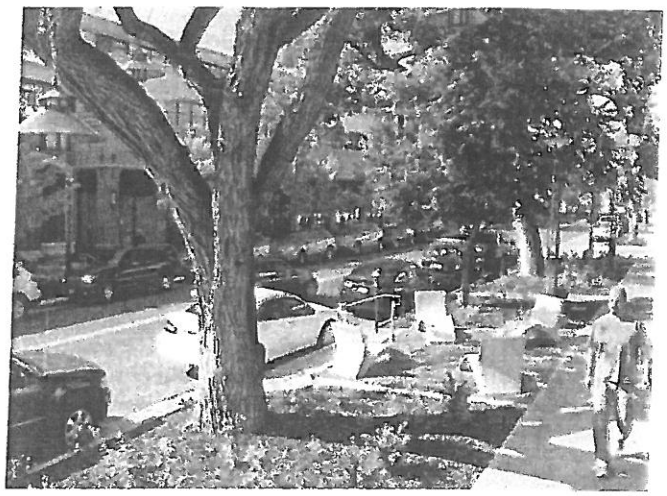
8.4 – The front door must connect to the sidewalk along the entry corridor.

8.5 – In areas adjacent to or near the Historic District, new buildings shall match adjacent building setback in order to preserve the Historic District character and to encourage walkability.

Guidelines

8.6 – A contiguous building arrangement without large breaks between buildings along the street face is encouraged.





- By encouraging building set back along entry corridors, the city will have room to provide not only landscaping but also areas of public social space along pathways and pedestrian walkways.

- Buildings along Town's Creek or Barons Creek have a pedestrian oriented frontage along the creek
- Parking is not located between the building and creek
- Buildings should take advantage of adjacencies to Town Creek and Barons Creek by providing amenities between the building and the creek

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9. LANDSCAPING

Intent

Appropriate landscaping plays a significant role in the character and appearance of an area. Landscaping can be used as a buffer to disguise unappealing features, like utilities and parking. Landscaping can also enhance pedestrian areas, offering shade and a visual break from the built environment and serving as a buffer to the street. The challenge of landscaping is the on-going maintenance required to keep it attractive, as well as water usage. Xeriscaping should be utilized to ensure minimal water use and lower maintenance for landscape features. The City can work with property owners and civic organizations, such as the Garden Club, to adopt landscape features to provide on-going maintenance and care for them.

The intent of the Landscaping Standards are to:

- Create street-to-building buffering landscapes with native and drought resistant plant species for more pleasurable vehicular and pedestrian experience;
- Create a cohesive and consistent tree canopy along pedestrian pathways to create a pleasing and comfortable environment for non-vehicular traffic;
- Restore existing natural areas where possible; and
- Create public spaces and common areas that invite residents and tourists to visit with appealing and beautiful landscaping.

Applicability

9.0 – Landscaping Design Standards apply to all redevelopment in the entry corridors.

Standards

9.1 – Landscaping, including planting and trees, shall be provided as a buffer between the street and parking area.

9.2 – To create a cohesive tree canopy that provides for consistent shade, street trees shall be planted a minimum of every 30 feet on center (centered between the curb and sidewalk).

Guidelines

9.3 – Native, drought tolerant and adapted landscape species should be used to the greatest extent possible.

9.4 – A minimum of 50 percent of the plant species should be selected from the approved plant list.

9.5 – Minimize impervious coverage to reduce the need for energy and water consumption.

9.6 – Utilize parks, open spaces and natural areas as buffers between incompatible uses or as a means of maintaining natural viewsheds.

9.7 – Planting is preferable to turf within the right-of-way, including spaces between sidewalks and the street. Landscaping between the curb and sidewalk should be no taller 24" tall and adhere to the clear sight distance triangle.

9.8 – Every effort should be made to protect underground utilities such as water, sewer, phone and cable from tree or plant roots.

9.9 – Restoration of natural areas is strongly encouraged during new development and, to the extent possible, redevelopment.

9.10 – Wherever possible, parks should take advantage of existing mature vegetation by preserving it and incorporating it as a feature of the park to maximize use of shaded areas.

9.11 – Minimize grading and preserve existing vegetation whenever possible.

9.12 – Landscapes should be irrigated to establish planting and provide the correct water levels to support the long term growth of landscape. Irrigation systems must use efficient water methods, group planting into similar hydro-zones, and use moisture sensors to control the use of water.

9.13 – Root barriers should be used in planting areas between the sidewalk and street which are less than 10 feet in width.

- Drought tolerant plantings such as bulbine and silver pony foot are encouraged.
- Planting is provided as a buffer between the sidewalk and street.

- Agaves, grasses, and cacti are appropriate plant materials that have low water requirements.

- Seasonal planting is provided between the street and the sidewalk, creating a buffer between automobile and pedestrian sidewalk, while keeping within the maximum height of 2 feet.

DESIGN STANDARDS- SITE DESIGN

Table 1: *Recommended Street Trees (Planting Areas >10')*

STREET TREES	
Common Name	Scientific Name
Shumard Oak	Quercus shumardii
Chinquapin Oak	Quercus muehlenbergii
Live Oak	Quercus virginiana
Montezuma Cypress	Taxodium mucronatum
Lacey Oak	Quercus laceyi
River Birch	Betula nigra
Mexican Sycamore	Platanus mexicana

Table 2: *Recommended Trees*

SCREENING	
Common Name	Scientific Name
Red Maple	Acer rubrum
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Live Oak	Quercus virginiana
Bald Cypress	Taxodium Distichum

Table 3: *Recommended Trees for Screening*

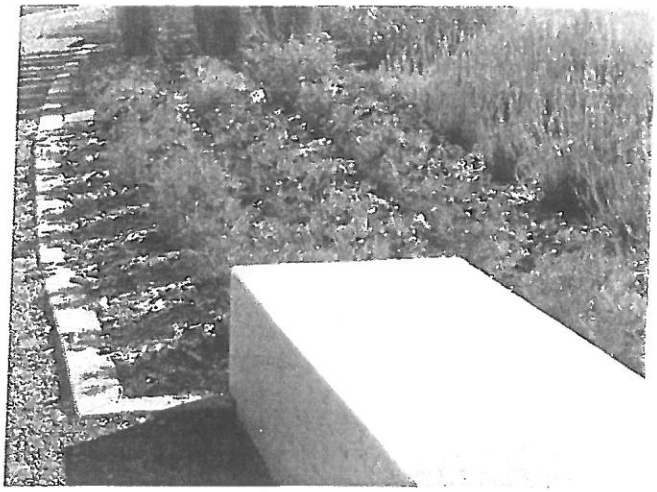
SCREENING	
Common Name	Scientific Name
River Birch	Betula nigra
Bottlebrush	Callistemmon sp.
Texas Redbud	Cercis canadensis 'Texensis'
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'

Table 4: *Recommended Trees for General Landscaping*

TREES	
Common Name	Scientific Name
Florida Maple	Acer barbatum
Red Maple	Acer rubrum
River Birch	Betula nigra
Bottlebrush	Callistemmon
Pecan	Carya illinoinensis
Texas Redbud	Cercis canadensis 'Texensis'
Texas Persimmon	Diospyros texana
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Savannah Holly	Ilex x 'Savannah'
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'
Sweetbay Magnolia	Magnolia virginiana
Slash Pine	Pinus elliottii
Loblolly Pine	Pinus taeda
Texas Pistache	Pistacia texensis
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Mexican Plum	Prunus Mexicana
Sawtooth Oak	Quercus acutissima
Bur Oak	Quercus macrocarpa
Cow Oak	Quercus michauxii
Nuttall Oak	Quercus nuttallii
Live Oak	Quercus virginiana
Eve's Necklace	Sophora affinis
Bald Cypress	Taxodium Distichum
American Elm	Ulmus Americana

Table 5: *Recommended Plants for General Landscaping*

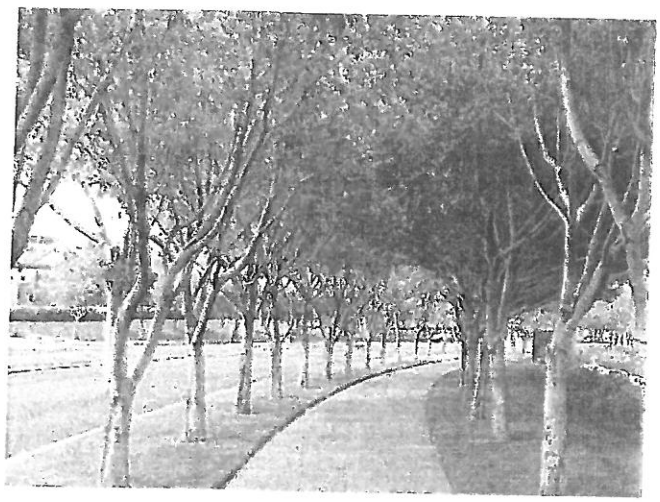
GROUND COVERS	
Common Name	Scientific Name
Ajuga	Ajuga sp.
Centipedegrass	Eremochloa ophiuriodes
Homestead Verbena	Glandularia canadensis
Daylily	Hemerocallis sp.
Red Yucca	Hesperaloe parvifolia
Trailing Juniper	Juniperus sp.
Trailing Lantana	Lantana sp.
Liriope	Liriope sp.
Dwarf Nandina	Nandina sp.
Katie Ruellia	Ruellia elegans
Yucca	Yucca sp.
Rain Lily	Zephyranthes sp.
ORNAMENTAL GRASSES	
Common Name	Scientific Name
Bluestem	Andropogon sp.
Sideoats Gamma	Bouteloua curtipendula
Weeping Lovegrass	Eragrostis curvala
Purple Lovegrass	Eragrostis spectabilis
Sand Lovegrass	Eragrostis trichocolea
Fiber Optic Grass	Isolepis cernua
Purple Autumn	Miscanthus sinesis
Zebra	Miscanthus sinesis 'Zebri'
Muhly	Muehlenbergia sp.
Little Bunny Fountain	Pennisetum alopecuriodes
Fountain	Pennisetum rueppellii
Mexican Feather	Stipa tenuissima
VINES	
Common Name	Scientific Name
Crossvine	Bignonia capriolata
Trumpet Creeper	Camsis radicans
Coral Honeysuckle	Lonicera sempervirens
Evergreen Wisteria	Melletia reticulata
Virginia Creeper	Parthenocissus quinquefolia
Lady Banks Rose	Rosa banksia
PLANTING BEDS	
Common Name	Scientific Name
Abelia	Abelia sp.
Agave	Agave sp.
Yarrow	Achillea sp.
Butterfly Bush	Buddlea davidii
Beautyberry	Callicarpa americana
Coreopsis	Coreopsis sp.
Coneflower	Echinacea sp.
Indian Blanket	Gaillardia sp.
Hummingbird Bush	Hamelia patens
Burford Holly	Ilex cornuta
Yaupon Holly	Ilex vomitoria
Dwarf Yaupon Holly	Ilex vomitoria 'nana'
Juniper	Juniperus sp.
Lantana	Lantana sp.
Texas Sage	Leucophyllum sp.
Gayfeather	Liatrus sp.
Turk's Cap	Malvaviscus arboreus
Blackfoot Daisy	Melampodium leucanthum
Wax Myrtle	Myrica cerifera
Blue Plumbago	Plumbago auriculata
Pomegranate	Punica granatum
Rosemary	Rosmarinus officianalis
Black-eyed Susan	Rudbeckia sp.
Dwarf Palmetto	Sabal minor
Mealy Blue Sage	Salvia farinacea
Autumn Sage	Salvia greggii
Mexican Sage	Salvia leucantha
TX Mountain Laurel	Sophora secundiflora
Bridal Wreath Spirea	Spirea cantoniensis
Yellow Bells	Tecoma stans
Viburnum	Viburnum sp.



- Seasonal color is thoughtfully incorporated into planting design.

- The park takes advantage of maintaining existing trees on site.
- The park maximizes the use of shaded areas by aligning trails underneath dense tree canopy.

- The use of a low stone seat wall is creatively incorporated into the landscape to preserve an existing stand of oak trees.
- Cactus and native plants fit the planting scheme of the larger context of central Texas.



- An allee of street trees planted a minimum of 30 feet on center frames the sidewalk and provides comfort to pedestrians.
- A mix of tree species offers seasonal interest along the street.

10. LIGHTING

Intent

Lighting is necessary to make a building visible to passersby and for safety and security on site. However, lighting can also become a nuisance, as light spills onto adjacent property, distracts drivers, and detracts from community appearance. Well-designed lighting focuses light where it is needed, with minimal glare and excess. Shielding and proper aiming can provide appropriate safety and security while having minimal impact on adjacent properties. Pole location, height, and design all affect how lighting will be seen, so thought should be given to all of these variables when designing a lighting system for a property.

The intent of the Lighting Standards are to:

- Provide continuity and high aesthetic value through the creation of a cohesive lighting strategy; and
- Create, safe, secure places with lighting strategies while protecting the night sky and nearby residential properties.

Applicability

Architectural Lighting Design Standards apply to all redevelopment in the entry corridors.

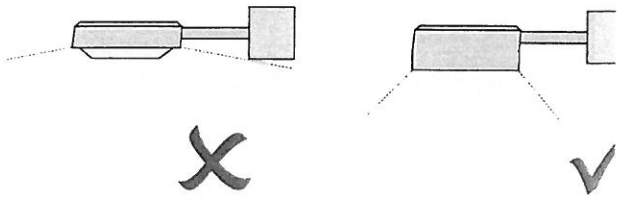
Standards

10.0 – Lighting fixtures should be selected from the International Dark-Sky Association Approved Fixtures.

Guidelines

10.1 – Lighting should be used to provide illumination for the security and safety of on-site areas such as parking, loading/unloading, pedestrian pathways and working areas. Excessive use of lighting fixtures is prohibited.

10.2 – Fixture style and location must be compatible with the building's architecture, site design and landscape design. Decorative fixtures are highly recommended and where warranted, may be required. Light fixture style is to be consistent throughout the project.



10.3 – Light fixtures shall be located facing away from adjacent sites (particularly residential parcels) so that the light does not spill-over onto abutting properties. Parking and building light fixtures must be cut-off luminaries that have less than 90 degree cut-off so that the light is not emitted horizontally or upward.

10.4 – Projects located near residential or open space areas shall use low intensity/wattage lights and all lighting is to be extinguished or reduced in intensity 30 minutes after the close of business.

10.5 – Off-site street lighting may be required over driveways to provide safe entrances and exits.

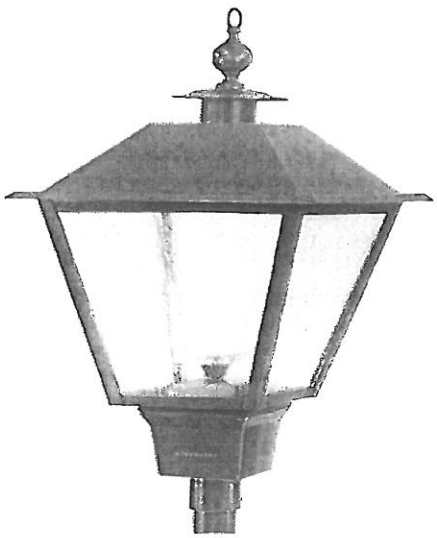
10.6 – Decorative seasonal lighting encouraged.

LIGHTING SELECTION MATRIX

Location	Fixture
Streetscape Pedestrian Lighting	Sternberg Lighting Omega Series
Site Lighting	Strenberg Lighting Medterra BB
Public Space Lighting	Strenberg Lighting Medterra BB

- This Dark Sky light fixture is an example of an approved light fixture for Fredericksburg.
- Sternberg Lighting Omega Series

- Lighting can include planters and decorative features to fit within the context of Fredericksburg



- This Dark Sky light fixture is an example of an approved light fixture for Fredericksburg
- Sternberg Lighting Mediterra BB

- Lighting can be erected within the entry corridors and along path and trails

11. SERVICE AREAS

Intent

Every site plan needs to account for building facilities like HVAC systems, dumpsters, drainage, etc. These are necessary features that have to be located; however, they can present a challenge to balance needed access with aesthetics. It is appropriate to place these facilities in the back of the property, shielded by the building if possible. If that is not available, due to access issues, service areas should be shielded with fencing and landscaping to maintain the overall site appearance. Good site planning will ensure that needed facilities are incorporated on site, with minimal visibility from roadways and adjacent properties.

The intent of the Service Areas Standards are to:

- Use visually screened service areas to hide unsightly private space areas; and
- Use appropriate landscaping, fencing, and/or green screens around service areas for buffering.

Applicability

11.0 – Service Areas Design Standards apply to all redevelopment in the entry corridors.

Standards

11.1 – Loading/unloading areas shall be clearly identified by installing no parking signs and/ or striping of the space. The areas must be located in the rear or the sides of the building and shielded so that they are not visible from the street. The size and number of the loading/ unloading areas must be consistent with the requirements of the Zoning Ordinance.

Guidelines

11.2 – All trash, recycling and utilities facilities must be visually and acoustically screened from pedestrian rights of way.

11.3 – Screening shall be achieved through the installation of a wall or fence six foot in height or a height sufficient to obscure the area or equipment, whichever is less.

11.4 – Screening may be provided by using a semi-opaque fence, solid vegetative surface or combination of both.

11.5 – The height of screening plants shall be based on typical plant size within five growing seasons.

11.6 – All roof-top equipment shall be screened from entry corridors, side streets, plazas and parks.

11.7 – It is encouraged to provide a separate waste and recycling unit to encourage environmental sustainability and support efforts to reduce, reuse, and recycle in Fredericksburg. The City of Fredericksburg Recycling Center provides recycling and safe disposal options. Fredericksburg Shines has compiled a list of items that can be recycled along with the location where that recycling occurs.

- The use of wood softens the visual effect of the waste receptacle.
- The waste receptacle visually blends into the surrounding public space, and the wood material matches the adjacent bench.

- Waste receptacles are screened with vegetation.
- Waste is separated into trash and recycling units.

- Service areas are located to the rear of the site.
- Trees and landscaping screen views to dumpsters and service areas.

- Compost areas are hidden from view and designed in an esthetically pleasing manner.

12. PARKING & ACCESS

Intent

Parking uses a significant portion of most conventional development. Developers typically have to provide sufficient parking for infrequent, high volume days like the day after Thanksgiving. This, combined with a desire for visibility and access, means most parking lots are put in front of the building. Adequate landscaping and buffering can improve the appearance of parking lots; however, having parking to the front detracts from pedestrian connectivity and appeal. Having parking to the rear of the property would allow the building to front onto the roadway. It would also allow for consolidation of driveways and access points. This can be a tremendous benefit for traffic flow, to reduce curb cuts and points of conflict along roadways.

The intent of the Parking and Access Standards are to:

- Follow New Urbanism models to help conceal and beautify parking areas, such as parking located in the rear or side of buildings;
- Create parking spaces that flow smoothly and create logical connections between parking spot and destination; and
- Use landscaping to buffer parking lots from adjacent uses.

Applicability

12.0 – Parking Design Standards apply to all new development in the entry corridors.

Standards

12.1 – Bicycle parking facilities must be provided at all new development that occurs on any street intersection. The design, color, and materials must coordinate with other site elements and must be well-light for night time uses.

12.2 – When a property abuts a creek, the parking lot should not be located between the building and the creek.

12.3 – When a property abuts a creek, a 10 foot

landscaped buffer shall be provided between the parking lot and the creek, where applicable. Utilize rain gardens and/or plant species that filter toxins between the parking lot and the creek.

12.4 – All parking shall comply with the most current American with Disabilities Act (ADA) standards and regulations.

12.5 – Whenever parking areas/drive aisles are connected to adjacent sites, the circulation must provide for similar direction of travel (both vehicular and pedestrian) and parking stalls to reduce conflict at points of connection.

12.6 – Pedestrian walkways connecting to adjacent development shall be provided.

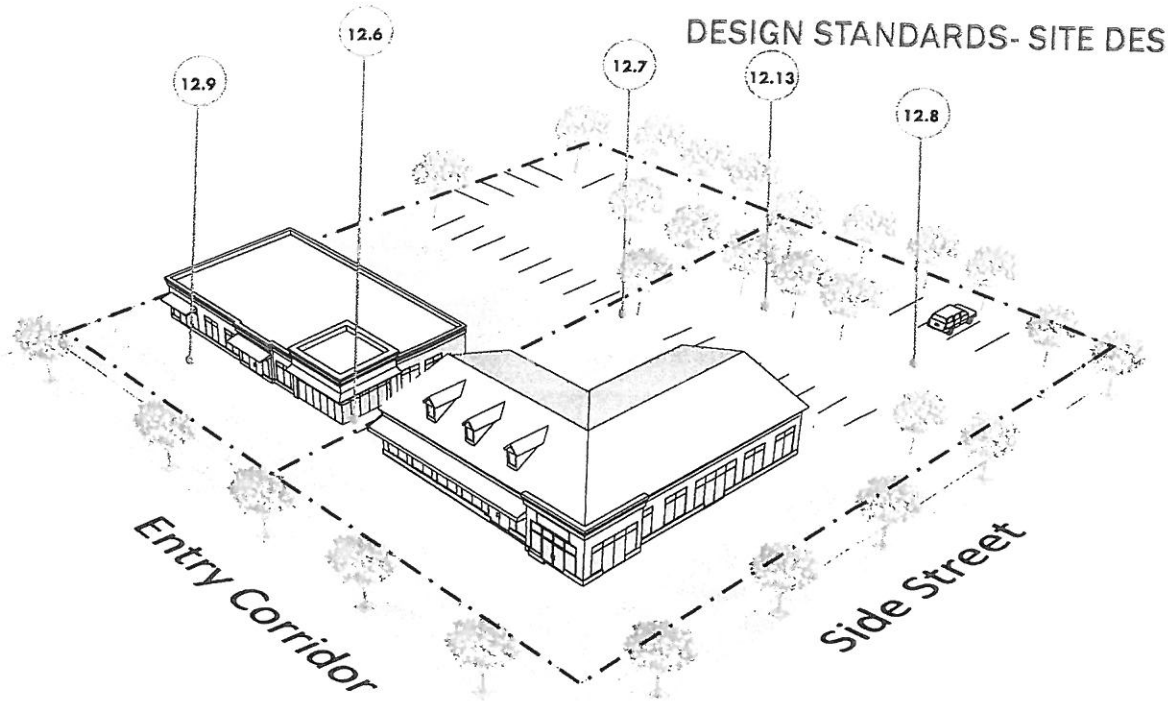
12.7 – A minimum of a 4" diameter tree per 8 parking spaces shall be planted in planting beds located in the corners of parking lots and 'islands.'

12.8 – Parking shall be located behind buildings or on the side.

12.9 – Continuous, 5' sidewalks must be provided along the full length of the building featuring customer entrances and along any façade facing public parking areas.

Guidelines

12.10 – Parking areas abutting properties residentially used or designated shall be separated by a landscape buffer a minimum of 10 feet in width. In addition to landscaping, perimeter earth berms are recommended as an effective way to reduce the visual impact of surface parking lots.



12.11 – At least one parking and drive aisles should be designed to provide sufficient emergency vehicle access and maneuverability.

12.12 – Establishments that typically require or generate frequent passenger loading and unloading shall provide specifically designated loading/unloading stopping bays. Direct ingress and egress should be provided so that vehicles are not directed into the on-site drive aisles.

12.13 – Parking lots should be located and designed with stormwater Best Management Practices to capture, treat and infiltrate storm water.

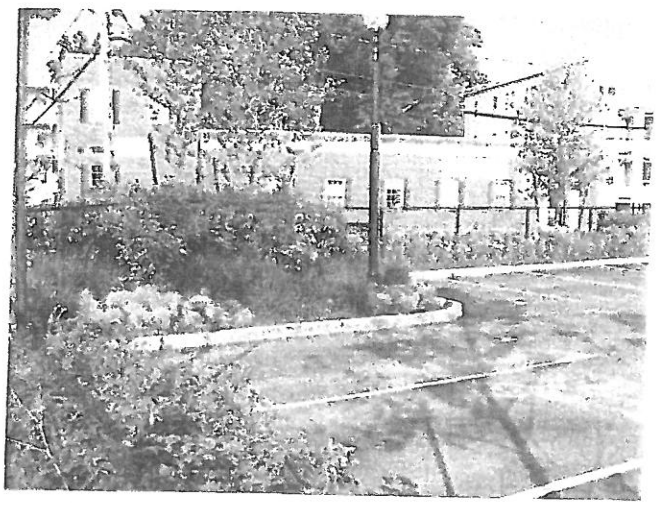
12.14 – The on-site circulation must be logical and provide convenient, safe and direct flow of pedestrians and vehicles.

12.15 – New surface parking areas are discouraged within view of US290. New parking areas should be situated behind buildings and screened from street views.

12.16 – Parking aisles should be arranged to direct pedestrians parallel to moving cars thereby minimizing the need for pedestrians to cross parking aisles and landscape areas. As an alternative, separated pedestrian walkways should be incorporated in the parking lot design.

12.17 – Detached parking structures should be architecturally compatible with their setting or be screened by other buildings or by landscaping. If a detached parking structure abuts a street or major pedestrian path, ground floor design should incorporate a façade with storefronts, display windows, bay divisions, and other pedestrian oriented features.

12.18 – Shared driveways are encouraged.



Planting buffer of 10 feet is placed around parking.

13. DRAINAGE AND STORMWATER

Intent

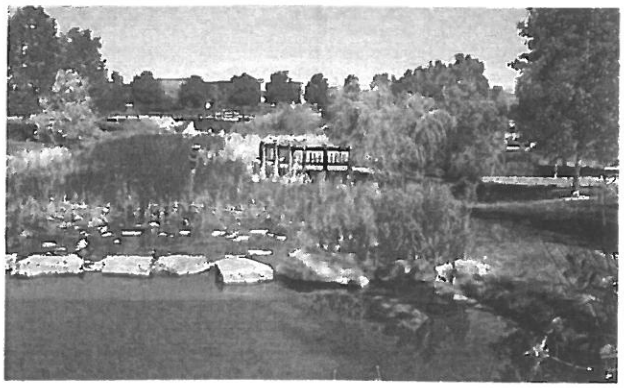
Development leads to increased stormwater runoff. Some communities manage drainage for larger areas, so developers put in facilities to convey water off the property to these larger drainage utilities. Other times, each property has to create on site facilities to manage stormwater. A fairly new direction in stormwater management is called low impact design. This utilizes natural features, such as rain gardens and swales, along with technology fixes like rainwater harvesting and pervious pavement, to manage stormwater. This type of development can be a lower maintenance and more aesthetic option for future development. It is important for stormwater to be managed in such a way to protect public health and safety.

The intent of the Drainage and Stormwater Standards are to:

- Create aesthetically pleasing detention and stormwater infrastructure;
- Use Best Management Practices to mitigate flooding and runoff backup;
- Capitalize upon the use of detention features to double as recreational elements where feasible;
- Use Low Impact Development (LID) techniques when possible; and
- Buffer detention ponds with native landscaping.

Applicability

13.0 – Drainage and Stormwater Design Standards apply to all redevelopment in the entry corridors.



Standards

NA

Guidelines

13.1 – LID techniques such as rain barrels, cisterns, rain gardens, naturalized landscaping, porous pavement and roof gardens are encouraged.

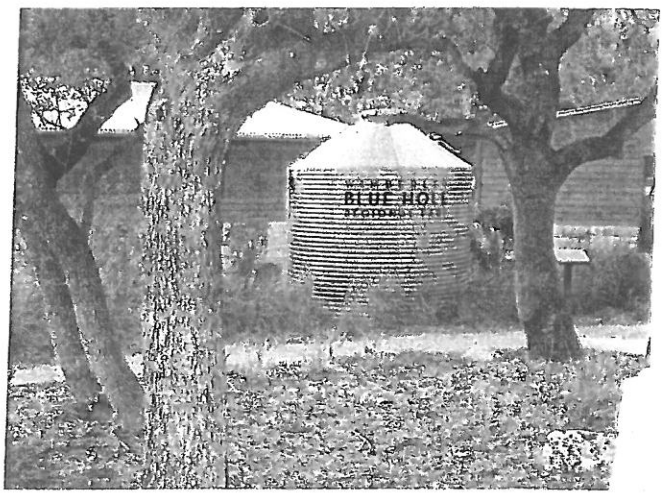
13.2 – When possible, site stormwater management facilities in parks and open space if there is a benefit to the surrounding area and/or water quality is demonstrated.

13.3 – Existing drainage patterns and flows on site should be preserved to the greatest extent possible.

13.4 – Decorative or aesthetically pleasing stormwater mechanisms should be incorporated into stormwater designs to the greatest extent possible.

- Bio-filtration areas slow stormwater runoff and absorb pollutants to encourage increased water quality.

- Decorative storm grates provide visual interest to otherwise unappealing design features.



- A rain water cistern captures water for re-use in the landscape.
- The materials on the rain water cistern match the architecture of the building and double as signage for the park.

- LID techniques such as rain gardens are aesthetically pleasing and contribute to an increase in water quality and reduce peak flows of stormwater runoff.
- Rain gardens are valuable Best Management Practices that mitigate flooding and stormwater runoff.

14. STREETSCAPE

Intent

Most of the streets being included for the entryways are state highways. This means that TxDOT has jurisdiction over the design of the streetscape and any elements to be included in them. The City has a productive relationship with TxDOT staff and can work with them to incorporate improvements to the streetscape over time as projects and upgrades are made to roads in the entryways.

The intent of the Streetscape Standards are to:

- Create a connected sidewalk system throughout the city to ensure safety and connectivity between destinations;
- Increase the mobility to persons walking throughout the city into all areas;
- Create a continuous street tree canopy and landscaping along roadways to create more visually pleasing thoroughfares and pedestrian pathways;
- Use ADA compliant ramp sand pedestrian facilities throughout the network to ensure ease of movement; and
- Ensure that the ground floor creates comfort and interest for pedestrian use.

Applicability

14.0 – Streetscape Design Standards apply to all redevelopment in the entry corridors.

Standards

14.1 – Sidewalks along the street right of way must be a minimum of 5 feet wide.

14.2 – To create a cohesive tree canopy that provides for consistent shade, street trees shall be planted a minimum of every 30 feet on center (centered between the curb and sidewalk).

Guidelines

14.3 – Sidewalks and pedestrian pathways should safely connect from the street to commercial buildings, surrounding residential areas, and parks and open spaces.

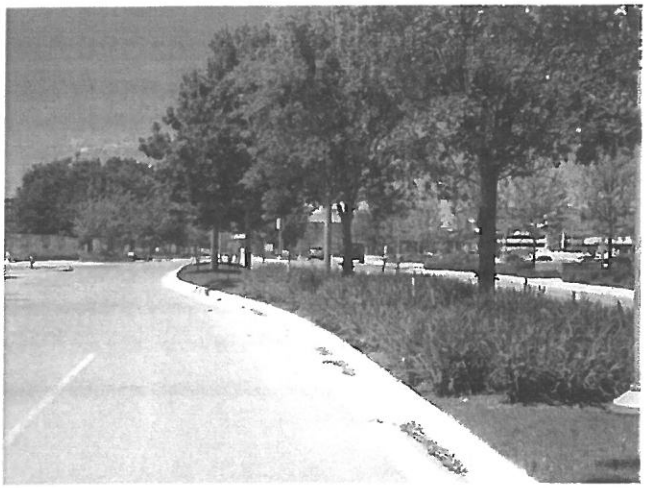
14.4 – Seating is encouraged in front of businesses, in public spaces and other instances where appropriate.

14.5 – All pedestrian areas shall comply with the most current American with Disabilities Act (ADA) standards and regulations. Particular attention shall be given to ramps, accessible paths of travel, level landings and handrails.

14.6 – Create a quality built environment with the inclusion of amenities such as street furnishing, plantings, art works, and water features to enhance the places that people will walk, gather, or recreate.

14.7 – Developments adjacent to multi-use trails shall provide a direct connection from the trail to the development's internal pedestrian circulation system.

14.8 – Streetscape furnishing should be made of high quality materials and be coordinated with the architecture of the building.



- A continuous canopy of street trees at 30 feet on center provides visual interest along the road.

- Benches, landscaping, street trees, and seating provide a comfortable pedestrian environment.

- Street trees are provided every 30 feet on center along the street.
- Ample shade and seating are provided for a comfortable pedestrian environment.

- Streetscape furnishings are made of high quality materials and create a brand and identity.