AGENDA
CITY OF FREDERICKSBURG
PLANNING & ZONING COMMISSION
Wednesday, October 8, 2014
5:30 P.M.
LAW ENFORCEMENT CENTER, 1601 E. MAIN ST.

		PAGE REF.
1.	Call to Order	
2.	Approve minutes from the September 2014 Regular Meeting	*Pp 1 - 4*

DISCUSSIONS

3.	Discuss amending Section 6.110 and 6.120 of the Zoning Ordinance pertaining to Continuation of a Nonconforming Use and Structure	*Pp 5 - 8*
4.	Discuss Design Standards and Guidelines for Entry Corridors from the proposed Comprehensive Plan Issues Update	*Pp 9 - 40*
5.	Discuss criteria for establishing a Mixed Use Zoning District	

ADJOURN

STATE OF TEXAS
COUNTY OF GILLESPIE
CITY OF FREDERICKSBURG

PLANNING & ZONING COMMISSION
September 3, 2014
5:30 P.M.

On this the 3rd day of September, 2014 the PLANNING AND ZONING COMMISSION convened in regular session at the Law Enforcement Center with the following members present to constitute a quorum:

JANICE MENKING - Chair
BRENDA SEGNER
CHARLIE KIEHNE
BILL PIPKIN
STEVE THOMAS
DARYL WHITWORTH
JOE CLOUD

ABSENT: TODD WILLINGHAM
CHRIS KAISER

ALSO PRESENT: BRIAN JORDAN - Director of Development Services
PAT MCGOWAN - City Attorney
TAMMIE LOTH - Development Coordinator

Janice Menking called the meeting to order at 5:30 P.M.

PUBLIC HEARINGS

PUBLIC HEARING (P-1415) BY LARRY R. DUECKER AND WAYNE W. DUECKER TO CONSIDER A REPLAT OF APPROXIMATELY 4.9 ACRES OF LAND KNOWN AS DUECKER SUBDIVISION LOCATED ON W. LIVE OAK ST. - It was moved by Daryl Whitworth and seconded by Charlie Kiehne to open Public Hearing P-1415 by Larry R. Duecker and Wayne W. Duecker to consider a replat of approximately 4.9 acres of land know as Duecker Subdivision located on W. Live Oak St. Brian Jordan, Director of Development Services, noted this is the first application received that is taking advantage of the Deferral of Public Improvements and Obligations on Gifted and Inherited Tracts that was introduced in the new subdivision ordinance. Mr. Jordan noted the property is going to be divided between two brothers and there will be a dedication of a small portion of right-of-way on the north end. Mr. Jordan noted that part of the property does not have access to a right-of-way so this would extend the right of way to their driveway. Mr. Jordan noted there is also an easement proposed that would accommodate the extension of the road and it will not negatively impact the existing structure. Mr Jordan added there is a large portion of the property that is encumbered by the flood plain and stated under normal circumstances that flood plain line would have to be established on the ground, but that is one of the items that is able to be deferred. Mr. Jordan stated the items that are being deferred are listed on the plat and the triggering point is the reconveyance of either lot by the

owners, the issuance of a building permit, or the property is re-subdivided further.

Brian Jordan noted Staff recommendation of approval and noted the Planning and Zoning Commission will be the final approval board and the plat will not go to the City Council. Brenda Segner moved to close Public Hearing P-1415 and Bill Pipkin seconded the motion. All voted in favor and the motion carried.
Joe Cloud moved to approve P-1415 and Brenda Segner seconded the motion. All voted in favor and the motion carried.

PUBLIC HEARING (Z-1408) BY DANIEL J. AND VERNA FRITZ FOR A CHANGE IN ZONING FROM C-1. NEIGHBORHOOD COMMERCIAL TO C-2, COMMERCIAL ON APPROXIMATELY ONE ACRE OUT OF A SIX ACRE TRACT OF LAND LOCATED AT 402 S. CREEK - It was moved by Charlie Kiehne and seconded by Joe Cloud to open Public Hearing Z-1408 by Daniel J. and Verna Fritz for a change in zoning from C-1, Neighborhood Commercial to C-2, Commercial on approximately one acre out of a six acre tract of land located at 402 S. Creek. Carroll Bryla, attorney for the owner, presented the application. Mr. Bryla noted a request to change zoning on 18 acres of land had been presented previously and that request was denied, so he is back with a more limited request to change the zoning on approximately one acre of land. Mr. Bryla noted this is precipitated because Dr. Fritz is ready to retire and he has another doctor in his clinic that would like to purchase the business but has a concern about what he can do with the business going forward because of the zoning regulations put on the property by the zoning district it is located in. Mr. Bryla noted the one acre tract was selected because that is where the actual clinic operations are being conducted. Mr. Bryla added Dr. Haufmann would like to expand the business in the future to include three to five veterinarians and the existing facility is not adequate for that number of doctors. Mr. Bryla noted Dr. Haufmann can go through the Conditional Use Permit process to expand the business but he would like the confirmation he can expand the business without going through the process. Mr. Bryla added the use is not adverse or opposed by the neighbors, but the applicant understands it is not possible to make a veterinarian clinic the only allowed use if the zoning is changed to C-2.

Dr. Travis Haufmann noted the trend in vet care is to have several veterinarians so there is not as great a chance of burn out and with the C-1 zoning he is not allowed to add another exam room without a Conditional Use Permit. Dr. Haufmann noted he plans on staying in Fredericksburg and running the current practice. Mr. Bryla noted this is a unique opportunity to look at this request outside of the box.

Daryl Whitworth moved to close Public Hearing Z-1408 and Brenda Segner seconded the motion. All voted in favor and the motion carried.

STAFF COMMENTS

Brian Jordan, Director of Development Services, noted everyone seems to understand what the proposal is but there is a concern with zoning the property C-2 because of all the permitted uses in that zoning district, and the criteria needs to be evaluated. Mr. Jordan noted there are some C-2 uses that would be completely inappropriate in the area and C-1 zoning affords the ability to apply for a Conditional Use Permit. Mr. Jordan added he understands that is a risk, but from a zoning perspective the applicant could apply for the Conditional Use Permit now for future expansion. Joe Cloud asked how long a Conditional Use Permit is good for and Mr. Jordan noted it is in perpetuity if progress is being made and the site remains compliant with the plan submitted, the use is continued and there is not a lapse of service. Mr. Jordan noted if the Conditional Use Permit is issued but no progress is made the permit will expire in two years. Mr. Jordan further explained the project can be constructed in phases and as long as progress continues, a two year approval period could be renewed each time a building permit is issued. Charlie Kiehne commented this seems to be spot zoning and questioned if that was illegal and added the

Commission has not approved any spot zoning. Pat McGowan, City Attorney, noted there is a lot of case law regarding spot zoning, but there is no statute. Brenda Segner questioned if the zoning on the one acre is changed, any improvements beyond that one acre would still require a Conditional Use Permit and Mr. Jordan verified that was true. Joe Cloud commented the proposed use for the C-2 zoning is fine for the use now, but down the road it will still be C-2 and all the other C-2 uses will be allowed. There followed much discussion about the intended use and the uses allowed on C-2 zoned property and the limitations that could be established on the property if only one acre is re-zoned. Janice Menking stated the concern is still that the change would represent spot zoning and the Commission has been very diligent in not spot zoning and if this is allowed, it would change the precedence that has been set. Mr. Bryla noted the location of the property is not conducive to the large commercial type uses the Commission is concerned with because they require high visibility and heavy traffic flow and that is not the case here. Mr. Jordan agreed that is true and that is one reason this tract is not suited for C-2 zoning. Ms. Segner asked if there is any time restriction for applying for a Conditional Use Permit and Mr. Jordan noted there is not. Mr. Whitworth commented everyone wishes Dr. Haufmann well but they have to look toward the future and if the veterinarian practice declines, a commercial use could come into the area that is not favorable to the residents.

Joe Cloud moved to deny Application Z-1408 and Daryl Whitworth seconded the motion. Joe Cloud, Steve Thomas, Daryl Whitworth, Janice Menking and Bill Pipkin voted in favor. Charlie Kiehne and Brenda Segner voted in opposition. The motion carried.

PUBLIC HEARING (Z-1409) BY THE CITY OF FREDERICKSBURG TO CONSIDER ESTABLISHING ZONING ON APPROXIMATELY 144.96 ACRES OF LAND BEING CONSIDERED FOR ANNEXATION LOCATED ON US HWY 290 EAST - Brian Jordan, Director of Development Services, noted this public hearing will not be held because the City Council decided to drop the annexation proceedings and the properties will not be annexed so there is no need to establish zoning on them. Mr. Jordan added that will give Staff and the Commission some time to evaluate the mixed use zoning. Joe Cloud noted he would still like to move forward with developing a mixed use corridor and Mr. Jordan agreed that would be wise.

MINUTES

Charlie Kiehne moved to approve the minutes from the August, 2014 meeting. Bill Pipkin seconded the motion. All voted in favor and the motion carried

DISCUSSIONS

WORKSHOP FOR COMPREHENSIVE PLAN ISSUES UPDATE

Brian Jordan, Director of Development Services, reminded the Commission there will be a meeting to discuss the comprehensive plan issues update with the City Council and the Historic Review Board. Mr. Jordan noted there will be three topics discussed which include the sidewalk and trails plan, the gateways into the community, and design guidelines. Mr. Jordan commented this will be just for discussion and there will not be final decisions or votes taken at the meeting. Mr. Jordan asked the Commission to look through the book they were given to see if they have any concerns with the recommendations presented.

ADJOURN

With nothing further to come before the Commission, Daryl Whitworth moved to adjourn. Charlie Kiehne seconded the motion. All voted in favor and the meeting was adjourned at 7:09 p.m.

PASSED AND APPROVED this 8th day of October, 2014.

SHELLEY BRITTON, Secretary

JANICE MENKING, Chairman

CITY COUNCIL MEMO

DATE: October 3, 2014

TO: Planning and Zonning Commission

FROM: Brian Jordan, AICP Director of Development Services

SUBJECT: Discuss amending Section 6.110 and 6.120 of the Zoning Ordinance pertaining to Continuation of a Nonconforming Use and Structure.

Summary:

Recently, we considered two zoning cases for property at the corner of Franklin Street and S. Creek Street, for a change in zoning from R-2 Mixed Residential to C-2 Commercial. The initial case resulted in a change to C-1 Neighborhood Commercial and the latter case resulted in a denial. However, in the discussion with the City Council in the latest hearing, it was suggested that the City consider amending the nonconforming provisions of the Zoning Ordinance to allow a certain percentage of enlargement, expansion, extension or change, without the neccessity of requiring a Conditional Use Permit. Currently, a non-conforming use in a commercial zone is required to obtain a Conditional Use Permit for any changes.

Recommendation:

We suggest that the Commission discuss the possiblity of allowing a nonconforming use to be enlarged or changed by a certain percentage without a Conditional use Permit. Staff does not object to this consideration.

The City of Fredericksburg

126 W. Main St. • Fredericksburg, Texas 7[illegible]4-3708 • (830) 997-7521 • Fax (830) 997-1861

Background / Analysis:

The concept behind a nonconforming use is that the property will eventually transition to a conforming use and, allowing it to expand is only prolonging this from taking place. However, in certain cases such as the Gillespie Animal Center where there is really no neighborhood opposition, it may be reasonable to allow a business to expand without requiring certain procedures.

- Sec. 6.110. - Continuance of a Nonconforming Use.

Residential Districts

Enlargement. A non-conforming use shall not be enlarged, expanded, extended or changed.

Conversions. A non-conforming use may be continued as the same classification, or may be changed to a use of a more restricted classification upon approval of a conditional use permit. If it is changed to a use in a more restricted classification or to a conforming use, it cannot be changed back to its original non-conforming use. For purpose of this paragraph, the phrase "same classification" means: uses permitted in the same district; a "more restricted classification" means: use in a district having more restricted use (i.e., C-2 vs. C-1); and provided that:

The new use is similar to or less intensive than that of the old use in terms of noise generated, outdoor storage, customer activity and impact on other conforming uses in the area, and that the new use comply with the parking requirements of this ordinance as applicable to newly established uses.

Termination.

If a non-conforming use or any portion thereof is voluntarily discontinued for a period of 90 days, any future use of such land or portion thereof shall be in conformity with the regulations of the district in which such land or portion thereof is located.

Non-conforming use is terminated upon a change in use other than as provided herein.

Non-conforming use is terminated upon destruction of a structure occupied by a non-conforming use unless it is permitted to be rebuilt as provided herein.

Other Districts

Enlargement. A non-conforming use may be enlarged within the boundary of the lot in which the non-conforming use has legally operated upon approval of a Conditional use Permit (section 5.400). Such enlargement of extension shall be in compliance with all city ordinances, codes, or policies. Existing non-conforming single family residential uses may be enlarged without the necessity of obtaining a Conditional Use Permit.

Conversions. A non-conforming use may be continued as the same classification, or may be changed to a use of a more restricted classification upon approval of a conditional use permit. If it is changed to a use in a more restricted classification or to a conforming use, it cannot be changed back to its original non-conforming use. For purpose of this paragraph, the phrase "same classification" means: uses permitted in the same district; a "more restricted classification" means: use in a district having more restricted use (i.e., C-2 vs. C-1); and provided that:

The new use is similar to or less intensive than that of the old use in terms of noise generated, outdoor storage, customer activity and impact on other conforming uses in the area.

The new use complies with the parking requirements of this ordinance as applicable to newly established uses.

Termination. A nonconforming use is terminated under the following conditions:

Upon a change in use other than as provided herein.

Upon discontinuance, being defined as non-operative or non use for a period of at least 365 successive days. Discontinuance may be, but is not required to be, evidenced by termination of utility service, the failure to maintain regular hours of operation, the utilization of the premises for other purposes, abandonment or by any other reasonable means.

Upon destruction of a structure occupied by a nonconforming use except if it is permitted to be rebuilt as provided herein.

Replacement. If a structure occupied by a nonconforming use is destroyed by fire, the elements or other cause, it may not be rebuilt except to conform to the provisions of this Ordinance. In the case of partial destruction of a nonconforming use not exceeding 75 percent of its tax roll assessed value, reconstruction will be permitted but the size or function of the nonconforming use shall not be expanded.

(Ord. No. 23-007, 5-20-2013)

- Sec. 6.120. - Continuance of Nonconforming Structures.

Subject to all limitations herein set forth, any nonconforming structure may be occupied and operated and maintained in a state of good repair, but no nonconforming structure shall be enlarged or extended.

A nonconforming structure in which only permitted uses are operated may be enlarged or extended if the enlargement or extension can be made in compliance with all the provisions of this chapter established for structures in the district in which the nonconforming structure is located. Such enlargement shall also be subject to all other applicable city ordinances.

Termination of nonconforming structures:

Damage to structures. The right to operate and maintain any nonconforming structure shall terminate and shall cease to exist whenever the nonconforming structure is damaged in any manner and from any cause whatsoever and the cost of repairing such damage exceeds 75 percent of the tax roll assessed value of such structure on the date of such damage.

Obsolescence of structure. The right to operate and maintain any nonconforming structure shall terminate and shall cease to exist whenever the nonconforming structure becomes obsolete or substandard under an applicable ordinance of the municipality and the cost of placing such structure in lawful compliance with the applicable ordinance exceeds 75 percent of the tax roll assessed value of such structure on the date that the proper official of the municipality determines that such structure is obsolete or substandard.

Determination of replacement cost. In determining the replacement cost of any nonconforming structure there shall not be included therein the cost of land or any factors other than the nonconforming structure itself.

(Ord. No. 23-007, 5-20-2013)

CITY COUNCIL MEMO

DATE: October 3, 2014

TO: Planning and Zoning Commission

FROM: Brian Jordan, AICP

SUBJECT: Discuss Design Standards and Guidelines for Entry Corridors from the proposed Comprehensive Plan Issues Update

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Summary:

Design Workshop presented the draft Comprehensive Plan Issues Uptate document to the City Council and Planning and Zoning Commission on July 21, 2014. There was significant discussion and a number of concerns raised at this meeting. It was decided that the process for consideration would be slowed down, giving time for additional community input and additional workshops for discussion. The initial worksession which included the Council, Planning and Zoning Commission and the Historic Review Board was held on September 8, 2014. The primary focus of this meeting was to discuss the Gateways Plan and the Design Standards and Guidelines for Entry Corridors. The second meeting of this group was held on September 22, 2014, where the primary focus was on the Sidewalk and Trails Plan.

It was decided at this time by the City Council that they would like for the Planning and Zoning Commission and Historic Review Board to have further review of the Design Standards and Guidelines for Entry Corridors, and come up with a recommendation on whether to include all or a portion of the elements suggested.

Recommendation:

Discuss each of the 14 Design Standards and Guidelines and determine whether all or a portion of these standards and guidelines should be applied to development within the proposed gateways. These standards include architectural style, architectural materials, architectural color, architectural features, massing and scale, signage, building height, setbacks and frontage, landscaping, lighting, service areas, parking and access, drainage and stormwater, and streetscape.

Please bring your draft of the Comprehensive Plan Issues Update with you to the meeting.

Background / Analysis:

The current Comprehensive Plan was updated in 2006. For the most part, the plan has served the community well and there have been a number of items accomplished. It was determined at a Council Retreat in June, 2013, that the city would do a partial update rather than a complete update. The issues that were identified as not being accomplished from the 2006 Plan and being the highest priority were the Sidewalk and Trails Plan, Gateways Plan and Design Standards and Guidelines for Entry Corridors.

Based on the two worksessions that were held recently, the Sidewalk and Trails Plan as well as the Gateways Plan has generally been agreed upon. It is the application of the Design Standards and Guidelines that the Council felt needed additional consideration.

1. ARCHITECTURAL STYLE

Intent

Architectural style is the overall character or design of a building that makes it identifiable. The style is typically determined by the period when a building was built, and the culture that built it. The architecture in the Historic District can be defined as eclectic, with multiple techniques and styles throughout the area.

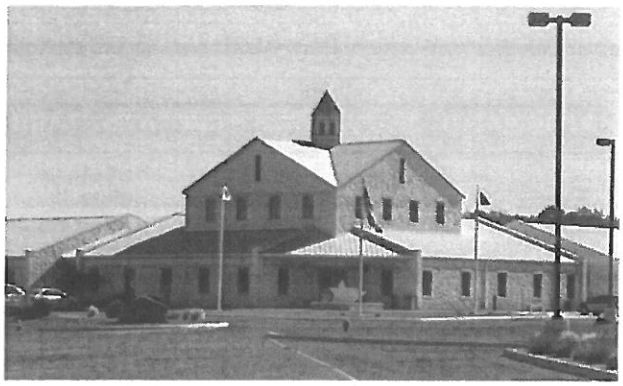
Historically, the settlers to the hills of central Texas brought their carpentry and stone mason skills to their buildings. The locally available white limestone and later brown sandstone were used with the local cedar to construct the well-crafted buildings throughout the region. The more rustic simple nature of Texas Hill Country style is also due to the lean times when the area was being settled, resulting in a simple style. The Hill Country style has a modern elegance because of its simplicity, materials and craftsmanship in construction.

The intent of the Architectural Style Standards are to:

- Create a uniform and cohesive corridor of development;
- Preserve the City's historic and cultural resources, so that they contribute to the special character and quality of Fredericksburg;
- Protect historic resources; and
- Encourage adaptive reuse, rehabilitation, and retrofitting of historic buildings in which the original use is no longer feasible.

Applicability

1.0 – Architectural Styles Design Standards apply to all redevelopment in the entry corridors.



Standards

1.1 – Adhere to the Historic District Guidelines when rehabilitating historic buildings.

1.2 – If the building is not a Pioneer, Gothic, Texas Regional, Commercial, Italianate, Bungalow, or Folk Victorian style, then it must conform to the design principles of one of these styles.

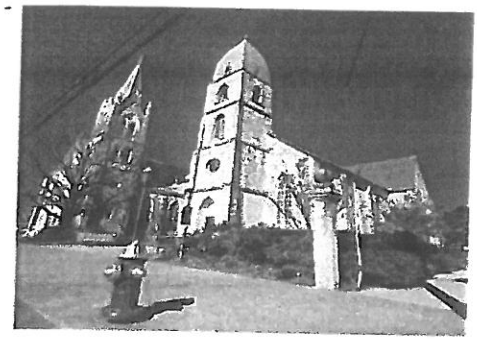
Guidelines

1.3 – The architectural style of the entry corridor should be reflective of the Texas Hill Country aesthetic.

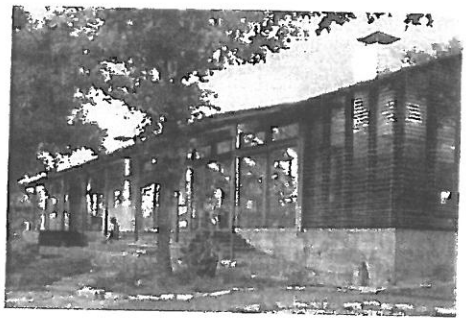
1.4 – New designs should be compatible with the design traditions of the established neighborhoods and regional Texas Hill Country aesthetic. It is not the intent of these guidelines to require that new buildings copy older building styles. Therefore, use traditional building forms and broader similarities of design in order to be compatible with existing buildings in the area that reflect the traditional context.

1.5 – The use of standardized "corporate" architectural designs associated with chain or franchise buildings (prevalent with restaurants, service stations and retail stores) is strongly discouraged and alternative designs consistent with this design manual may be required.

- **Pioneer** - Split logs, rock facades, wide chinking, limestone additions, Sunday houses



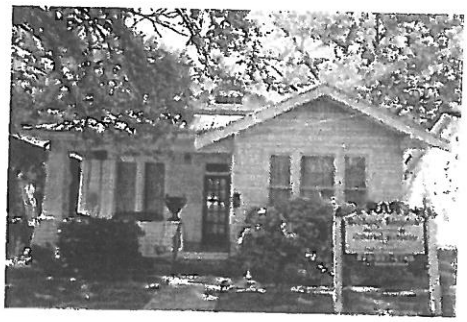
- **Gothic Revival** - Steeply pitched roofs, arches, towers



- **Texas Regional (Not in Historic Guidelines)** - sophisticated, modern, local materials, regional design techniques, metal brackets with awnings

- **Commercial** - One to three story, three bay façade, recessed entrance, transom windows, decorative cornice

- **Italianate** - wide overhanging eaves, low pitched roof, grouped supports



- **Bungalow** - decorative beams, partial width, deep porches, exposed roof rafters, gabled roofs

- **Folk Victorian** - symmetrical façade, spindle work on supports and railings, one story

2. ARCHITECTURAL MATERIALS

Intent

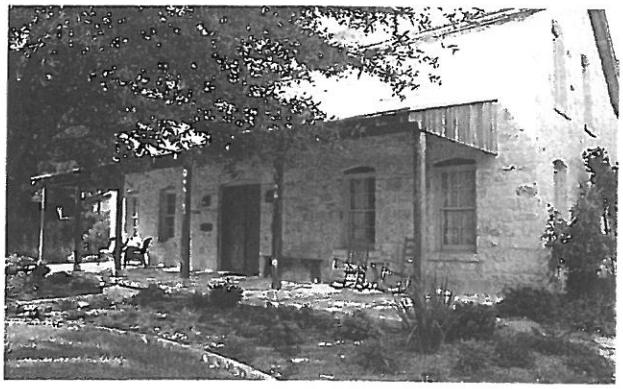
The materials used in construction are a primary element in the appearance of the building. Much of the newer construction along the entry corridors utilizes modern materials, including metal facades, tilt wall concrete, etc. These materials allow for more efficient and cost effective construction; however, they do not contribute to the overall character and appearance. Design guidelines for materials will address this to ensure new construction utilizes appropriate materials to enhance entryway appearance.

The intent of the Architectural Materials Standards are to:

- Adhere to the Historic District Guidelines when rehabilitating historic buildings;
- Ensure materials are fitting with the Texas Hill Country style prevalent in Fredericksburg;
- Utilize materials that have minimum environmental impacts (glare, SRI, excessive heat, etc.);
- Use materials that contribute to the visual interest of the structures; and
- Use efficient and cost effective construction.

Applicability

2.0 – Architectural Materials Design Standards apply to all redevelopment in the entry corridors.



Standards

2.1 – Buildings shall employ authentic, textured materials, compatible with the traditional Hill Country aesthetic. Highly reflective materials are unacceptable, because of their tendency to create uncomfortable glare conditions.

2.2 – Use cedar, limestone and brown sandstone.

2.3 – Abide by Historic District Guidelines for preserving historic buildings.

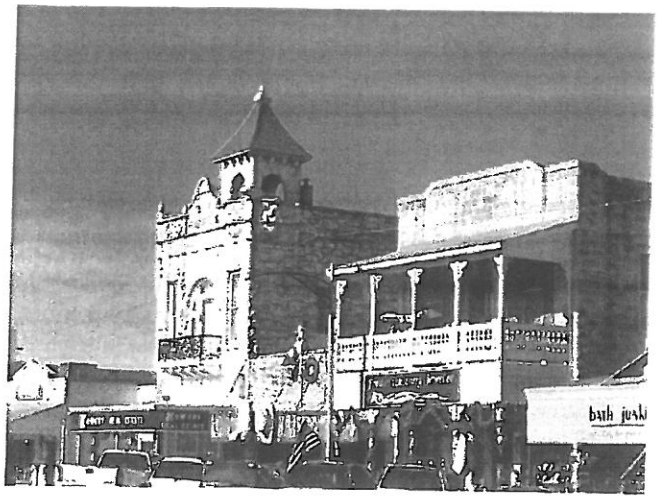
2.4 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines).

2.5 – Do not create a false sense of era or appearance with replacement of metal details or features that are not based upon any historical evidence (Historic Design Guidelines).

Guidelines

2.6 – New developments should choose materials that offer texture and avoid monotonous faces to add visual interest and reduce its apparent scale.

- Building materials are well preserved to maintain the historical nature of the City.



- Common materials create the sense of a district and identity.

- The historical building facade promotes the historical characteristics of the City through the use of stone and wood.

- The use of different materials on a building can break up the visual scale of the building, allowing for a more relaxed and comfortable pedestrian experience.

3. ARCHITECTURAL COLOR

Intent

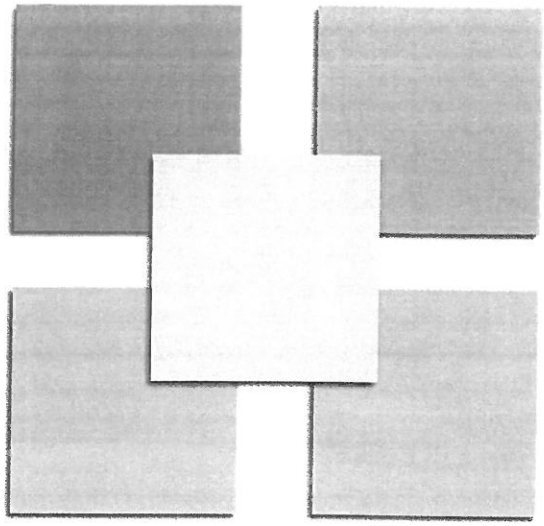
Color may seem a small element in overall community design, but it plays a significant role in appearance. Colors that would be perfectly appropriate in one community, such as the pastels found on homes and businesses in Port Aransas, would look wildly out of place in Fredericksburg. This section shouldn't limit landowners to four shades of beige; however, there should be consideration of what colors coordinate with existing development and the overall character of the community.

The intent of the Architectural Color Standards are to:

- Create a pleasing color scheme that preserves and highlights the heritage of Fredericksburg; and
- Create a robust but form-fitting color palate which allows enough variation to not seem repetitive, but still restrictive enough to keep outlandish color scheme from occurring.

Applicability

3.0 – Architectural Colors Design Standards apply to all redevelopment in the entry corridors.



Standards

3.1 – Choose colors used traditionally in Fredericksburg such as muted shades of greens, blues, and tans (Historic Design Guidelines).

3.2 – Use color to coordinate façade elements in an overall composition and tie all of the building elements together.

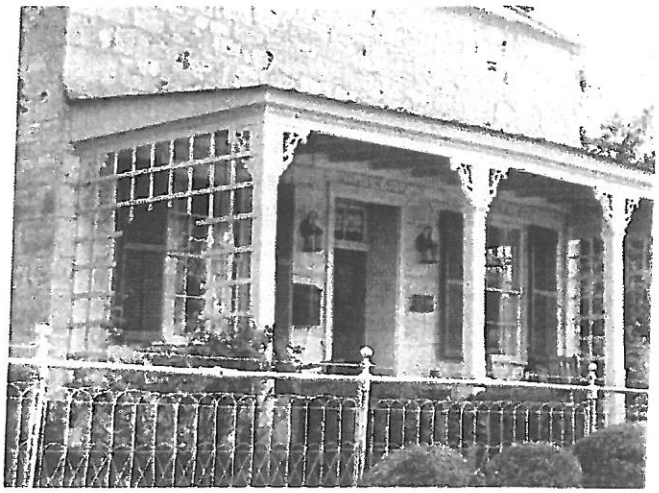
3.3 – Reserve bright colors for accents only. Limit the use of bright colors to no more than 30 percent of the overall exterior building façade.

Guidelines

3.4 – Predominate building colors shall be of earth tones, but may be accented with brighter colors to provide color variation, punctuation, and eclecticism unique to Fredericksburg.

- Architectural colors are muted and fit nicely in the Hill Country.

- Bright, architectural colors are used with restrain and sophistication.



- The use of traditional colors against the historic limestone rock creates a visually appealing and eye-catching structure.

- Landscaping provides a sense of scale and color to the front of a building.

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4. ARCHITECTURAL FEATURES

Intent

Architectural features are the specific elements that create the appearance of the building. These include the windows, canopies and awnings, roof, parapets, etc. To create a consistent look throughout an area, buildings should share common features and elements. It is not that they need to be uniform on every building, rather that there is a consistency to them.

The intent of the Architectural Features Standards are to:

- Use listed features on buildings to help promote not only historical aesthetic value, but also create strong social settings when applicable;
- Create retail and commercial spaces that feel open with use of large windows, and architectural features which promote a "human scale;"
- Maintain a feeling of historical character in architecture throughout the city;
- Provide detailed façade treatments on any elevation that is visible from streets/corridors or from any primary elevations of adjoining buildings; and
- Avoid use of unadorned blank walls on elevations facing entry corridors and side streets.

Applicability

4.0 – Architectural Features Design Standards apply to all redevelopment in the entry corridors.

Standards

4.1 – Blank or featureless walls will not be approved along parks, plazas, entry corridors or side streets.

4.2 – Design buildings with a "human scale" by using architectural enhancements. The building facade facing the parks, plazas, entry corridors or side streets shall have visible, clearly defined customer entrances that include at least three of the following elements: canopies or porticos, overhangs, recesses or projections, arcades, raised cornice parapets over the entrance door, distinctive roof forms, arches, outdoor patios or plazas, display windows, or integral planters.

4.3 – Choose features that fit the scale of the building and its surroundings.

4.4 – Use original materials, retain and preserve significant architectural features, ensure the maintenance of the building's historical character. (Historic Design Guidelines)

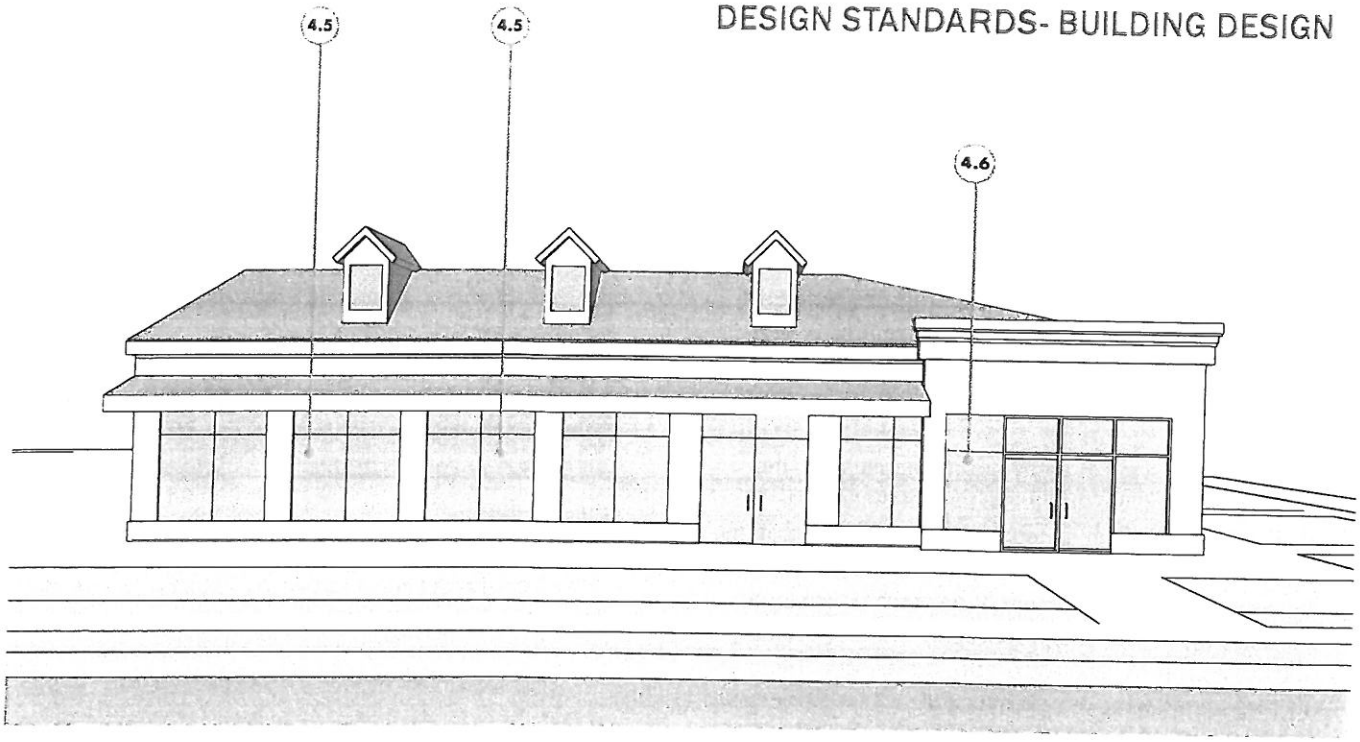
4.5 – Windows and doors shall be equally spaced and provide rhythm along the façade of the building.

4.6 – At least 40 percent of the ground floor façade facing parks, plazas, entry corridors or side streets shall be constructed of clear and non-tinted windows.

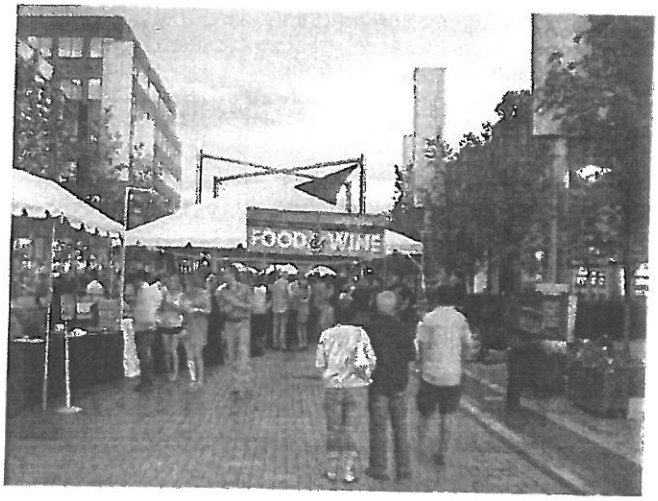
4.7 – For any multi-tenant commercial development, a covered arcade/structural canopy shall be provided along the front facade of the building. Arcades are covered walkways connected to the principal building. They should be a minimum of five feet in width and designed to provide covered areas for relief from the weather. Different arcade/structural canopy designs may be used for each individual tenant/business within a multi-tenant commercial development provided that they blend aesthetically with the front facade of the building.

Guidelines

4.8 – If a shed roof or flat roof design is used, add a parapet wall to screen the roof.



- Window awnings and roof overhangs are not only visually appealing but also provide cover from the weather and give spaces definition and character.



- Plazas are an incredibly useful and visible public space, allowing for social and recreational programs to take place within their borders.

5. MASSING AND SCALE

Intent

The massing and scale of buildings helps preserve the historic and "small town" feel of the region. Residents and property owners identify with this character and would like to see it maintained, thus it is important for new development to be consistent.

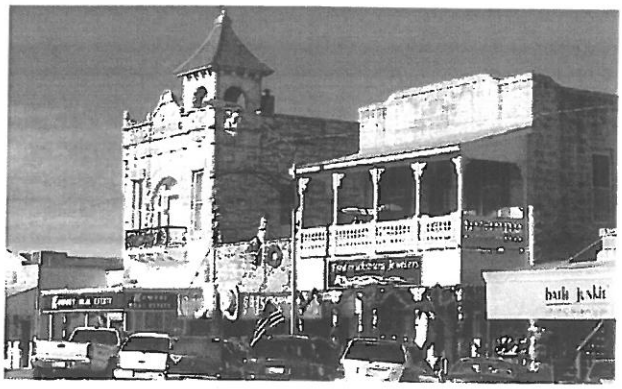
The mass and scale of a development relates to the mass of the building and its scale of architectural features related to the structures size. If the mass of the building is too large, it will not properly integrate within the surrounding environment. If the scale is too large, the building will look disproportional and out of touch with standards in place within the community. Therefore the mass and scale of buildings built within the Historic District and entry corridors should encompass the ideas of size and location on lots relating to the architectural style already in place within the built environment.

The intent of the Massing and Scale Standards are to:

- Fit the mass and scale of the broader context of the landscape and surrounding development; and
- Break up larger building mass by varied façade treatments and articulated roof treatments to keep scale accurate.

Applicability

5.0 – Massing and Scale Design Standards apply to all redevelopment in the entry corridors except for single family residential.



Standards

5.1 – Break up the front of large retail buildings by dividing it into individual bays 25 to 40 feet wide.

5.2 – Use variation in materials, textures, patterns, colors, and details to break down the mass and scale of a building

5.3 – When making transitions to lower density areas, modulate the mass of the building to relate to smaller buildings. Heights can be greater if the mass is modulated and other scale techniques are adopted. Reduce height near lower density uses.

5.4 – Building mass shall be used that is appropriate to the site. Buildings of the greatest footprint, when possible, should be located towards the center of a development where the impact on adjacent uses is the least.

5.5 – Each building shall have sufficient facade relief and interruption every 30 feet so as to provide visual architectural interest.

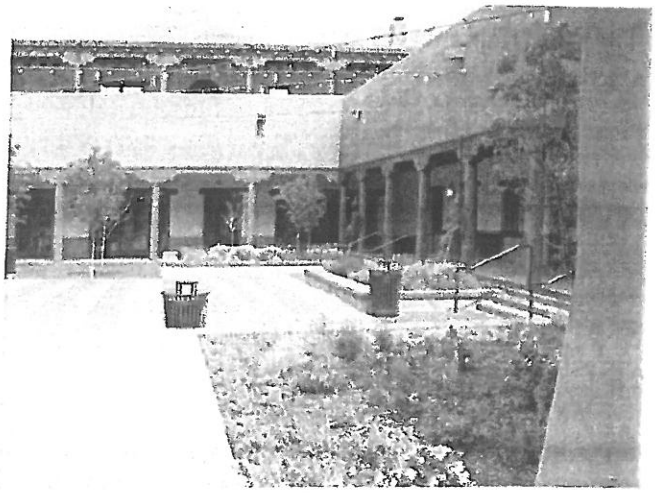
Guidelines

5.6 – Fake window and similar details are not appropriate articulation.

5.7 – Buildings are encouraged to be contiguously arranged along the street face, and large breaks between buildings in identified development sites should be avoided.

- Neighboring buildings are similar in mass and scale to maintain a visual flow along the street.
- The building scale maintains a pedestrian feel.

- By placing a setback between first and second floors, streets seem more approachable and open from the pedestrian level.



- Courtyards create both private and public social spaces which can be used for a variety of activities.

- By adding different textures and materials to different parts of the building, what is a large and expansive building to the eye looks properly sized and approachable.

6. SIGNAGE

Intent

Signage is one issue that can create significant conflict between developers, business owners, and the City. This is because owners want to maximize their visibility to passersby, while the City wants to protect overall safety and appearance and not have a profusion of signs. Appropriate sign regulations balance the concerns of business owners with the public welfare concerns. Signs are effective in garnering attention, while not detracting from overall appearance or distracting passersby. Signs should also be scaled to their environment. Signs along a highway will be different from those in a primarily pedestrian area. This picture shows a sign appropriate for a high speed thoroughfare. It is large, but in muted colors, made to look like it is made of wood, and appropriate for the business being advertised.

The intent of the Signage Standards are to:

- Ensure preservation of historic heritage and atmosphere; and
- Improve aesthetic appeal around signage.

Applicability

6.0 – Signage Design Standards apply to all redevelopment in the entry corridors.

Standards

6.1 – Reflective, fluorescent, neon and flashing signs shall not be allowed.

6.2 – Limit the height of free standing signs to 5 feet (Signage Ordinance)

6.3 – A landscaped base area shall be provided for monument or ground signs appropriate to the mass and height of the sign. All areas within 5 feet of the base of any sign shall be landscaped. The landscaped area may include trees, shrubs, flowering perennials, ornamental tall grass, fountains, water features, decorative stonework, planters, sculpture and decorative paving.

6.4 – Integrate signs into building and site design so they do not appear as an afterthought.

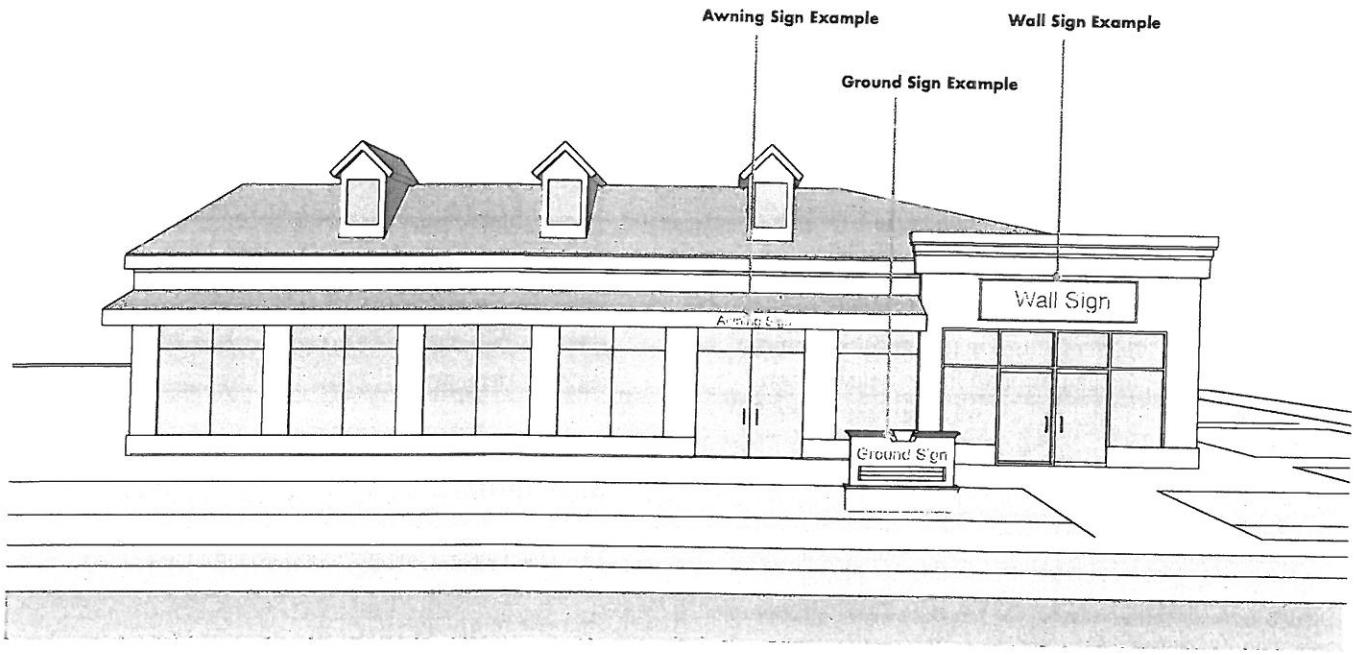
6.5 – Attached signs shall be located above the building entrance, storefront opening, or at other locations that are compatible with the architectural features of the building.

6.6 – Prohibit the use of billboard, illuminated or excessive signage throughout the entry corridors.

Guidelines

6.7 – A minimal number of colors should be used per sign where possible. Bright colors should be reserved for accent only.

6.8 – Exterior neon lighting is to be discouraged.



- Signage is low to the ground and made of local materials such as stone.
- Signage fits within the landscape and doesn't detract from the surrounding environment.

- Signage is incorporated into building design.
- Fonts and text styles are incorporated into the color scheme and design of the building.

7. BUILDING HEIGHT

Intent

Building height is important to maintain character of a place and to improve the general quality of the building environment, pedestrian spaces and pedestrian relationships to buildings. The goal is not uniformity, rather heights should be within a range that work well together. When buildings are too tall, they can create a canyon effect, making an area feel enclosed and unpleasant. Buildings that are too short lose definition and do not contribute to the character of an area. The key is to work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency. The image shows how different heights can work together, with two story buildings (occasionally higher buildings are present at key intersections).

The intent of the Building Height Standards are to:

- Create a unique corridor and downtown feeling with consistent building heights which correspond to the historic streetscape feeling of central Fredericksburg;
- Ensure adherence to maximum building height so that the character is not lost or damaged; and
- Step roof down towards front of building to keep streetscape from becoming overbuilt and to form pedestrian gathering places.

Applicability

7.0 – Building Height Design Standards apply to all redevelopment in the entry corridors.

Standards

7.1 – Use existing height standards from the Zoning Ordinance as a base, and indicate where the standards are different.

7.2 – Three (3) Stories (38 ft) max in commercial districts (C-1, C-2, CBD, M-1, M-2, M-3 zones).

7.3 – Four (4) stories (50ft) for public facilities.

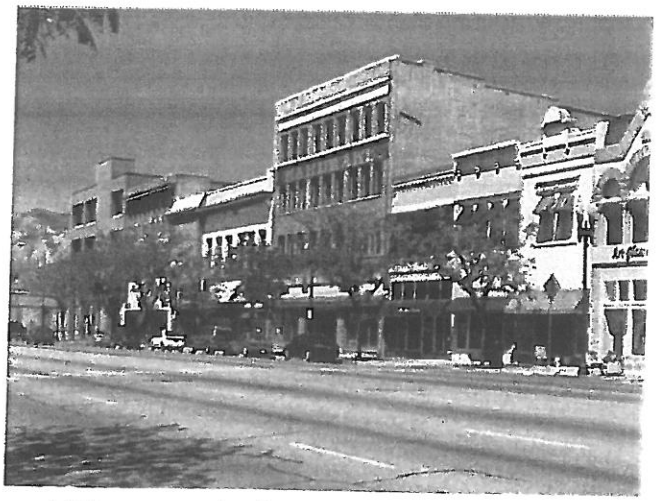
7.4 – Work with the existing streetscape and define heights that are appropriate to create a welcoming environment and consistency.

Guidelines

7.5 – Use building height to define neighborhood and district edges, and to provide a "human scale."

7.6 – Floor to floor heights of a building can have an impact on the mass of the building. Typical ceilings in a residence are 8-9 feet. First floors of office buildings or retail shops can range from 10-15 feet. Upper floors that include residential or office are generally 8-12 feet in height. Actual or implied floor-to-floor heights above 15-20 feet on the exterior should be avoided, as a building may begin to lose its "human scale" appearance.

- By using different materials and heights, large sized buildings can appear to be separate and smaller in scale.



- With proper setbacks and landscaping, buildings of different but similar height can easily blend together and create a lively and varied streetscape.

- By using different building heights, downtown areas can add character and sense of place.

- An example of how one, two and three story buildings can mesh well in areas that have proper landscaping, setbacks, and material use.

8. SETBACKS & FRONTAGE

Intent

Setbacks define the relationship of a building to the street frontage, and how far the building is from the ROW or sidewalk. Along highways, it may be appropriate for buildings to be set farther back away from the roadway; while in pedestrian areas, it is preferable to have buildings up to the sidewalk. In conventional development, buildings are setback from the road behind parking lots. This ensures adequate parking and high visibility for the business; however, it does not contribute to the aesthetics of an area. Much of the development within the entryways to Fredericksburg follows this pattern.

The intent of the Setbacks and Frontage Standards are to:

- Preserve characteristics of Fredericksburg's small town downtown heritage through the use of building setback.

Applicability

8.0 – Setback Design Standards apply to all redevelopment in the entry corridors except for single family residential.

Standards

8.1 – Setbacks shall be a maximum of 25 feet except for single family residential.

8.2 – No parking lots shall be constructed on the corner of a street.

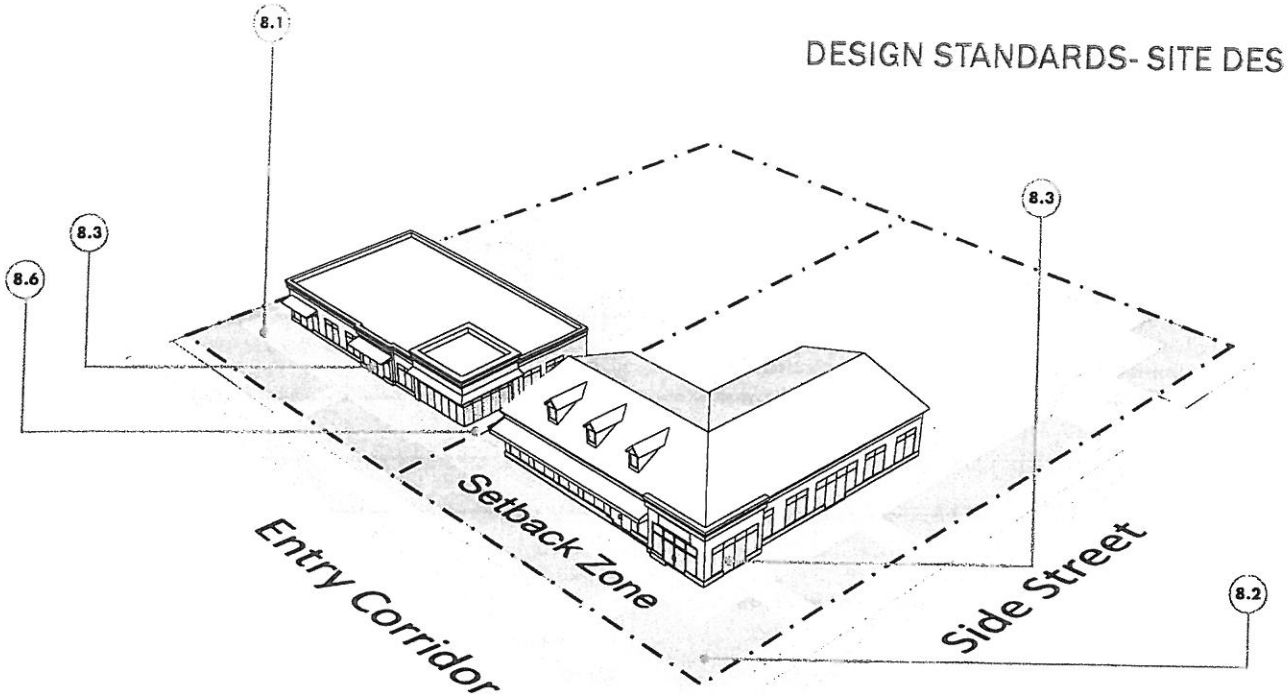
8.3 – Doors and entryways shall be constructed facing the entry corridor and any side streets. Secondary entrances may be constructed to allow convenient access from secondary streets, adjacent buildings, sidewalks, or parking.

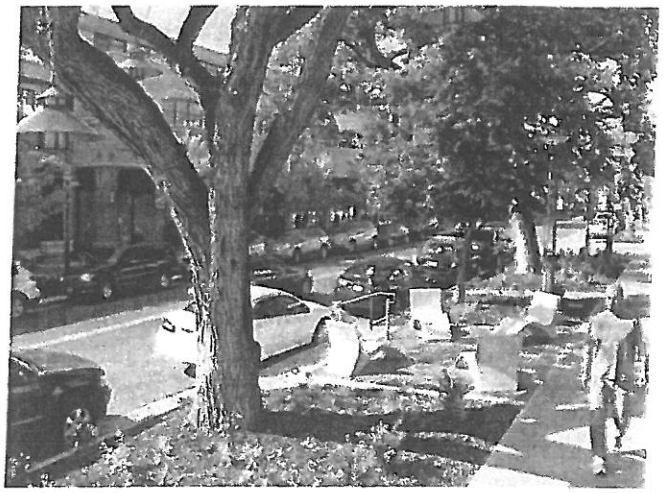
8.4 – The front door must connect to the sidewalk along the entry corridor.

8.5 – In areas adjacent to or near the Historic District, new buildings shall match adjacent building setback in order to preserve the Historic District character and to encourage walkability.

Guidelines

8.6 – A contiguous building arrangement without large breaks between buildings along the street face is encouraged.





- By encouraging building set back along entry corridors, the city will have room to provide not only landscaping but also areas of public social space along pathways and pedestrian walkways.

- Buildings along Town's Creek or Barons Creek have a pedestrian oriented frontage along the creek
- Parking is not located between the building and creek
- Buildings should take advantage of adjacencies to Town Creek and Barons Creek by providing amenities between the building and the creek

9. LANDSCAPING

Intent

Appropriate landscaping plays a significant role in the character and appearance of an area. Landscaping can be used as a buffer to disguise unappealing features, like utilities and parking. Landscaping can also enhance pedestrian areas, offering shade and a visual break from the built environment and serving as a buffer to the street. The challenge of landscaping is the on-going maintenance required to keep it attractive, as well as water usage. Xeriscaping should be utilized to ensure minimal water use and lower maintenance for landscape features. The City can work with property owners and civic organizations, such as the Garden Club, to adopt landscape features to provide on-going maintenance and care for them.

The intent of the Landscaping Standards are to:

- Create street-to-building buffering landscapes with native and drought resistant plant species for more pleasurable vehicular and pedestrian experience;
- Create a cohesive and consistent tree canopy along pedestrian pathways to create a pleasing and comfortable environment for non-vehicular traffic;
- Restore existing natural areas where possible; and
- Create public spaces and common areas that invite residents and tourists to visit with appealing and beautiful landscaping.

Applicability

9.0 – Landscaping Design Standards apply to all redevelopment in the entry corridors.

Standards

9.1 – Landscaping, including planting and trees, shall be provided as a buffer between the street and parking area.

9.2 – To create a cohesive tree canopy that provides for consistent shade, street trees shall be planted a minimum of every 30 feet on center (centered between the curb and sidewalk).

Guidelines

9.3 – Native, drought tolerant and adapted landscape species should be used to the greatest extent possible.

9.4 – A minimum of 50 percent of the plant species should be selected from the approved plant list.

9.5 – Minimize impervious coverage to reduce the need for energy and water consumption.

9.6 – Utilize parks, open spaces and natural areas as buffers between incompatible uses or as a means of maintaining natural viewsheds.

9.7 – Planting is preferable to turf within the right-of-way, including spaces between sidewalks and the street. Landscaping between the curb and sidewalk should be no taller 24" tall and adhere to the clear sight distance triangle.

9.8 – Every effort should be made to protect underground utilities such as water, sewer, phone and cable from tree or plant roots.

9.9 – Restoration of natural areas is strongly encouraged during new development and, to the extent possible, redevelopment.

9.10 – Wherever possible, parks should take advantage of existing mature vegetation by preserving it and incorporating it as a feature of the park to maximize use of shaded areas.

9.11 – Minimize grading and preserve existing vegetation whenever possible.

9.12 – Landscapes should be irrigated to establish planting and provide the correct water levels to support the long term growth of landscape. Irrigation systems must use efficient water methods, group planting into similar hydro-zones, and use moisture sensors to control the use of water.

9.13 – Root barriers should be used in planting areas between the sidewalk and street which are less than 10 feet in width.

- Drought tolerant plantings such as bulbine and silver pony foot are encouraged.
- Planting is provided as a buffer between the sidewalk and street.

- Agaves, grasses, and cacti are appropriate plant materials that have low water requirements.

- Seasonal planting is provided between the street and the sidewalk, creating a buffer between automobile and pedestrian sidewalk, while keeping within the maximum height of 2 feet.

DESIGN STANDARDS- SITE DESIGN

Table 1: *Recommended Street Trees (Planting Areas >10')*

STREET TREES	
Common Name	Scientific Name
Shumard Oak	Quercus shumardii
Chinquapin Oak	Quercus muehlenbergii
Live Oak	Quercus virginiana
Montezuma Cypress	Taxodium mucronatum
Lacey Oak	Quercus laceyi
River Birch	Betula nigra
Mexican Sycamore	Platanus mexicana

Table 2: *Recommended Trees*

SCREENING	
Common Name	Scientific Name
Red Maple	Acer rubrum
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Live Oak	Quercus virginiana
Bald Cypress	Taxodium Distichum

Table 3: *Recommended Trees for Screening*

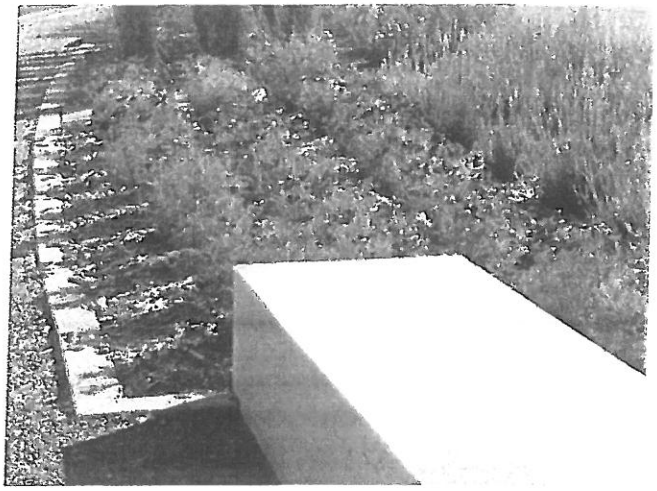
SCREENING	
Common Name	Scientific Name
River Birch	Betula nigra
Bottlebrush	Callistemmon sp.
Texas Redbud	Cercis canadensis 'Texensis'
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'

Table 4: *Recommended Trees for General Landscaping*

TREES	
Common Name	Scientific Name
Florida Maple	Acer barbatum
Red Maple	Acer rubrum
River Birch	Betula nigra
Bottlebrush	Callistemmon
Pecan	Carya illinoinensis
Texas Redbud	Cercis canadensis 'Texensis'
Texas Persimmon	Diospyros texana
Possumhaw Holly	Ilex decidua
American Holly	Ilex opaca
Yaupon Holly	Ilex vomitoria
Savannah Holly	Ilex x 'Savannah'
Sweetgum	Liquidambar styraciflua
Southern Magnolia	Magnolia grandiflora
Little Gem Magnolia	Magnolia grandiflora 'Little Gem'
Sweetbay Magnolia	Magnolia virginiana
Slash Pine	Pinus elliottii
Loblolly Pine	Pinus taeda
Texas Pistache	Pistacia texensis
American Sycamore	Platanus occidentalis
Mexican Sycamore	Platanus mexicana
Mexican Plum	Prunus Mexicana
Sawtooth Oak	Quercus acutissima
Bur Oak	Quercus macrocarpa
Cow Oak	Quercus michauxii
Nuttall Oak	Quercus nuttallii
Live Oak	Quercus virginiana
Eve's Necklace	Sophora affinis
Bald Cypress	Taxodium Distichum
American Elm	Ulmus Americana

Table 5: *Recommended Plants for General Landscaping*

GROUND COVERS	
Common Name	Scientific Name
Ajuga	Ajuga sp.
Centipedegrass	Eremochloa ophiuriodes
Homestead Verbena	Glandularia canadensis
Daylily	Hemerocallis sp.
Red Yucca	Hesperaloe parvifolia
Trailing Juniper	Juniperus sp.
Trailing Lantana	Lantana sp.
Liriope	Liriope sp.
Dwarf Nandina	Nandina sp.
Katie Ruellia	Ruellia elegans
Yucca	Yucca sp.
Rain Lily	Zephyranthes sp.
ORNAMENTAL GRASSES	
Common Name	Scientific Name
Bluestem	Andropogon sp.
Sideoats Gamma	Bouteloua curtipendula
Weeping Lovegrass	Eragrostis curvala
Purple Lovegrass	Eragrostis spectabilis
Sand Lovegrass	Eragrostis trichocolea
Fiber Optic Grass	Isolepis cernua
Purple Autumn	Miscanthus sinesis
Zebra	Miscanthus sinesis 'Zebri'
Muhly	Muehlenbergia sp.
Little Bunny Fountain	Pennisetum alopecuriodes
Fountain	Pennisetum rueppellii
Mexican Feather	Stipa tenuissima
VINES	
Common Name	Scientific Name
Crossvine	Bignonia capriolata
Trumpet Creeper	Camsis radicans
Coral Honeysuckle	Lonicera sempervirens
Evergreen Wisteria	Melletia reticulata
Virginia Creeper	Parthenocissus quinquefolia
Lady Banks Rose	Rosa banksia
PLANTING BEDS	
Common Name	Scientific Name
Abelia	Abelia sp.
Agave	Agave sp.
Yarrow	Achillea sp.
Butterfly Bush	Buddlea davidii
Beautyberry	Callicarpa americana
Coreopsis	Coreopsis sp.
Coneflower	Echinacea sp.
Indian Blanket	Gaillardia sp.
Hummingbird Bush	Hamelia patens
Burford Holly	Ilex cornuta
Yaupon Holly	Ilex vomitoria
Dwarf Yaupon Holly	Ilex vomitoria 'nana'
Juniper	Juniperus sp.
Lantana	Lantana sp.
Texas Sage	Leucophyllum sp.
Gayfeather	Liatrus sp.
Turk's Cap	Malvaviscus arboreus
Blackfoot Daisy	Melampodium leucanthum
Wax Myrtle	Myrica cerifera
Blue Plumbago	Plumbago auriculata
Pomegranate	Punica granatum
Rosemary	Rosmarinus officianalis
Black-eyed Susan	Rudbeckia sp.
Dwarf Palmetto	Sabal minor
Mealy Blue Sage	Salvia farinacea
Autumn Sage	Salvia greggii
Mexican Sage	Salvia leucantha
TX Mountain Laurel	Sophora secundiflora
Bridal Wreath Spirea	Spirea cantoniensis
Yellow Bells	Tecoma stans
Viburnum	Viburnum sp.



- Seasonal color is thoughtfully incorporated into planting design.

- The park takes advantage of maintaining existing trees on site.
- The park maximizes the use of shaded areas by aligning trails underneath dense tree canopy.

- The use of a low stone seat wall is creatively incorporated into the landscape to preserve an existing stand of oak trees.
- Cactus and native plants fit the planting scheme of the larger context of central Texas.

- An allee of street trees planted a minimum of 30 feet on center frames the sidewalk and provides comfort to pedestrians.
- A mix of tree species offers seasonal interest along the street.

10. LIGHTING

Intent

Lighting is necessary to make a building visible to passersby and for safety and security on site. However, lighting can also become a nuisance, as light spills onto adjacent property, distracts drivers, and detracts from community appearance. Well-designed lighting focuses light where it is needed, with minimal glare and excess. Shielding and proper aiming can provide appropriate safety and security while having minimal impact on adjacent properties. Pole location, height, and design all affect how lighting will be seen, so thought should be given to all of these variables when designing a lighting system for a property.

The intent of the Lighting Standards are to:

- Provide continuity and high aesthetic value through the creation of a cohesive lighting strategy; and
- Create, safe, secure places with lighting strategies while protecting the night sky and nearby residential properties.

Applicability

Architectural Lighting Design Standards apply to all redevelopment in the entry corridors.

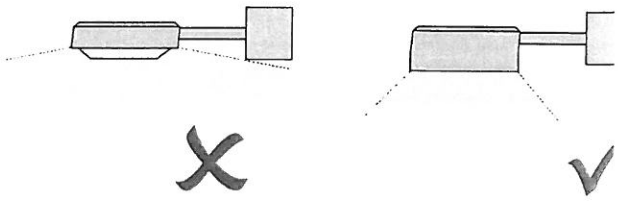
Standards

10.0 – Lighting fixtures should be selected from the International Dark-Sky Association Approved Fixtures.

Guidelines

10.1 – Lighting should be used to provide illumination for the security and safety of on-site areas such as parking, loading/unloading, pedestrian pathways and working areas. Excessive use of lighting fixtures is prohibited.

10.2 – Fixture style and location must be compatible with the building's architecture, site design and landscape design. Decorative fixtures are highly recommended and where warranted, may be required. Light fixture style is to be consistent throughout the project.



10.3 – Light fixtures shall be located facing away from adjacent sites (particularly residential parcels) so that the light does not spill-over onto abutting properties. Parking and building light fixtures must be cut-off luminaries that have less than 90 degree cut-off so that the light is not emitted horizontally or upward.

10.4 – Projects located near residential or open space areas shall use low intensity/wattage lights and all lighting is to be extinguished or reduced in intensity 30 minutes after the close of business.

10.5 – Off-site street lighting may be required over driveways to provide safe entrances and exits.

10.6 – Decorative seasonal lighting encouraged.

LIGHTING SELECTION MATRIX

Location	Fixture
Streetscape Pedestrian Lighting	Sternberg Lighting Omega Series
Site Lighting	Strenberg Lighting Medterra BB
Public Space Lighting	Strenberg Lighting Medterra BB

- This Dark Sky light fixture is an example of an approved light fixture for Fredericksburg.
- Sternberg Lighting Omega Series

- Lighting can include planters and decorative features to fit within the context of Fredericksburg

- This Dark Sky light fixture is an example of an approved light fixture for Fredericksburg
- Sternberg Lighting Mediterra BB

- Lighting can be erected within the entry corridors and along path and trails

11. SERVICE AREAS

Intent

Every site plan needs to account for building facilities like HVAC systems, dumpsters, drainage, etc. These are necessary features that have to be located; however, they can present a challenge to balance needed access with aesthetics. It is appropriate to place these facilities in the back of the property, shielded by the building if possible. If that is not available, due to access issues, service areas should be shielded with fencing and landscaping to maintain the overall site appearance. Good site planning will ensure that needed facilities are incorporated on site, with minimal visibility from roadways and adjacent properties.

The intent of the Service Areas Standards are to:

- Use visually screened service areas to hide unsightly private space areas; and
- Use appropriate landscaping, fencing, and/or green screens around service areas for buffering.

Applicability

11.0 – Service Areas Design Standards apply to all redevelopment in the entry corridors.

Standards

11.1 – Loading/unloading areas shall be clearly identified by installing no parking signs and/ or striping of the space. The areas must be located in the rear or the sides of the building and shielded so that they are not visible from the street. The size and number of the loading/ unloading areas must be consistent with the requirements of the Zoning Ordinance.

Guidelines

11.2 – All trash, recycling and utilities facilities must be visually and acoustically screened from pedestrian rights of way.

11.3 – Screening shall be achieved through the installation of a wall or fence six foot in height or a height sufficient to obscure the area or equipment, whichever is less.

11.4 – Screening may be provided by using a semi-opaque fence, solid vegetative surface or combination of both.

11.5 – The height of screening plants shall be based on typical plant size within five growing seasons.

11.6 – All roof-top equipment shall be screened from entry corridors, side streets, plazas and parks.

11.7 – It is encouraged to provide a separate waste and recycling unit to encourage environmental sustainability and support efforts to reduce, reuse, and recycle in Fredericksburg. The City of Fredericksburg Recycling Center provides recycling and safe disposal options. Fredericksburg Shines has compiled a list of items that can be recycled along with the location where that recycling occurs.

- The use of wood softens the visual effect of the waste receptacle.
- The waste receptacle visually blends into the surrounding public space, and the wood material matches the adjacent bench.

- Waste receptacles are screened with vegetation.
- Waste is separated into trash and recycling units.

- Service areas are located to the rear of the site.
- Trees and landscaping screen views to dumpsters and service areas.

- Compost areas are hidden from view and designed in an esthetically pleasing manner.

12. PARKING & ACCESS

Intent

Parking uses a significant portion of most conventional development. Developers typically have to provide sufficient parking for infrequent, high volume days like the day after Thanksgiving. This, combined with a desire for visibility and access, means most parking lots are put in front of the building. Adequate landscaping and buffering can improve the appearance of parking lots; however, having parking to the front detracts from pedestrian connectivity and appeal. Having parking to the rear of the property would allow the building to front onto the roadway. It would also allow for consolidation of driveways and access points. This can be a tremendous benefit for traffic flow, to reduce curb cuts and points of conflict along roadways.

The intent of the Parking and Access Standards are to:

- Follow New Urbanism models to help conceal and beautify parking areas, such as parking located in the rear or side of buildings;
- Create parking spaces that flow smoothly and create logical connections between parking spot and destination; and
- Use landscaping to buffer parking lots from adjacent uses.

Applicability

12.0 – Parking Design Standards apply to all new development in the entry corridors.

Standards

12.1 – Bicycle parking facilities must be provided at all new development that occurs on any street intersection. The design, color, and materials must coordinate with other site elements and must be well-light for night time uses.

12.2 – When a property abuts a creek, the parking lot should not be located between the building and the creek.

12.3 – When a property abuts a creek, a 10 foot

landscaped buffer shall be provided between the parking lot and the creek, where applicable. Utilize rain gardens and/or plant species that filter toxins between the parking lot and the creek.

12.4 – All parking shall comply with the most current American with Disabilities Act (ADA) standards and regulations.

12.5 – Whenever parking areas/drive aisles are connected to adjacent sites, the circulation must provide for similar direction of travel (both vehicular and pedestrian) and parking stalls to reduce conflict at points of connection.

12.6 – Pedestrian walkways connecting to adjacent development shall be provided.

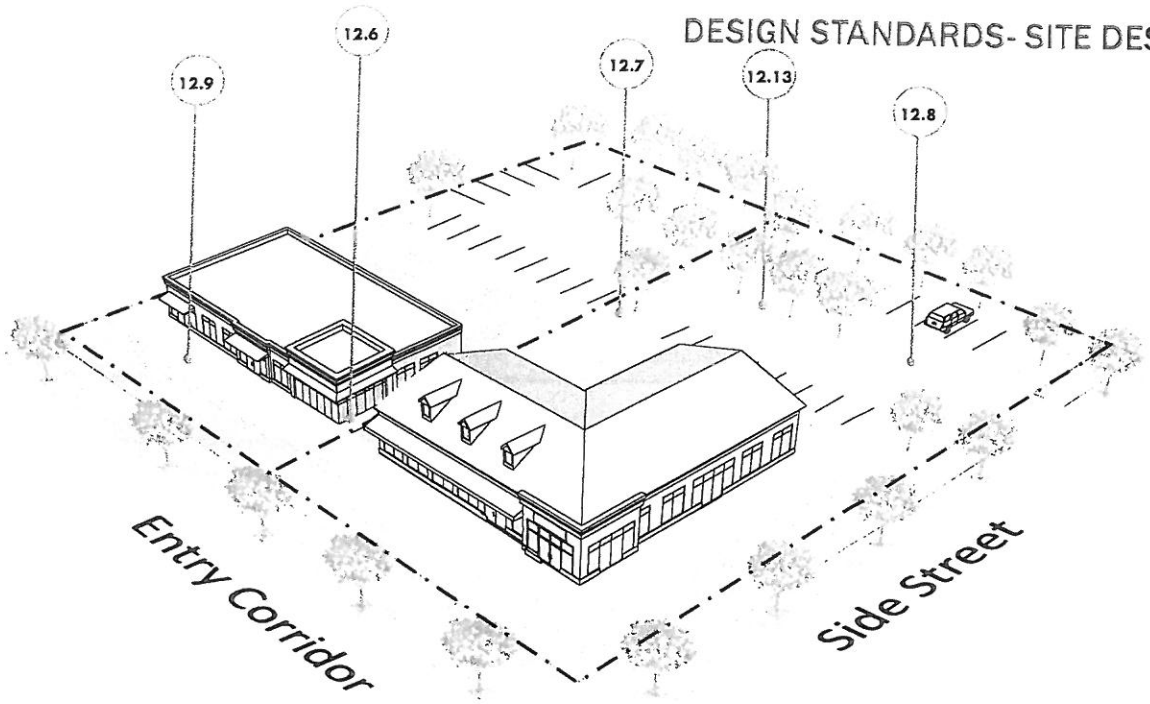
12.7 – A minimum of a 4" diameter tree per 8 parking spaces shall be planted in planting beds located in the corners of parking lots and 'islands.'

12.8 – Parking shall be located behind buildings or on the side.

12.9 – Continuous, 5' sidewalks must be provided along the full length of the building featuring customer entrances and along any façade facing public parking areas.

Guidelines

12.10 – Parking areas abutting properties residentially used or designated shall be separated by a landscape buffer a minimum of 10 feet in width. In addition to landscaping, perimeter earth berms are recommended as an effective way to reduce the visual impact of surface parking lots.



12.11 – At least one parking and drive aisles should be designed to provide sufficient emergency vehicle access and maneuverability.

12.12 – Establishments that typically require or generate frequent passenger loading and unloading shall provide specifically designated loading/unloading stopping bays. Direct ingress and egress should be provided so that vehicles are not directed into the on-site drive aisles.

12.13 – Parking lots should be located and designed with stormwater Best Management Practices to capture, treat and infiltrate storm water.

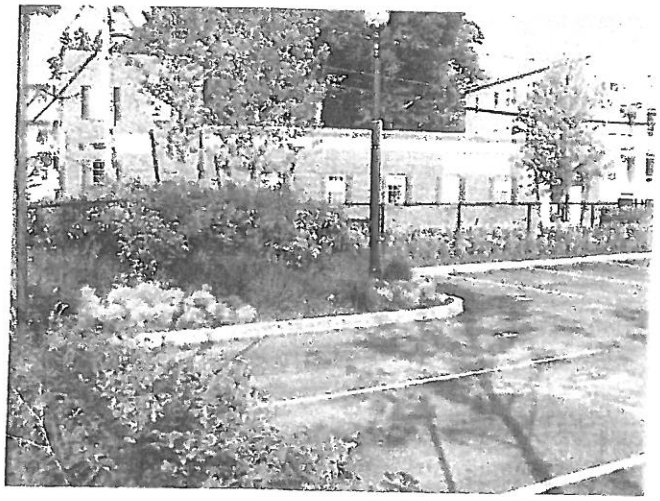
12.14 – The on-site circulation must be logical and provide convenient, safe and direct flow of pedestrians and vehicles.

12.15 – New surface parking areas are discouraged within view of US290. New parking areas should be situated behind buildings and screened from street views.

12.16 – Parking aisles should be arranged to direct pedestrians parallel to moving cars thereby minimizing the need for pedestrians to cross parking aisles and landscape areas. As an alternative, separated pedestrian walkways should be incorporated in the parking lot design.

12.17 – Detached parking structures should be architecturally compatible with their setting or be screened by other buildings or by landscaping. If a detached parking structure abuts a street or major pedestrian path, ground floor design should incorporate a façade with storefronts, display windows, bay divisions, and other pedestrian oriented features.

12.18 – Shared driveways are encouraged.



Planting buffer of 10 feet is placed around parking.

13. DRAINAGE AND STORMWATER

Intent

Development leads to increased stormwater runoff. Some communities manage drainage for larger areas, so developers put in facilities to convey water off the property to these larger drainage utilities. Other times, each property has to create on site facilities to manage stormwater. A fairly new direction in stormwater management is called low impact design. This utilizes natural features, such as rain gardens and swales, along with technology fixes like rainwater harvesting and pervious pavement, to manage stormwater. This type of development can be a lower maintenance and more aesthetic option for future development. It is important for stormwater to be managed in such a way to protect public health and safety.

The intent of the Drainage and Stormwater Standards are to:

- Create aesthetically pleasing detention and stormwater infrastructure;
- Use Best Management Practices to mitigate flooding and runoff backup;
- Capitalize upon the use of detention features to double as recreational elements where feasible;
- Use Low Impact Development (LID) techniques when possible; and
- Buffer detention ponds with native landscaping.

Applicability

13.0 – Drainage and Stormwater Design Standards apply to all redevelopment in the entry corridors.

Standards

NA

Guidelines

13.1 – LID techniques such as rain barrels, cisterns, rain gardens, naturalized landscaping, porous pavement and roof gardens are encouraged.

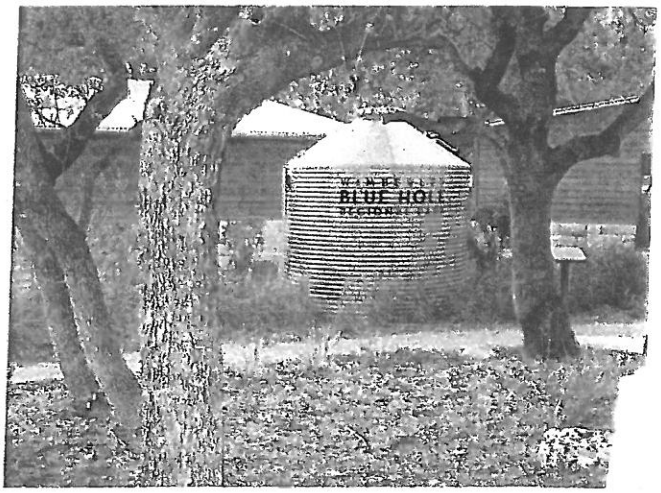
13.2 – When possible, site stormwater management facilities in parks and open space if there is a benefit to the surrounding area and/or water quality is demonstrated.

13.3 – Existing drainage patterns and flows on site should be preserved to the greatest extent possible.

13.4 – Decorative or aesthetically pleasing stormwater mechanisms should be incorporated into stormwater designs to the greatest extent possible.

- Bio-filtration areas slow stormwater runoff and absorb pollutants to encourage increased water quality.

- Decorative storm grates provide visual interest to otherwise unappealing design features.



- A rain water cistern captures water for re-use in the landscape.
- The materials on the rain water cistern match the architecture of the building and double as signage for the park.

- LID techniques such as rain gardens are aesthetically pleasing and contribute to an increase in water quality and reduce peak flows of stormwater runoff.
- Rain gardens are valuable Best Management Practices that mitigate flooding and stormwater runoff.

14. STREETSCAPE

Intent

Most of the streets being included for the entryways are state highways. This means that TxDOT has jurisdiction over the design of the streetscape and any elements to be included in them. The City has a productive relationship with TxDOT staff and can work with them to incorporate improvements to the streetscape over time as projects and upgrades are made to roads in the entryways.

The intent of the Streetscape Standards are to:

- Create a connected sidewalk system throughout the city to ensure safety and connectivity between destinations;
- Increase the mobility to persons walking throughout the city into all areas;
- Create a continuous street tree canopy and landscaping along roadways to create more visually pleasing thoroughfares and pedestrian pathways;
- Use ADA compliant ramp sand pedestrian facilities throughout the network to ensure ease of movement; and
- Ensure that the ground floor creates comfort and interest for pedestrian use.

Applicability

14.0 – Streetscape Design Standards apply to all redevelopment in the entry corridors.

Standards

14.1 – Sidewalks along the street right of way must be a minimum of 5 feet wide.

14.2 – To create a cohesive tree canopy that provides for consistent shade, street trees shall be planted a minimum of every 30 feet on center (centered between the curb and sidewalk).

Guidelines

14.3 – Sidewalks and pedestrian pathways should safely connect from the street to commercial buildings, surrounding residential areas, and parks and open spaces.

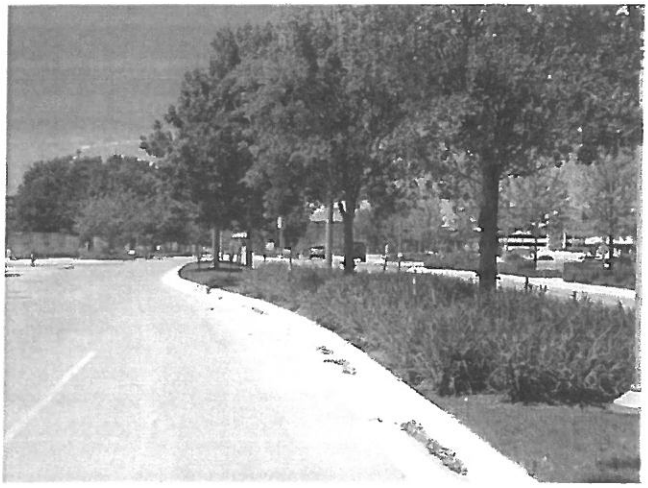
14.4 – Seating is encouraged in front of businesses, in public spaces and other instances where appropriate.

14.5 – All pedestrian areas shall comply with the most current American with Disabilities Act (ADA) standards and regulations. Particular attention shall be given to ramps, accessible paths of travel, level landings and handrails.

14.6 – Create a quality built environment with the inclusion of amenities such as street furnishing, plantings, art works, and water features to enhance the places that people will walk, gather, or recreate.

14.7 – Developments adjacent to multi-use trails shall provide a direct connection from the trail to the development's internal pedestrian circulation system.

14.8 – Streetscape furnishing should be made of high quality materials and be coordinated with the architecture of the building.



- A continuous canopy of street trees at 30 feet on center provides visual interest along the road.

- Benches, landscaping, street trees, and seating provide a comfortable pedestrian environment.

- Street trees are provided every 30 feet on center along the street.
- Ample shade and seating are provided for a comfortable pedestrian environment.

- Streetscape furnishings are made of high quality materials and create a brand and identity.